



# Request for Bids No. 314001

## Buildings C & D Neighborhoods Remodel

# Badger Prairie Health Care Center

1100 E. Verona Ave.  
Verona, WI 53593



**PLUNKETT RAYSICH  
ARCHITECTS, LLP**

11000 west park place milwaukee, wisconsin 53224 t 414 359 3060  
2310 crossroads drive suite 2000 madison, wisconsin 53718 t 608 240 9900  
1613 fruitville road suite 3 sarasota, florida 34236 t 941 348 3618

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### Project Information

Date: September 11, 2014  
PRA Project Number: 120341-02  
Dane County Bid Number: 314001

#### Construction Documents

ADD NO. 1 09-30-14

### Applicable Codes and Zoning

Wisconsin Enrolled Commercial Building Code 2014  
Occupancy Group I-2 Skilled Nursing Facilities

Zoning: Town of Verona ordinances

### Type of Construction

Alteration (Level 1)  
Type of construction, Type V-A Construction  
Automatic Sprinkler System NFPA 13 (IBC 903)  
Fire Alarm System including smoke detectors (IBC 907 & NFPA 72)

### ADA Access Route

Existing Facility currently accessible

### Occupant Load

Remains the same

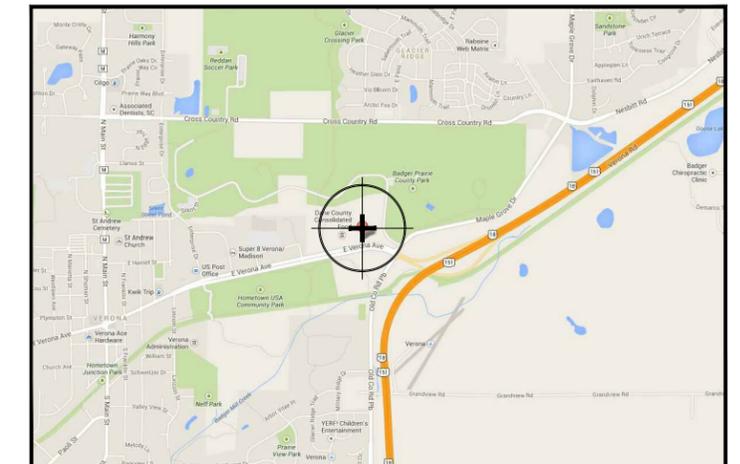
### Exiting

Existing Aggregate Width to remain the same

### Parking Requirements

Remains the same

### Project Location



### Project Team

#### Owner

Dane Co. Dept. of Public Works 608-266-4018

Contact: **Scott Carlson**

#### Architect

Plunkett Raysich Architects, LLC 608-240-9900

Contact: **Steven Kieckhafer**

#### Civil Engineer

SCS Engineers 608-224-2830

Contact: **Betsy Powers**

#### Landscape Architect

LJ Geer 608-862-3564

Contact: **Lisa Geer**

#### Electrical/Technology Consultant

KJWW 608-223-9600

Contact: **Chris Franczek**



PROPOSED 24" DIA. FIELD INLET  
RIM=971.20  
IE=969.53  
SEE DETAIL (2/C2)

PROPOSED 24" DIA. FIELD INLET  
RIM=971.15  
IE=969.59  
SEE DETAIL (2/C2)

**LEGEND**

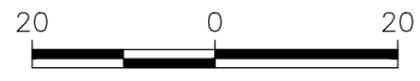
- 975 --- EXISTING GRADE (5' CONTOUR)
- EXISTING GRADE (1' CONTOUR)
- ▨ EXISTING FIRE ACCESS ROAD
- ▩ EXISTING CULVERT/STORM SEWER
- ▩ EXISTING PERFORATED BIORETENTION BASIN UNDERDRAIN PIPING
- ▩ EXISTING NON-PERFORATED BIORETENTION BASIN UNDERDRAIN PIPING
- SA EXISTING SANITARY SEWER
- G EXISTING GAS
- W EXISTING WATER
- × 970.65 EXISTING SPOT ELEVATION
- × 970.65 PROPOSED SPOT ELEVATION
- ▲ 2.28% PROPOSED SLOPE AND DIRECTION
- ▩ PROPOSED SALVAGED CULVERT/STORM SEWER
- PROPOSED SILT FENCE (TEMPORARY)

**EROSION CONTROL NOTES:**

1. RESTORE DISTURBED AREA WITH 4-INCHES SALVAGED TOPSOIL, SEED (WIDOT NO. 40) AND MULCH IN ACCORDANCE WITH SECTIONS 630 AND 627, WIDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
2. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO GRADING ACTIVITIES AND SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL VEGETATION IS ESTABLISHED. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER.
3. ALL EROSION CONTROL MEASURES AND STORM WATER STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS OF A 0.5 INCH OR GREATER RAINFALL. NECESSARY MAINTENANCE AND REPAIRS SHALL BE PERFORMED WITHIN 24 HOURS OF THE INSPECTION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED PRECAUTIONS.
5. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY.
6. EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL MEET REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
7. A ROW OF SILT FENCE SHALL BE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM ANY STOCKPILE. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 7 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED AND MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL TO PREVENT OR REDUCE THE DISCHARGE OF SEDIMENT ERODING FROM THE STOCKPILE.
8. TEMPORARY STABILIZATION MEASURES SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. TEMPORARY STABILIZATION MAY INCLUDE TEMPORARY SEEDING, MULCHING, OR WISDOT TYPE B SOIL STABILIZERS.

**NOTES:**

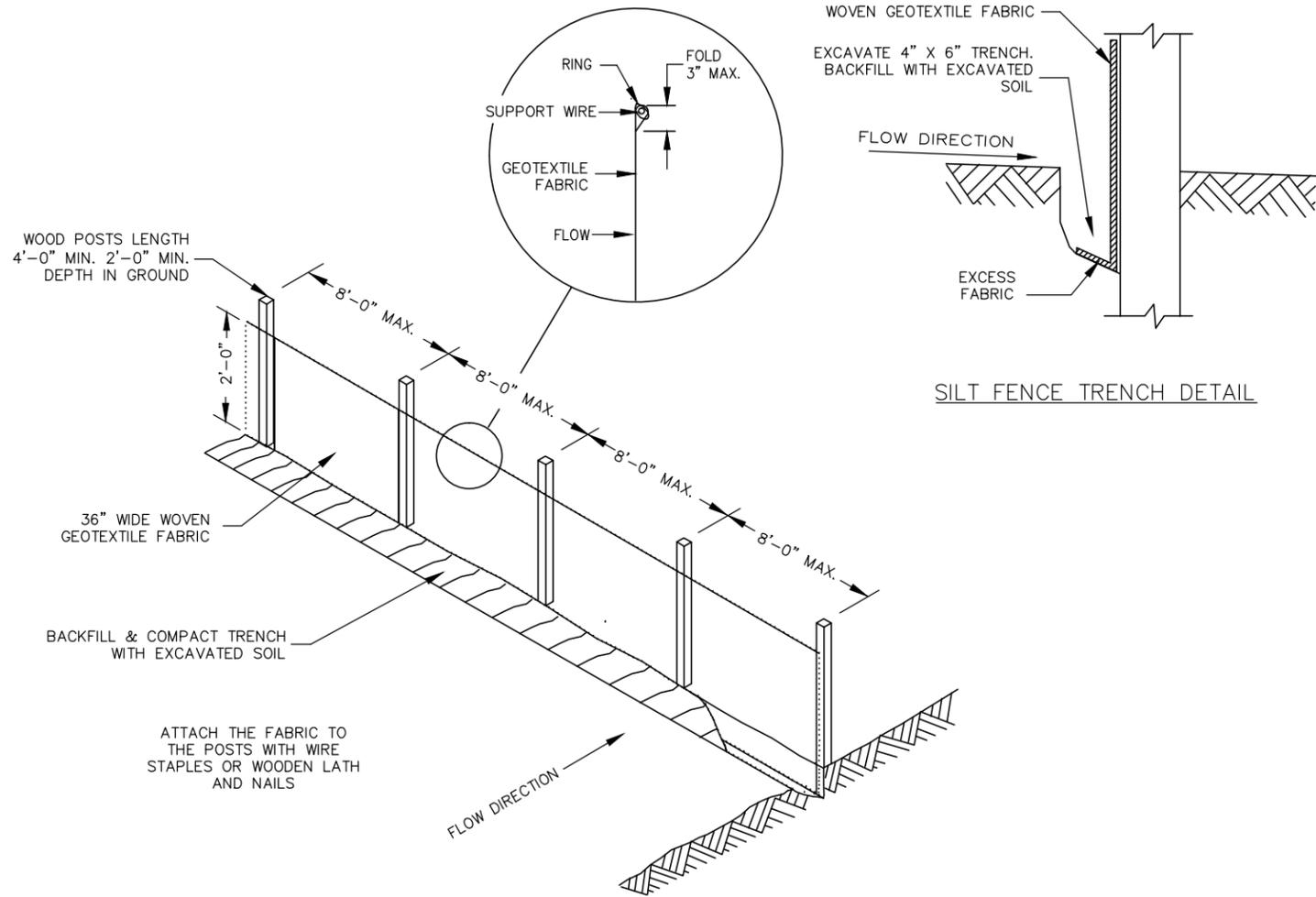
1. EXISTING TOPOGRAPHY BASED ON SITE SURVEYS PERFORMED BY DANE COUNTY ON JUNE 12, 2013 (PERIMETER SWALE, GEOTHERMAL BERM, AND SOUTH OF FOOD SERVICE/ADMIN. BUILDING PARKING LOT), AND BY SCS ENGINEERS ON OCTOBER 26, 2011 (BR4, BR7, AND WEST DRY DETENTION BASIN) AND NOVEMBER 13, 14, AND 20, 2013 (REMAINING AREAS).
2. BUILDING, PARKING LOT, SIDEWALK AND ROAD LAYOUT FROM BT<sup>2</sup>, INC. EROSION CONTROL PLAN DRAWING C4, DATED OCTOBER 16, 2012.
3. UTILITIES OBTAINED FROM BT<sup>2</sup>, INC. UTILITIES PLAN DRAWING, DATED JULY 20, 2012, WITH MODIFICATIONS PROVIDED BY DANE COUNTY.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS AND SUBSURFACE UTILITIES PRIOR TO STARTING WORK. PRIVATE UTILITY LOCATORS OTHER THAN DIGGERS HOTLINE MAY BE REQUIRED PER CONTRACT DOCUMENTS.



SCALE: 1" = 20'



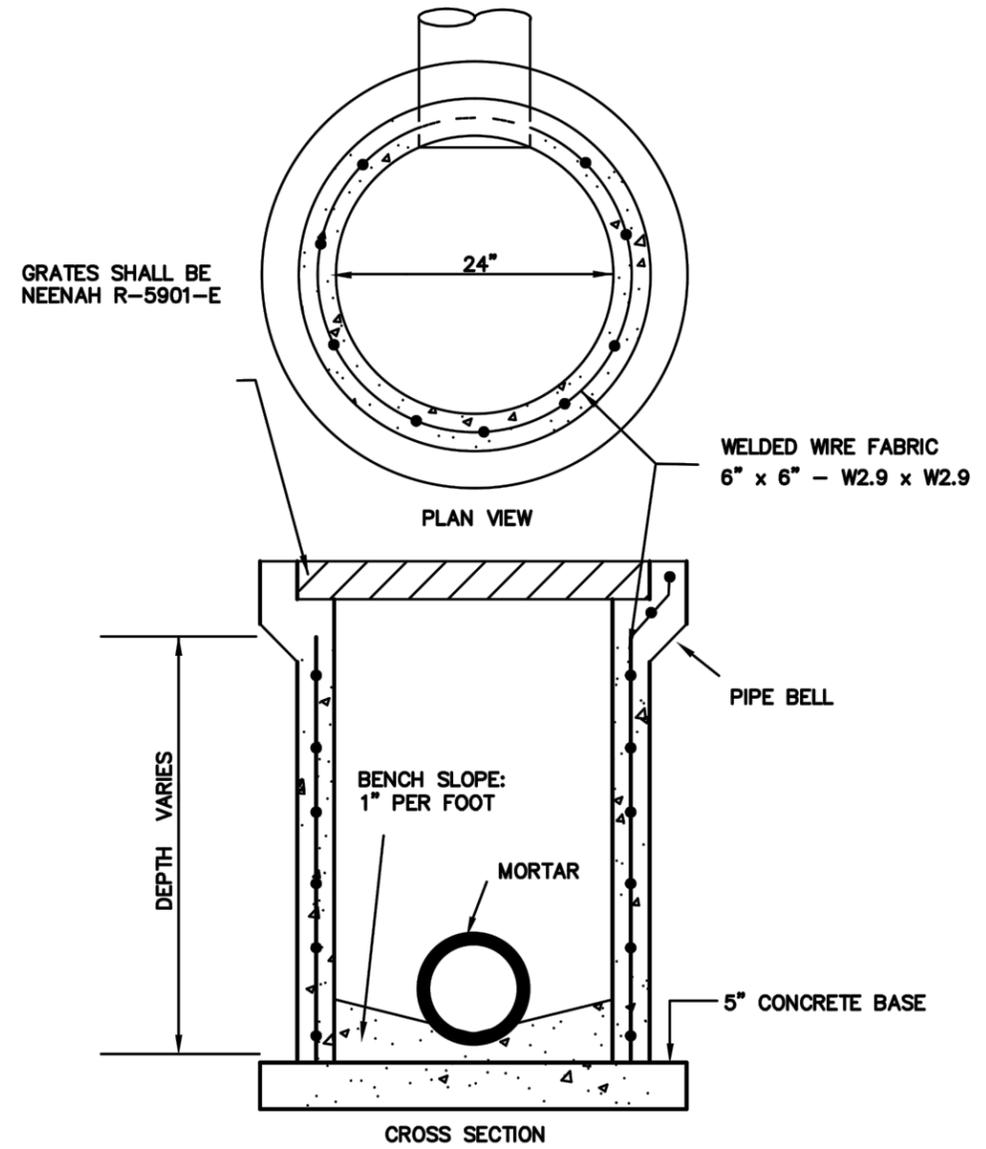
BADGER PRAIRIE HEALTH CARE CENTER DANE COUNTY VERONA, WISCONSIN	GRADING/DRAINAGE IMPROVEMENT AREAS ALTERNATE BID 1	ENGINEER	FIGURE C1
DANE COUNTY PUBLIC WORKS 1919 ALLIANT ENERGY WAY MADISON WI, 53713		PROJECT NO. 25213211.00	DRAWN BY: JB/KP
CLIENT		CHECKED BY: 01/22/14	APPROVED BY: 09/30/14
		2830 DAIRY DRIVE MADISON, WI 53718-6751 PHONE: (608) 224-2830	



1  
C2

**SILT FENCE DETAIL**

NOT TO SCALE



2  
C2

**FIELD INLET DETAIL**

NOT TO SCALE



CLIENT  
DANE COUNTY PUBLIC WORKS  
1919 ALLIANT ENERGY WAY  
MADISON WI, 53713

SITE

BADGER PRAIRIE HEALTH CARE CENTER  
DANE COUNTY  
VERONA, WISCONSIN

DETAILS  
ALTERNATE BID 1

PROJECT NO. 25213211.00

DRAWN: 01/22/14

REVISOR FOR ADD. 1: 09/30/14

DRAWN BY: JB/KP

CHECKED BY: BP

APPROVED BY:

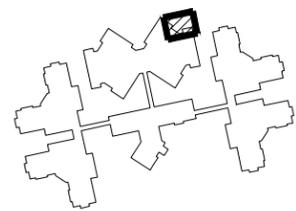
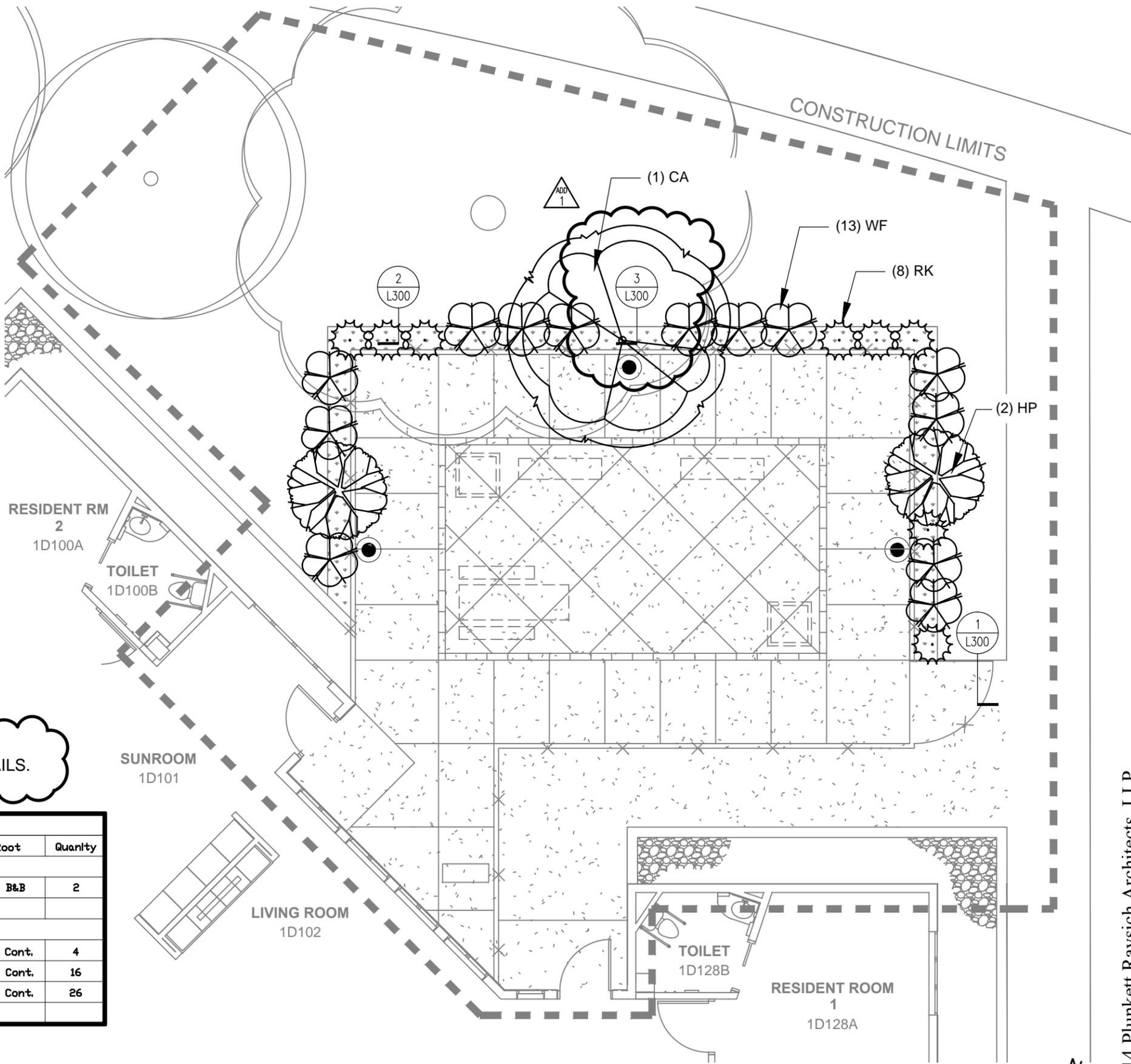
ENGINEER

**SCS ENGINEERS**  
2830 DAIRY DRIVE MADISON, WI 53718-6751  
PHONE: (608) 224-2830

FIGURE  
C2

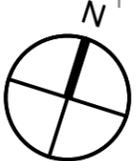
**LANDSCAPE GENERAL NOTES:**  
 A - REFER TO SHEET L300 & L301 FOR LANDSCAPE DETAILS.

PLANT LEGEND				
Key	Botanical name	Common Name	Size/Root	Quantity
<b>ORNAMENTAL TREES</b>				
CA	Pagoda Dogwood	<i>Cornus alternifolia</i>	8' Ht. B&B	2
<b>DECIDUOUS SHRUBS</b>				
HP	Pink Diamond Hydrangea	<i>Hydrangea paniculata</i> 'Pink Diamond'	3 Gal. Cont.	4
RK	Red Knock Out Rose	<i>Rosa</i> 'Knock Out'	2 Gal. Cont.	16
WF	Wine and Roses Welgela	<i>Welgela florida</i> 'Wine and Roses'	2 Gal. Cont.	26



1  
L201

**LANDSCAPE PATIO PLAN (BUILDING D)**  
 1/8" = 1'-0"  
**ALTERNATE BID 1**



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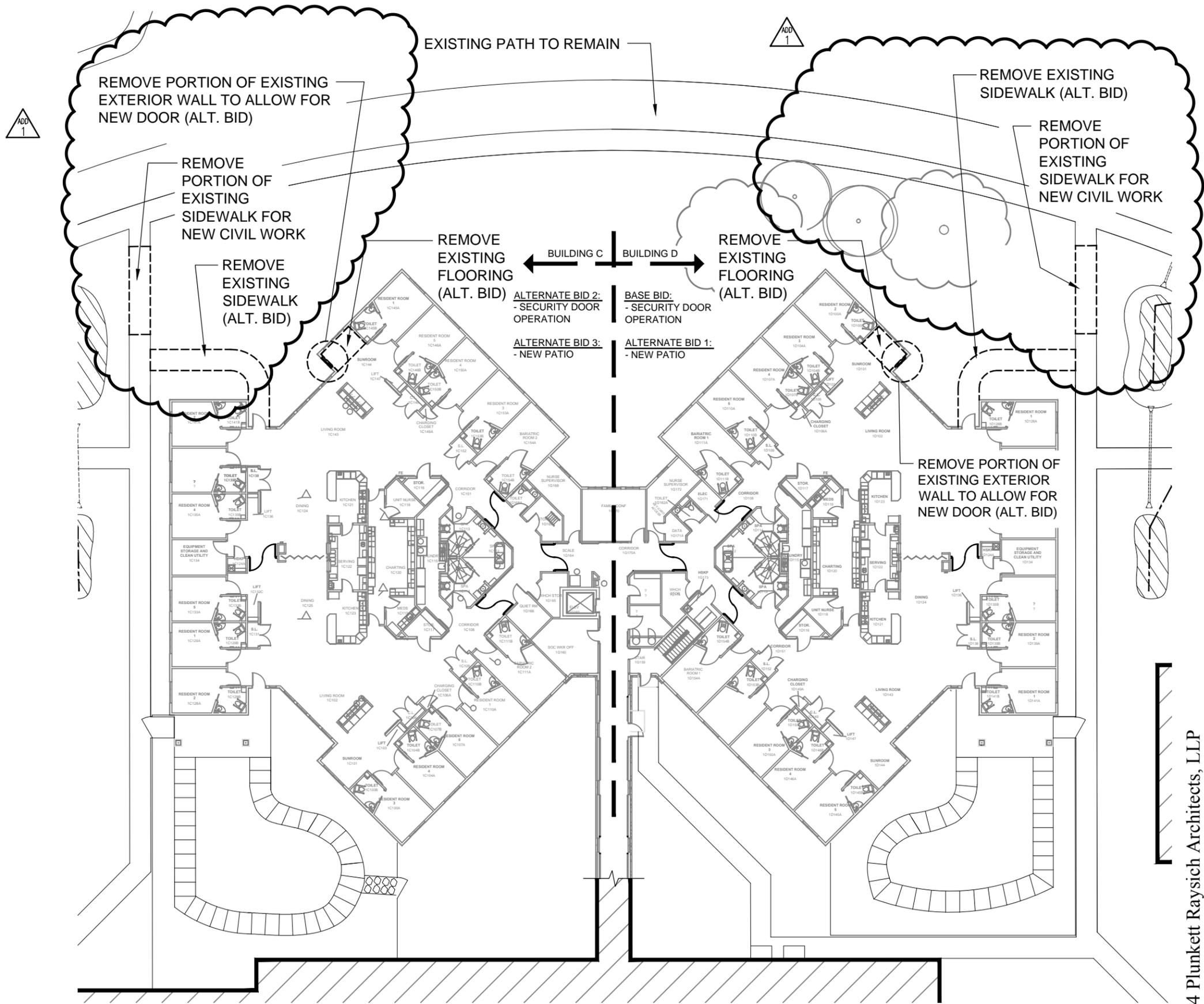
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**Buildings C & D Neighborhoods Remodel**  
 Bid No. 314001

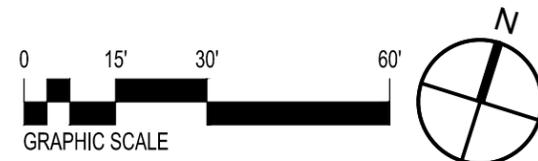
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AJR	<b>L201</b>





1 OVERALL DEMO PLAN (BUILDINGS C & D)  
003 1" = 30'



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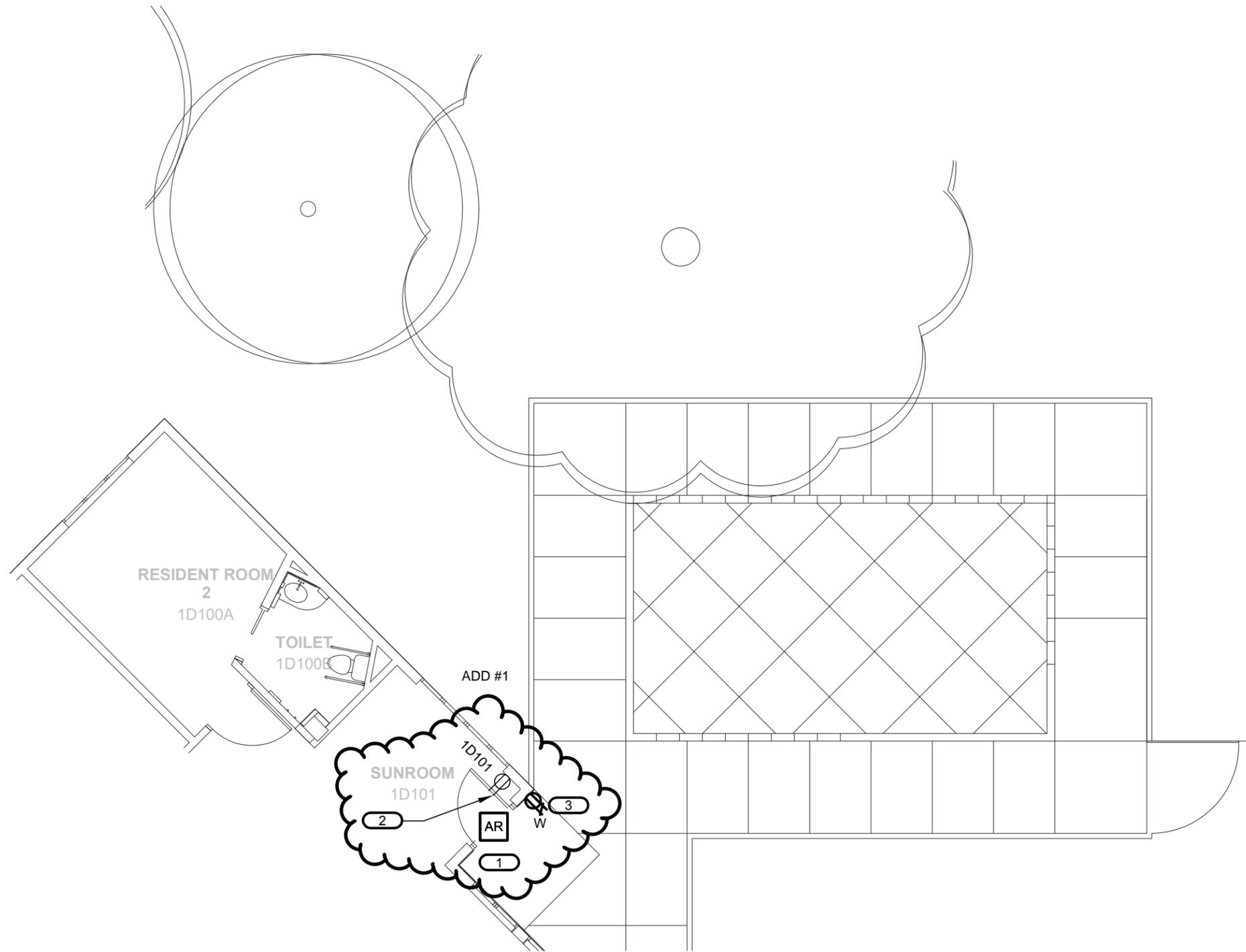
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1 PARTIAL FIRST FLOOR PLAN - ELECTRICAL  
 E101 1/8"=1'-0" BUILDING D - ALTERNATE BID 1

- KEYNOTES** #
1. PROVIDE ADDRESSABLE RELAY ABOVE CEILING AT CARD ACCESS DOOR CONTROL TO UNLOCK DOORS IN EVENT OF FIRE ALARM. CONNECT ADDRESSABLE RELAY TO NEAREST SLC LOOP.
  2. RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
  3. CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

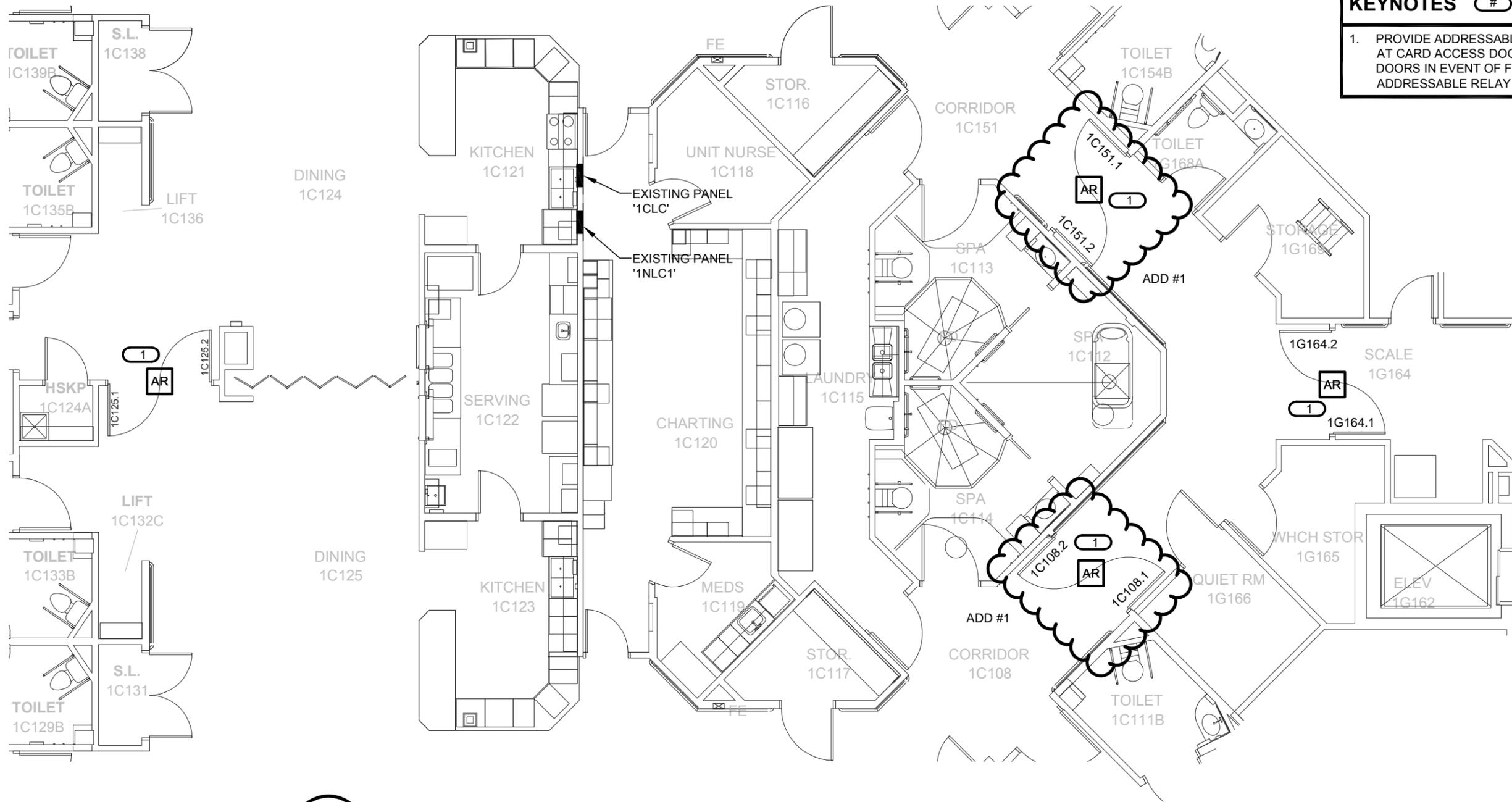


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DRAWN BY	SHEET #
TRP	E101





**KEYNOTES** #

1. PROVIDE ADDRESSABLE RELAY ABOVE CEILING AT CARD ACCESS DOOR CONTROL TO UNLOCK DOORS IN EVENT OF FIRE ALARM. CONNECT ADDRESSABLE RELAY TO NEAREST SLC LOOP.

**1** PARTIAL FIRST FLOOR PLAN - ELECTRICAL  
 E102 1/8"=1'-0" BUILDING C - ALTERNATE BID 2

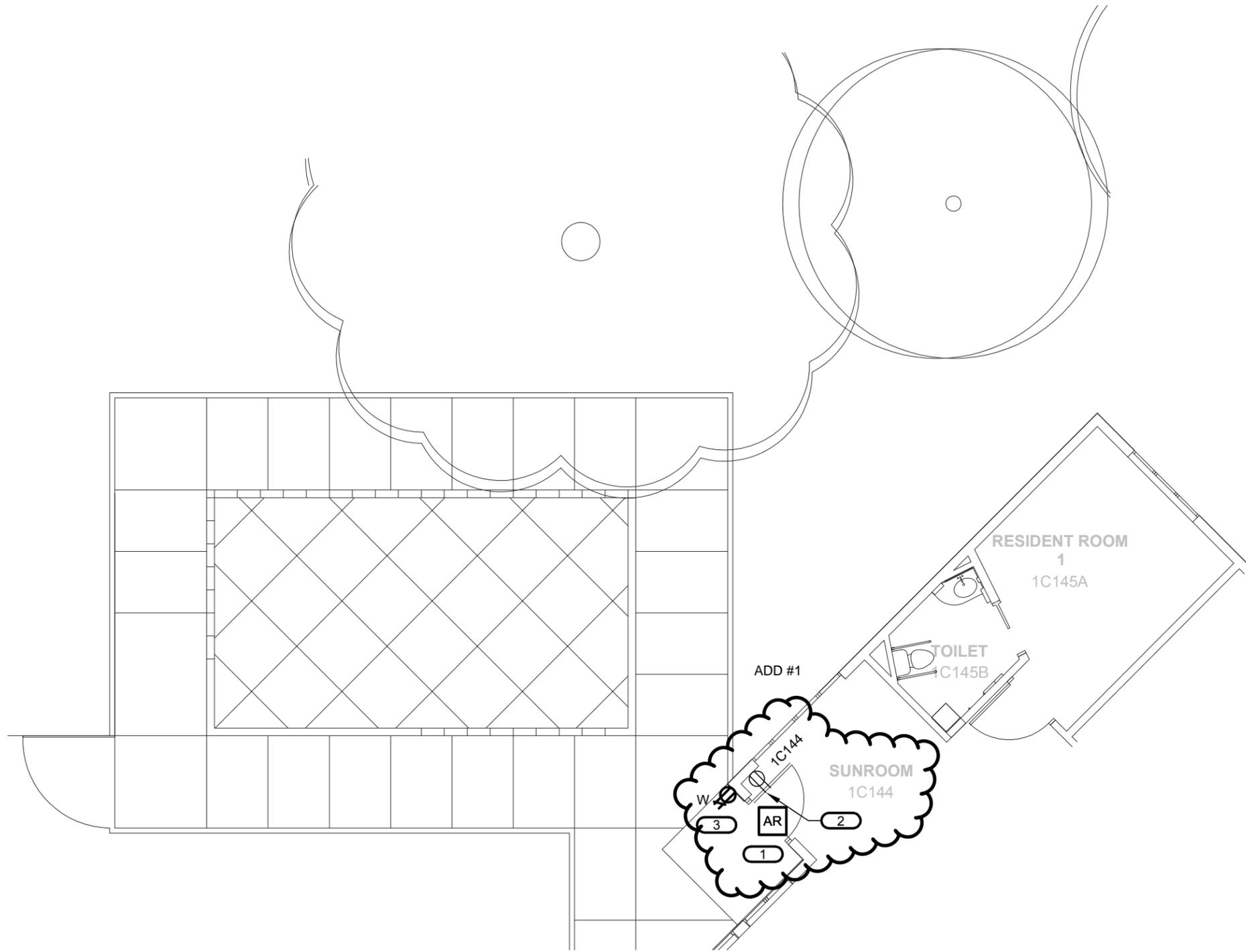


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CONSTRUCTION	DATE
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DATE	JOB #
09-11-14	120341-02
DRAWN BY	SHEET #
TRP	E102





**KEYNOTES** #

1. PROVIDE ADDRESSABLE RELAY ABOVE CEILING AT CARD ACCESS DOOR CONTROL TO UNLOCK DOORS IN EVENT OF FIRE ALARM. CONNECT ADDRESSABLE RELAY TO NEAREST SLC LOOP.
2. RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
3. CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

1 PARTIAL FIRST FLOOR PLAN - ELECTRICAL  
 E103 1/8"=1'-0" BUILDING C - ALTERNATE BID 3

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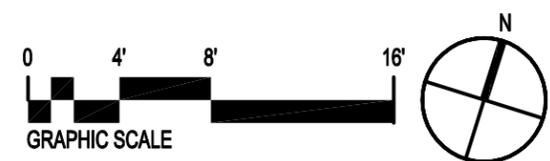
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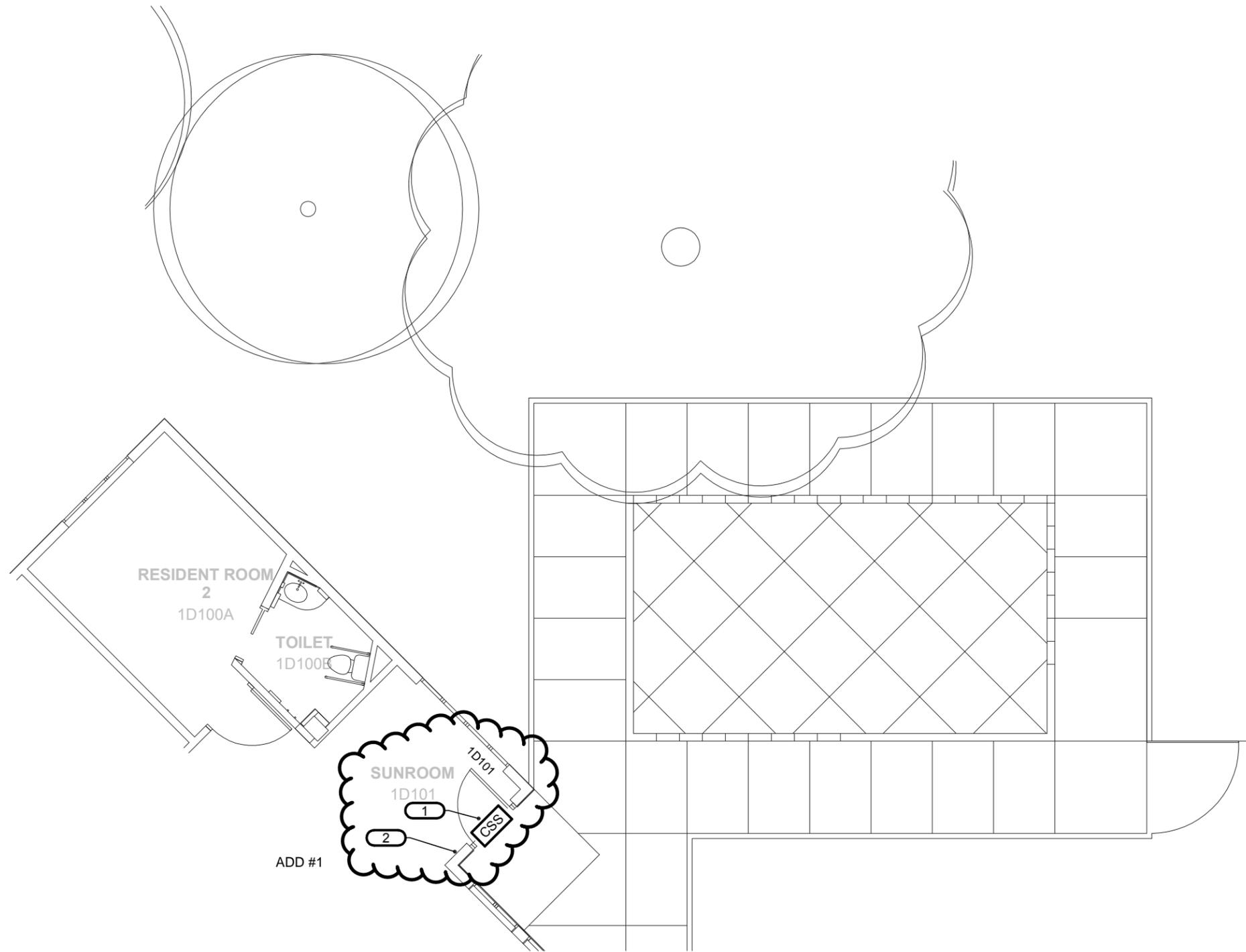
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TRP	E103











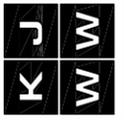
**GENERAL NOTES**

1. REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

**KEYNOTES** #

1. EXISTING VOICE/DATA JACK TO BE RELOCATED. REFER TO KEYNOTE 2 FOR NEW LOCATION.
2. NEW LOCATION FOR EXISTING VOICE/DATA JACK.

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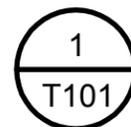
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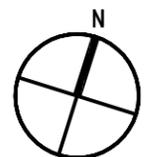
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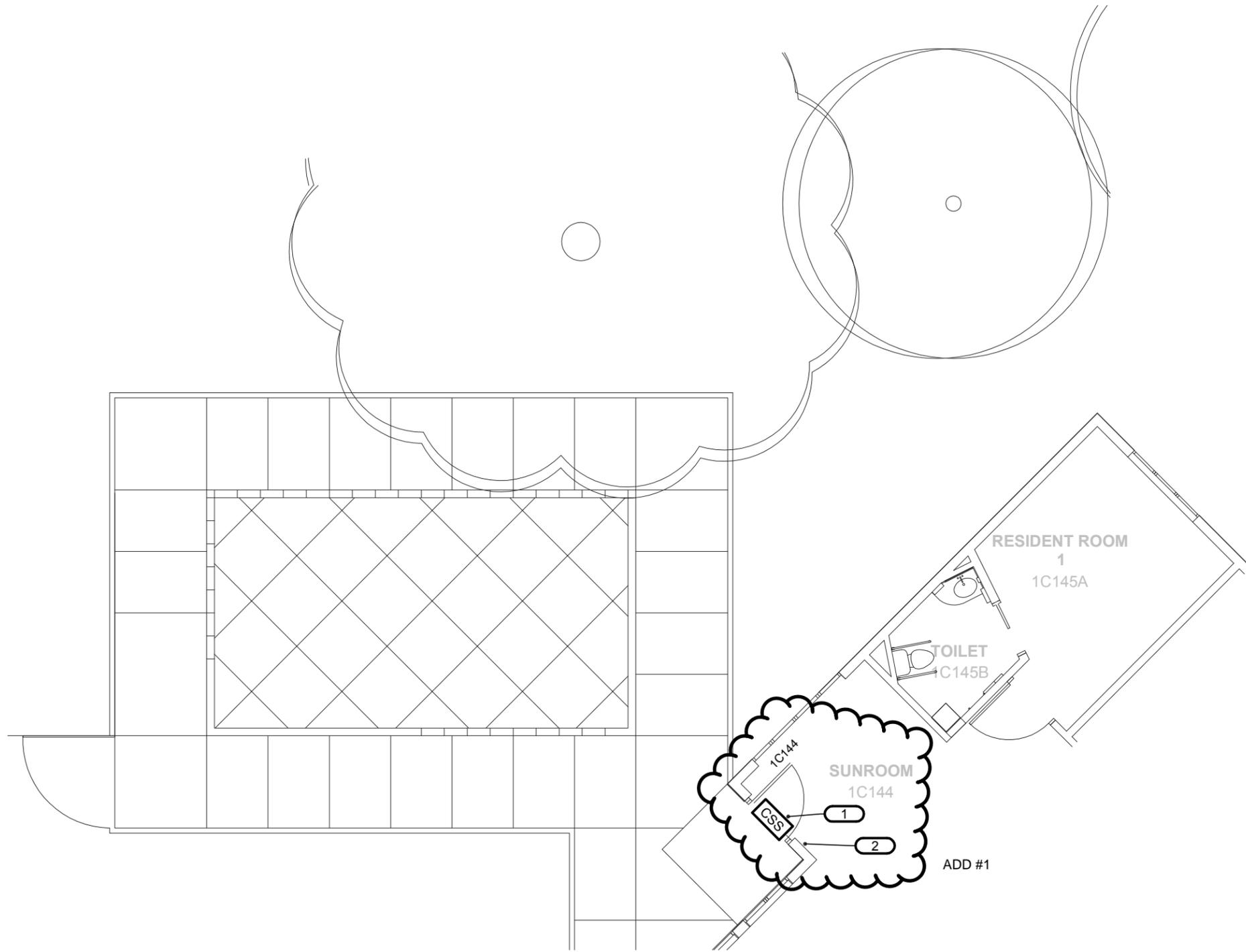


**PARTIAL FIRST FLOOR PLAN - TECHNOLOGY**

1/8"=1'-0" BUILDING D - ALTERNATE BID 1







1
**PARTIAL FIRST FLOOR PLAN - TECHNOLOGY**  
T103
 1/8"=1'-0" BUILDING C - ALTERNATE BID 3

**GENERAL NOTES**

1. REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

**KEYNOTES** #

1. EXISTING VOICE/DATA JACK TO BE RELOCATED. REFER TO KEYNOTE 2 FOR NEW LOCATION.
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