



Request for Bids No. 314001

Buildings C & D Neighborhoods Remodel - Rebid

Badger Prairie Health Care Center

1100 E. Verona Ave.
Verona, WI 53593



**PLUNKETT RAYSICH
ARCHITECTS, LLP**

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Project Information

Date: November 06, 2014
PRA Project Number: 120341-02
Dane County Bid Number: 314001
Construction Documents

Applicable Codes and Zoning

Wisconsin Enrolled Commercial Building Code 2014
Occupancy Group I-2 Skilled Nursing Facilities

Zoning: Town of Verona ordinances

Type of Construction

Alteration (Level 1)
Type of construction, Type V-A Construction
Automatic Sprinkler System NFPA 13 (IBC 903)
Fire Alarm System including smoke detectors (IBC 907 & NFPA 72)

ADA Access Route

Existing Facility currently accessible

Occupant Load

Remains the same

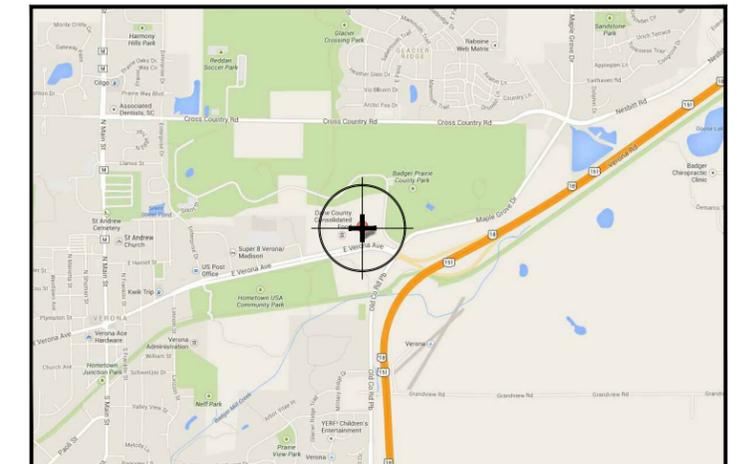
Exiting

Existing Aggregate Width to remain the same

Parking Requirements

Remains the same

Project Location



Project Team

Owner

Dane Co. Dept. of Public Works 608-266-4018

Contact: Scott Carlson

Architect

Plunkett Raysich Architects, LLC 608-240-9900

Contact: Steven Kieckhafer

Civil Engineer

SCS Engineers 608-224-2830

Contact: Betsy Powers

Landscape Architect

LJ Geer 608-862-3564

Contact: Lisa Geer

Electrical/Technology Consultant

KJWW 608-223-9600

Contact: Chris Franczek



PROPOSED 24" DIA. FIELD INLET
RIM=971.20
IE=969.53
SEE DETAIL (2/C2)

PROPOSED 24" DIA. FIELD INLET
RIM=971.15
IE=969.59
SEE DETAIL (2/C2)

LEGEND

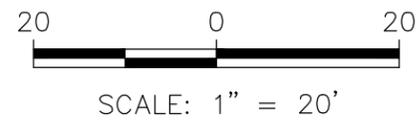
- 975 --- EXISTING GRADE (5' CONTOUR)
- EXISTING GRADE (1' CONTOUR)
- EXISTING FIRE ACCESS ROAD
- EXISTING CULVERT/STORM SEWER
- EXISTING PERFORATED BIORETENTION BASIN UNDERDRAIN PIPING
- EXISTING NON-PERFORATED BIORETENTION BASIN UNDERDRAIN PIPING
- SA --- EXISTING SANITARY SEWER
- G --- EXISTING GAS
- W --- EXISTING WATER
- x 970.65 EXISTING SPOT ELEVATION
- x 970.65 PROPOSED SPOT ELEVATION
- 2.28% PROPOSED SLOPE AND DIRECTION
- PROPOSED SALVAGED CULVERT/STORM SEWER
- PROPOSED SILT FENCE (TEMPORARY)

EROSION CONTROL NOTES:

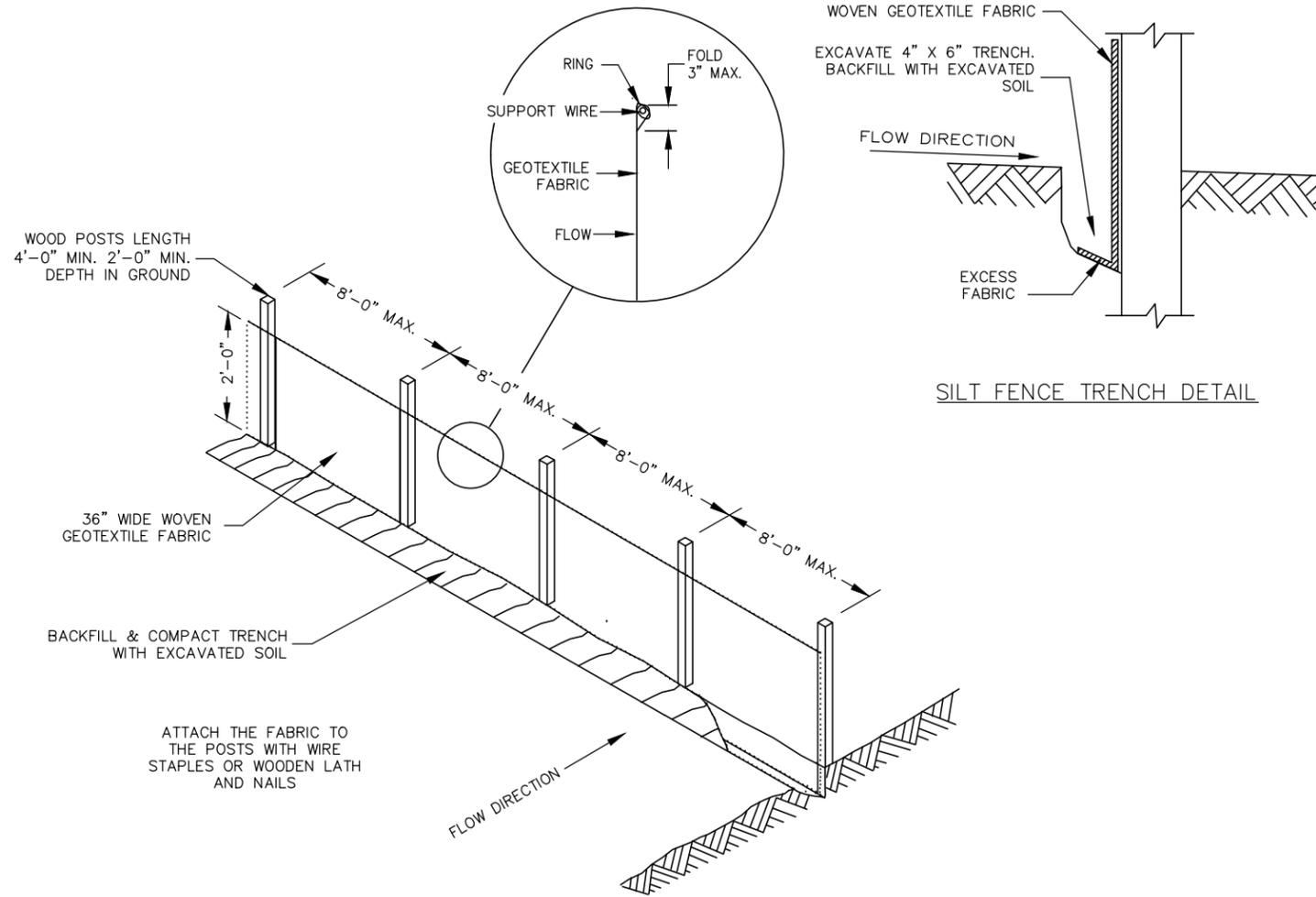
1. RESTORE DISTURBED AREA WITH 4-INCHES SALVAGED TOPSOIL, SEED (WIDOT NO. 40) AND MULCH IN ACCORDANCE WITH SECTIONS 630 AND 627, WIDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
2. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO GRADING ACTIVITIES AND SHALL BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION UNTIL VEGETATION IS ESTABLISHED. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER.
3. ALL EROSION CONTROL MEASURES AND STORM WATER STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY AND WITHIN 24 HOURS OF A 0.5 INCH OR GREATER RAINFALL. NECESSARY MAINTENANCE AND REPAIRS SHALL BE PERFORMED WITHIN 24 HOURS OF THE INSPECTION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED PRECAUTIONS.
5. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY.
6. EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL MEET REQUIREMENTS OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
7. A ROW OF SILT FENCE SHALL BE PLACED DOWNSLOPE AND AT LEAST 10 FEET AWAY FROM ANY STOCKPILE. SOIL STOCKPILES THAT ARE INACTIVE FOR MORE THAN 7 CONSECUTIVE DAYS SHALL BE STABILIZED WITH SEED AND MULCH, EROSION MAT, POLYMER, OR COVERED WITH TARPS OR SIMILAR MATERIAL TO PREVENT OR REDUCE THE DISCHARGE OF SEDIMENT ERODING FROM THE STOCKPILE.
8. TEMPORARY STABILIZATION MEASURES SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. TEMPORARY STABILIZATION MAY INCLUDE TEMPORARY SEEDING, MULCHING, OR WISDOT TYPE B SOIL STABILIZERS.

NOTES:

1. EXISTING TOPOGRAPHY BASED ON SITE SURVEYS PERFORMED BY DANE COUNTY ON JUNE 12, 2013 (PERIMETER SWALE, GEOTHERMAL BERM, AND SOUTH OF FOOD SERVICE/ADMIN. BUILDING PARKING LOT), AND BY SCS ENGINEERS ON OCTOBER 26, 2011 (BR4, BR7, AND WEST DRY DETENTION BASIN) AND NOVEMBER 13, 14, AND 20, 2013 (REMAINING AREAS).
2. BUILDING, PARKING LOT, SIDEWALK AND ROAD LAYOUT FROM BT², INC. EROSION CONTROL PLAN DRAWING C4, DATED OCTOBER 16, 2012.
3. UTILITIES OBTAINED FROM BT², INC. UTILITIES PLAN DRAWING, DATED JULY 20, 2012, WITH MODIFICATIONS PROVIDED BY DANE COUNTY.
4. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS AND SUBSURFACE UTILITIES PRIOR TO STARTING WORK. PRIVATE UTILITY LOCATORS OTHER THAN DIGGERS HOTLINE MAY BE REQUIRED PER CONTRACT DOCUMENTS.



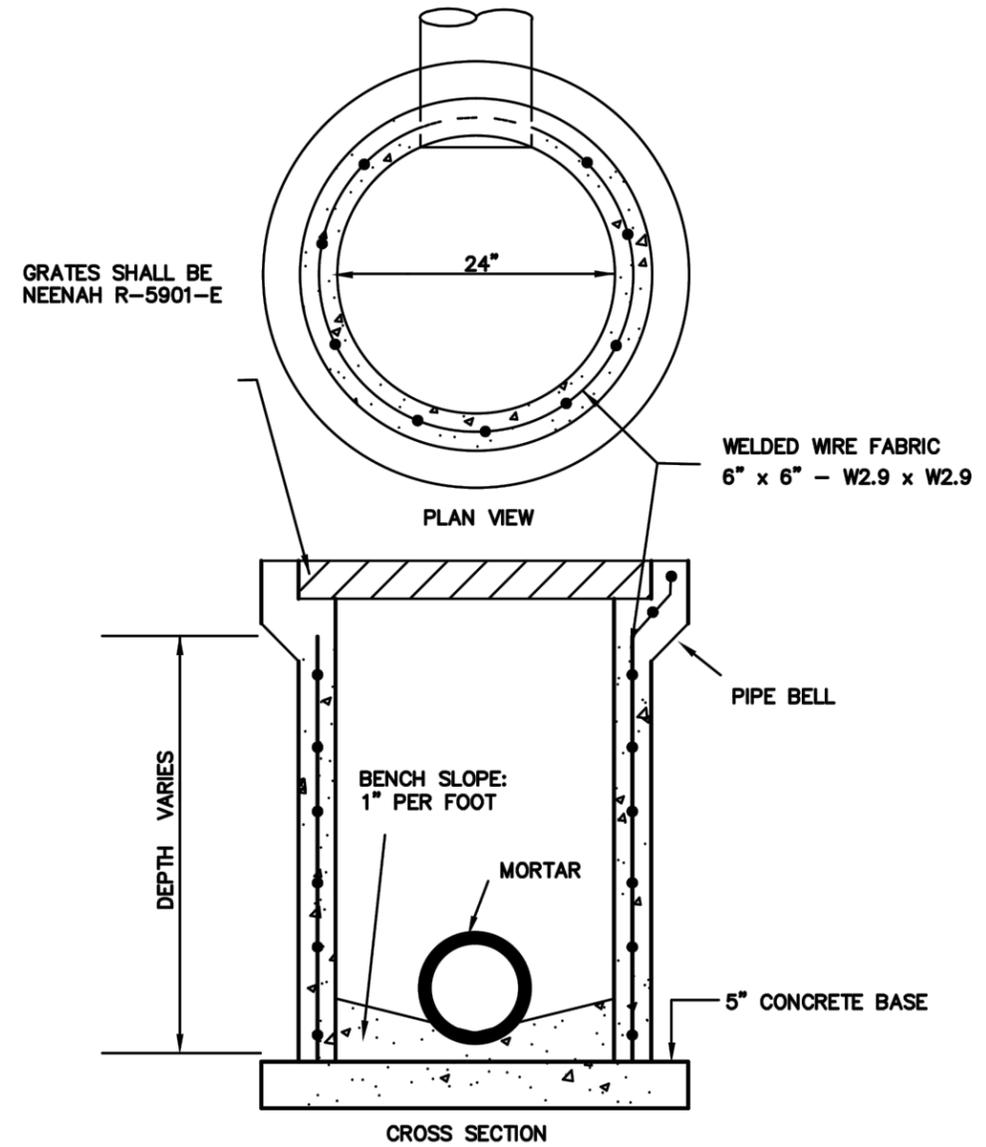
<p style="text-align: center;">GRADING/DRAINAGE IMPROVEMENT AREAS ALTERNATE BID 1</p>	FIGURE C1
<p style="text-align: center;">BADGER PRAIRIE HEALTH CARE CENTER DANE COUNTY VERONA, WISCONSIN</p>	ENGINEER
<p style="text-align: center;">DANE COUNTY PUBLIC WORKS 1919 ALLIANT ENERGY WAY MADISON WI, 53713</p>	CLIENT
<p>PROJECT NO. 25213211.00</p> <p>DRAWN BY: JB/KP</p> <p>CHECKED BY: BP</p> <p>APPROVED BY: 11/06/14</p>	
<p style="font-size: small;">2830 DAIRY DRIVE MADISON, WI 53718-6751 PHONE: (608) 224-2830</p>	



1
C2

SILT FENCE DETAIL

NOT TO SCALE



2
C2

FIELD INLET DETAIL

NOT TO SCALE

DETAILS
ALTERNATE BID 1

BADGER PRAIRIE HEALTH CARE CENTER
DANE COUNTY
VERONA, WISCONSIN

DANE COUNTY PUBLIC WORKS
1919 ALLIANT ENERGY WAY
MADISON WI, 53713



SCS ENGINEERS
2830 DAIRY DRIVE MADISON, WI 53718-6751
PHONE: (608) 224-2830

ENGINEER

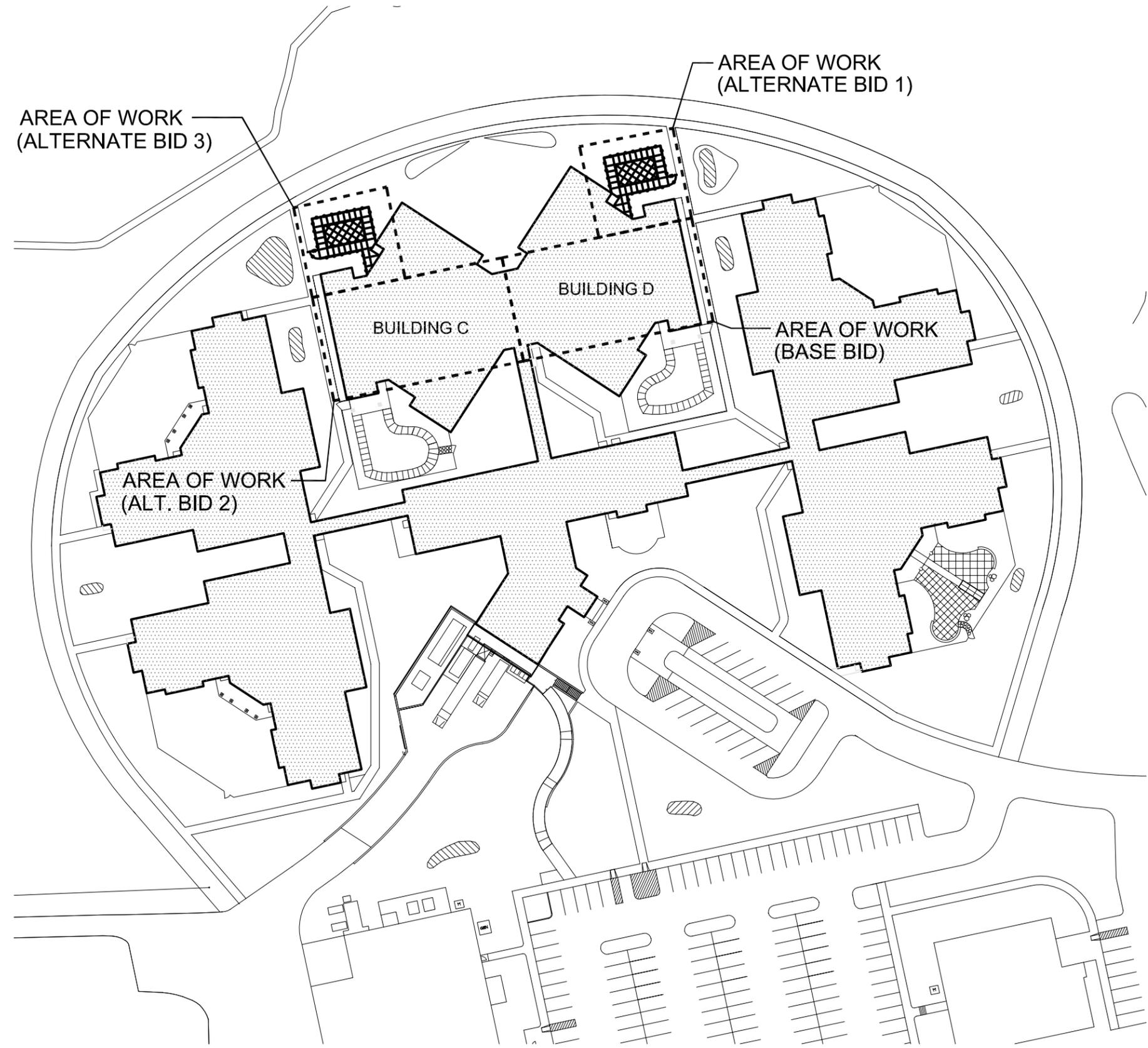
JB/KP
BP

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APPROVED BY:

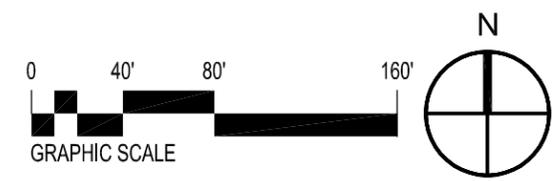
25213211.00
01/22/14
11/04/14

PROJECT NO.
DRAWN:
ISSUED FOR CONSTRUCTION:

FIGURE
C2



1 OVERALL BUILDING PLAN
002 1" = 80'



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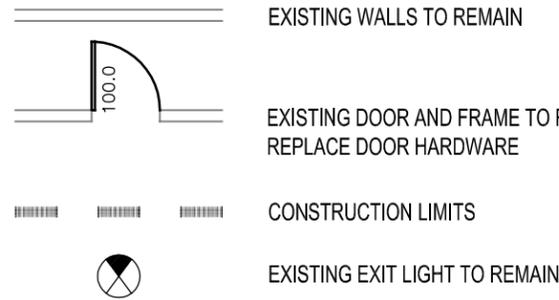
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DATE	JOB #
11-06-14	120341-02
DRAWN BY	SHEET #
AJR	002

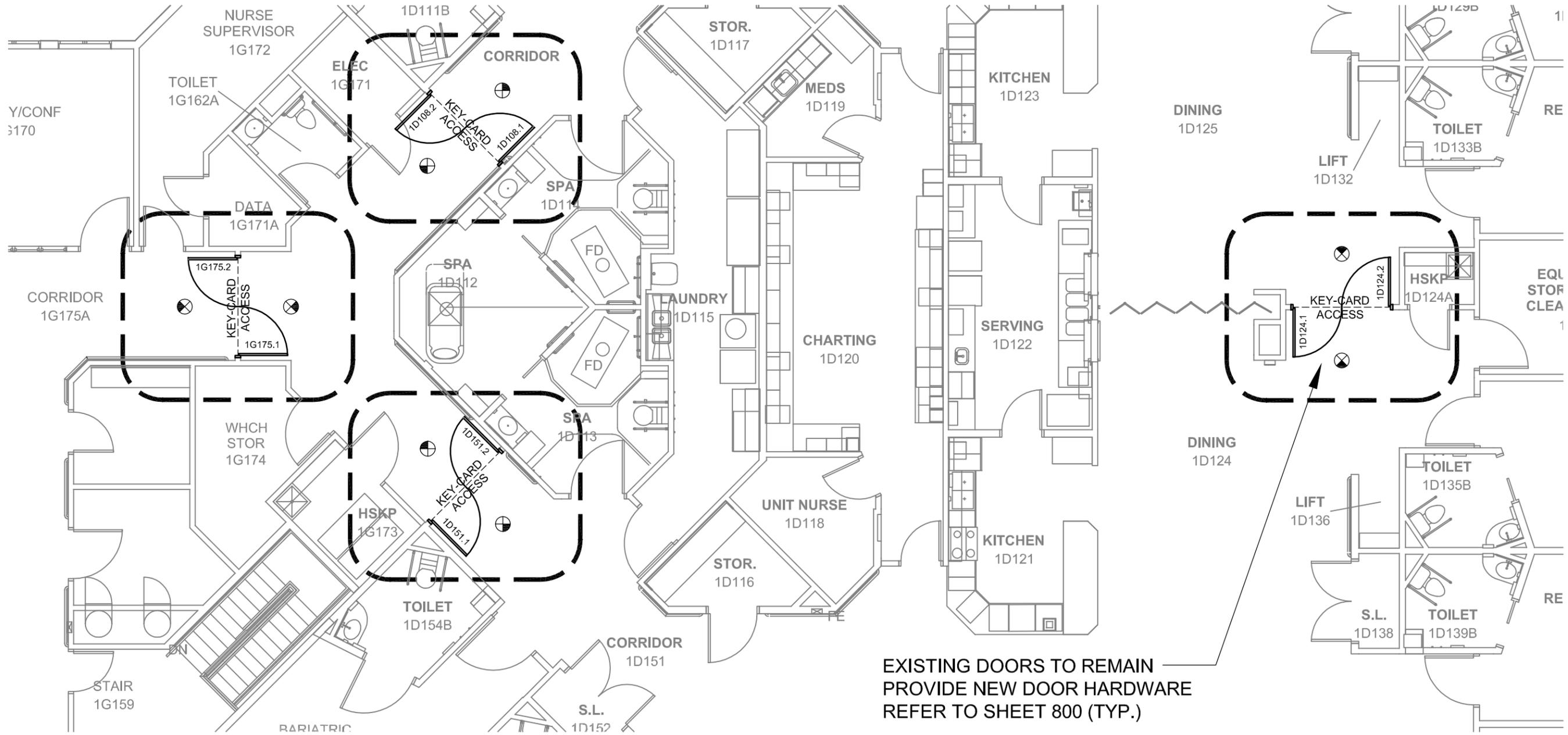
Bid No. 314001

FLOOR PLAN - SYMBOLS LEGEND

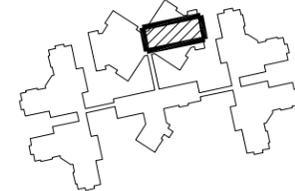


FLOOR PLAN - GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
- B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
- C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
- D. REFER TO SHEET 800 FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.



EXISTING DOORS TO REMAIN
 PROVIDE NEW DOOR HARDWARE
 REFER TO SHEET 800 (TYP.)



1 EGRESS DOOR PLAN (BUILDING D)
 200 1/8" = 1'-0" BASE BID



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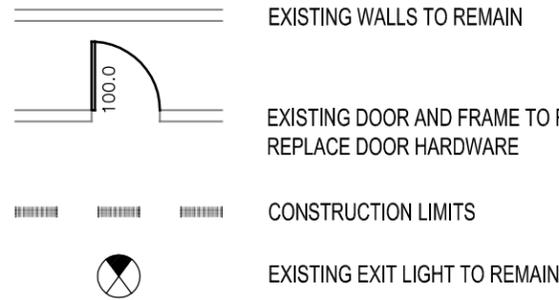
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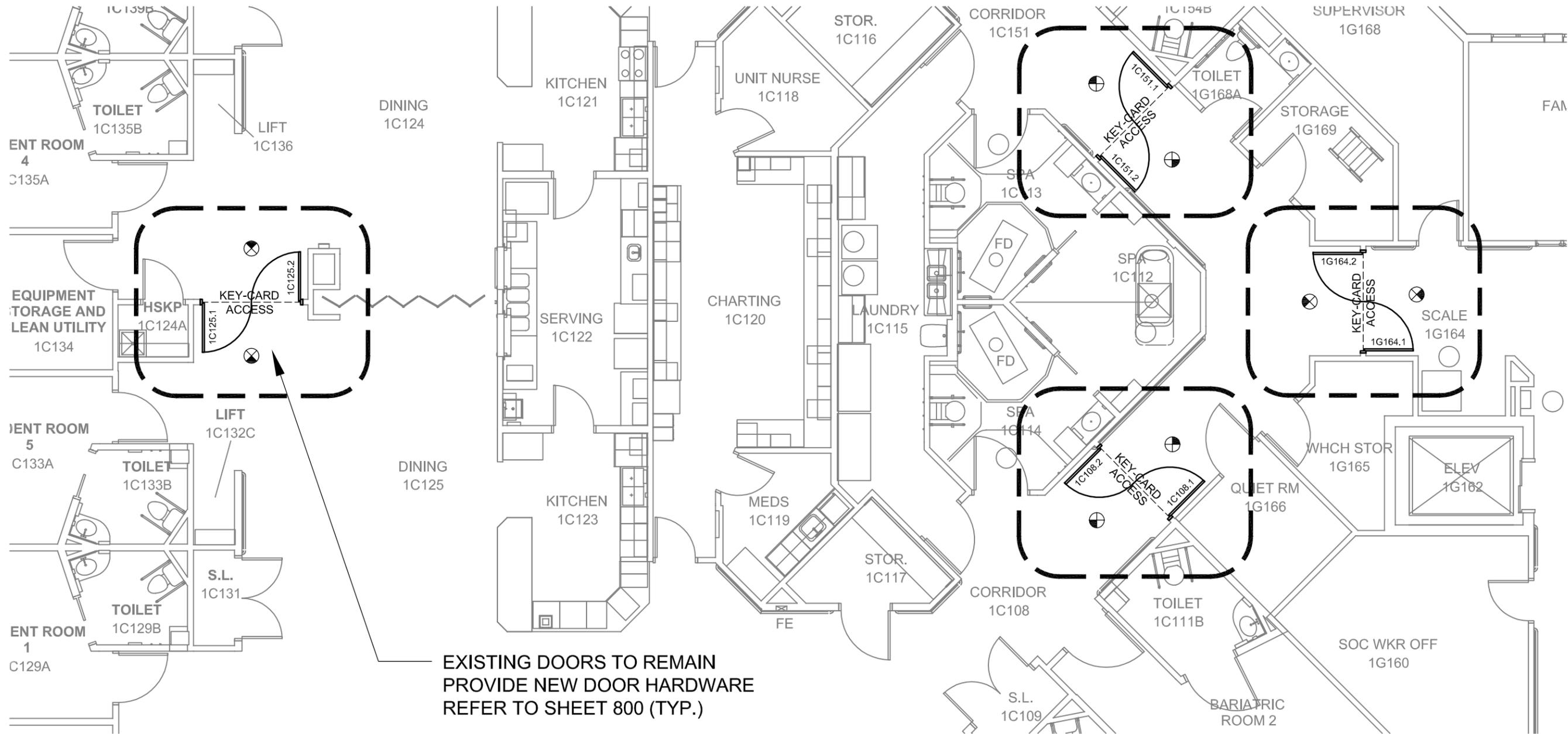
DATE 11-06-14	JOB # 120341-02
DRAWN BY AJR	SHEET # 200

FLOOR PLAN - SYMBOLS LEGEND

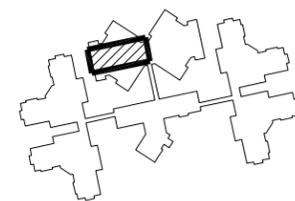


FLOOR PLAN - GENERAL NOTES

- A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
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- C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
- D. REFER TO SHEET 800 FOR DOOR SCHEDULES, DOOR TYPES, AND NOTES.



EXISTING DOORS TO REMAIN
 PROVIDE NEW DOOR HARDWARE
 REFER TO SHEET 800 (TYP.)



1 EGRESS DOOR PLAN (BUILDING C)
 202 1/8" = 1'-0"
 ALTERNATE BID 2



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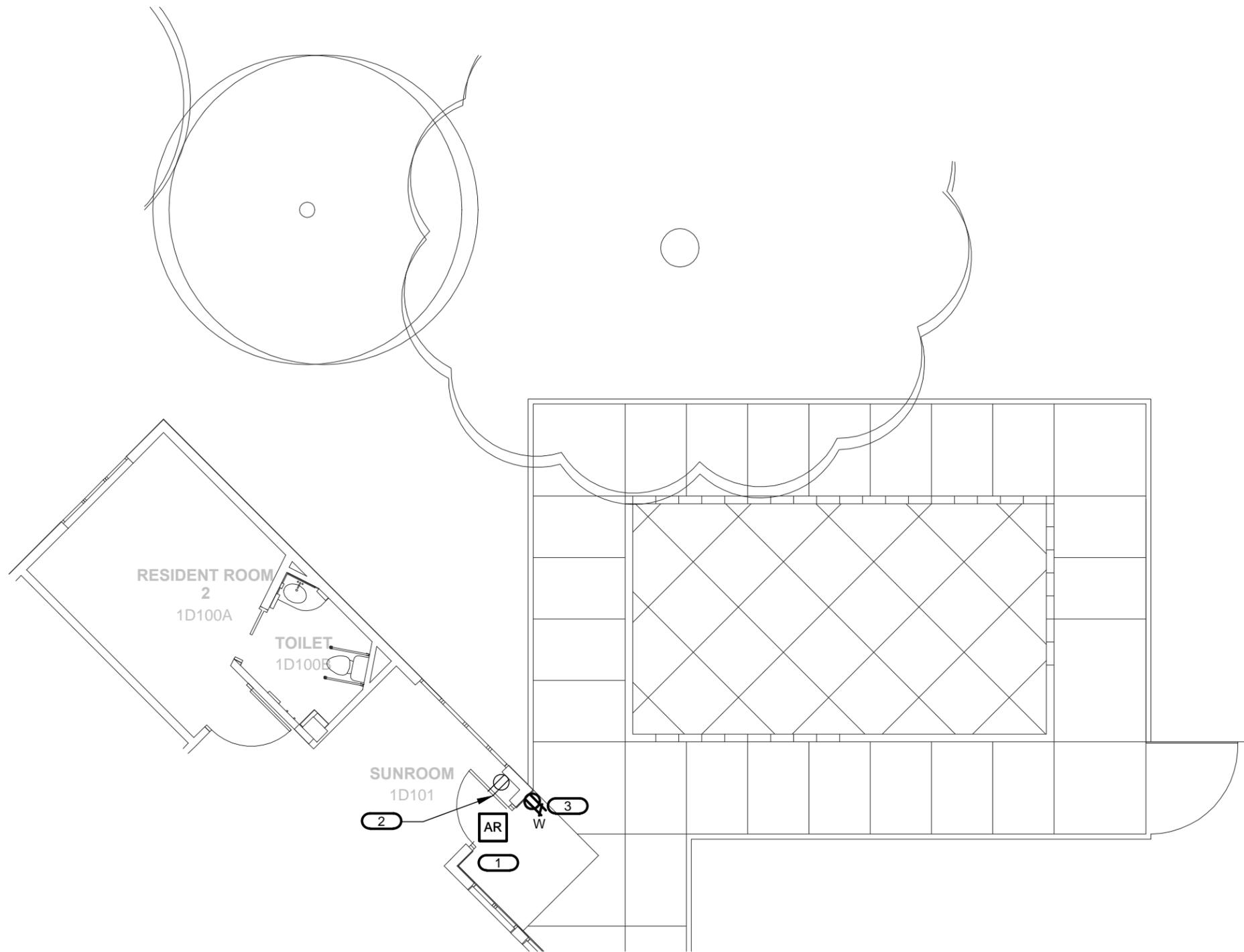
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1 PARTIAL FIRST FLOOR PLAN - ELECTRICAL
 E101 1/8"=1'-0" BUILDING D - ALTERNATE BID 1

- KEYNOTES** #
1. PROVIDE ADDRESSABLE RELAY ABOVE CEILING AT CARD ACCESS DOOR CONTROL TO UNLOCK DOORS IN EVENT OF FIRE ALARM. CONNECT ADDRESSABLE RELAY TO NEAREST SLC LOOP.
 2. RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
 3. CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

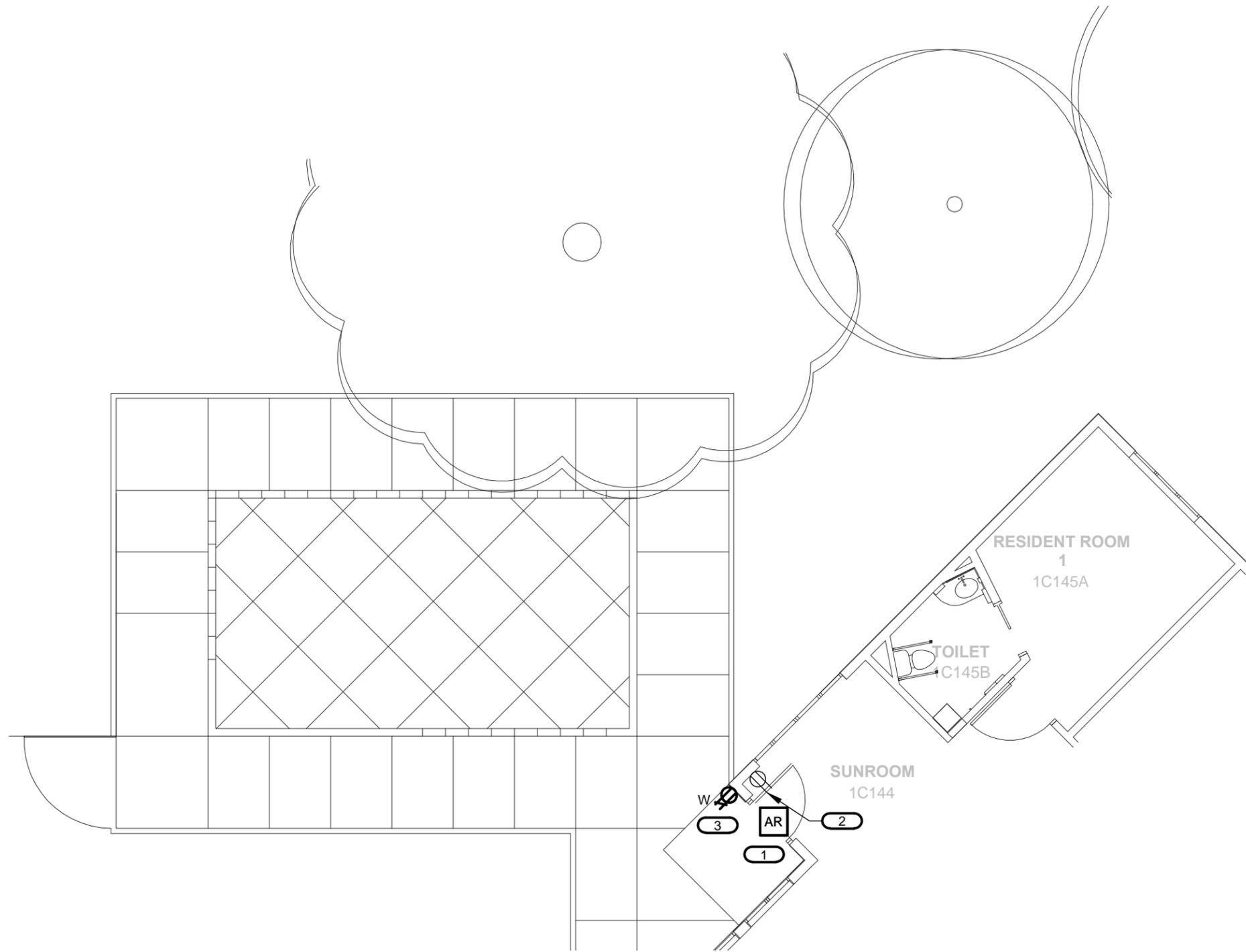


BADGER PRAIRIE HEALTH CARE CENTER
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 Bid No. 314001

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TRP	E101



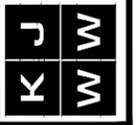


KEYNOTES #

1. PROVIDE ADDRESSABLE RELAY ABOVE CEILING AT CARD ACCESS DOOR CONTROL TO UNLOCK DOORS IN EVENT OF FIRE ALARM. CONNECT ADDRESSABLE RELAY TO NEAREST SLC LOOP.
2. RELOCATE EXISTING RECEPTACLE TO ACCOMMODATE NEW DOOR. COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.
3. CONNECT RECEPTACLE TO RECEPTACLE CIRCUIT NEARBY. VERIFY CIRCUIT CAPACITY PRIOR TO INSTALLATION. COORDINATE EXACT RECEPTACLE LOCATION WITH OWNER/ARCHITECT. WIRE & CONDUIT SIZE AND TYPE SHALL MATCH EXISTING.

1 PARTIAL FIRST FLOOR PLAN - ELECTRICAL
E103 1/8"=1'-0" BUILDING C - ALTERNATE BID 3

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TRP	E103



SUGGESTED MATRIX OF SCOPE RESPONSIBILITY

ITEM	SHOWN ON	FURNISHED BY	INSTALLED BY	NOTES (SEE BELOW)
ACCESS CONTROL SYSTEM ROUGH-IN	T-SERIES	E.C.	E.C.	2, 3, 9
CONDUIT SLEEVES (WHEN SHOWN ON DRAWINGS)	T-SERIES	E.C.	E.C.	
CONDUIT SLEEVES (NOT SHOWN BUT REQUIRED FOR PROPER INSTALLATION OF SYSTEM)	N/A	T.C.	E.C.	1, 3
FIRESTOPPING	N/A	E.C.	E.C.	8
GROUNDING LUGS ON TECHNOLOGY EQUIPMENT	T-SERIES	T.C.	E.C.	5
GROUNDING SYSTEM FOR TECHNOLOGY SYSTEM	T-SERIES	E.C.	E.C.	6
CONNECTION OF TECHNOLOGY GROUND SYSTEM TO THE ELECTRICAL GROUND SYSTEM	T-SERIES	E.C.	E.C.	7
LINE VOLTAGE POWER (+120V OR GREATER)	E-SERIES	E.C.	E.C.	
LINE VOLTAGE POWER (NOT SHOWN BUT REQUIRED FOR PROPER INSTALLATION OF SYSTEM)	N/A	T.C.	E.C.	1, 3
LINE VOLTAGE POWER FOR DOOR HARDWARE POWER SUPPLIES	ARCH. DOCUMENTS	E.C.	E.C.	
LOW VOLTAGE CABLING FOR TECHNOLOGY SYSTEMS	T-SERIES	T.C.	T.C.	
BRIDLE RINGS, J-HOOKS, OR OTHER CABLE ROUTING METHODS (OTHER THAN CONDUIT AND CABLE TRAY)	T-SERIES	T.C.	T.C.	4

NOTES:

1. BASED ON THE INHERENT DIFFERENCES IN PRODUCTS FROM VARIOUS MANUFACTURERS, ALL REQUIRED EQUIPMENT MAY NOT BE SHOWN ON THE DRAWINGS FOR ALL ACCEPTABLE MANUFACTURERS.
2. INCLUDES BACKBOXES AND CONDUIT REQUIRED FOR THE TECHNOLOGY SYSTEMS INSTALLATION. THE E.C. SHALL BASE THE BID ON THE BASIS OF DESIGN SHOWN ON THE CONTRACT DOCUMENTS.
3. ALL CHANGES TO THE SLEEVES, BACKBOXES, CONDUITS, AND POWER REQUIRED BECAUSE OF THE T.C.'S SELECTION OF AN ALTERNATE ACCEPTABLE MANUFACTURER (OR FROM SYSTEM CONFIGURATIONS THAT ARE LEFT TO THE CHOICE OF THE CONTRACTOR) SHALL BE INCLUDED IN THE T.C.'S BID. THIS BID SHALL INCLUDE INSTALLATION BY A LICENSED ELECTRICIAN.
4. UNLESS TRADE RULES DICTATE OTHERWISE.
5. FURNISHED AS PART OF THE EQUIPMENT WHEN POSSIBLE, OR FURNISHED TO THE E.C. FOR INSTALLATION IN THE FIELD.
6. INCLUDES ALL CONDUCTORS, GROUND BARS, AND TERMINATIONS FOR THE COMPLETE GROUNDING SYSTEM REQUIRED BY THE SPECIFICATIONS INCLUDING CONNECTORS TO THE LUGS PROVIDED ON THE TECHNOLOGY EQUIPMENT.
7. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF PANELS AND SWITCHBOARDS SHOWN IN THE GROUNDING RISER.
8. FIRESTOPPING REFERS TO THE ITEMS SPECIFICALLY ADDRESSED IN DIVISION 26 AND 28 DOCUMENTS. REFER TO INDIVIDUAL SPECIFICATION SECTIONS FOR INFORMATION SPECIFIC TO FIRESTOPPING.
9. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH SYSTEM CONTRACTOR FOR APPROPRIATE CUSTOM BACKBOXES FOR THIS SYSTEM. CUSTOM BACKBOXES FURNISHED BY T.C., INSTALLED BY E.C. STANDARD BACKBOXES, JUNCTION BOXES, AND ASSOCIATED CONDUIT FURNISHED AND INSTALLED BY E.C.

1
T001

SUGGESTED MATRIX OF SCOPE RESPONSIBILITY - TECHNOLOGY

NO SCALE

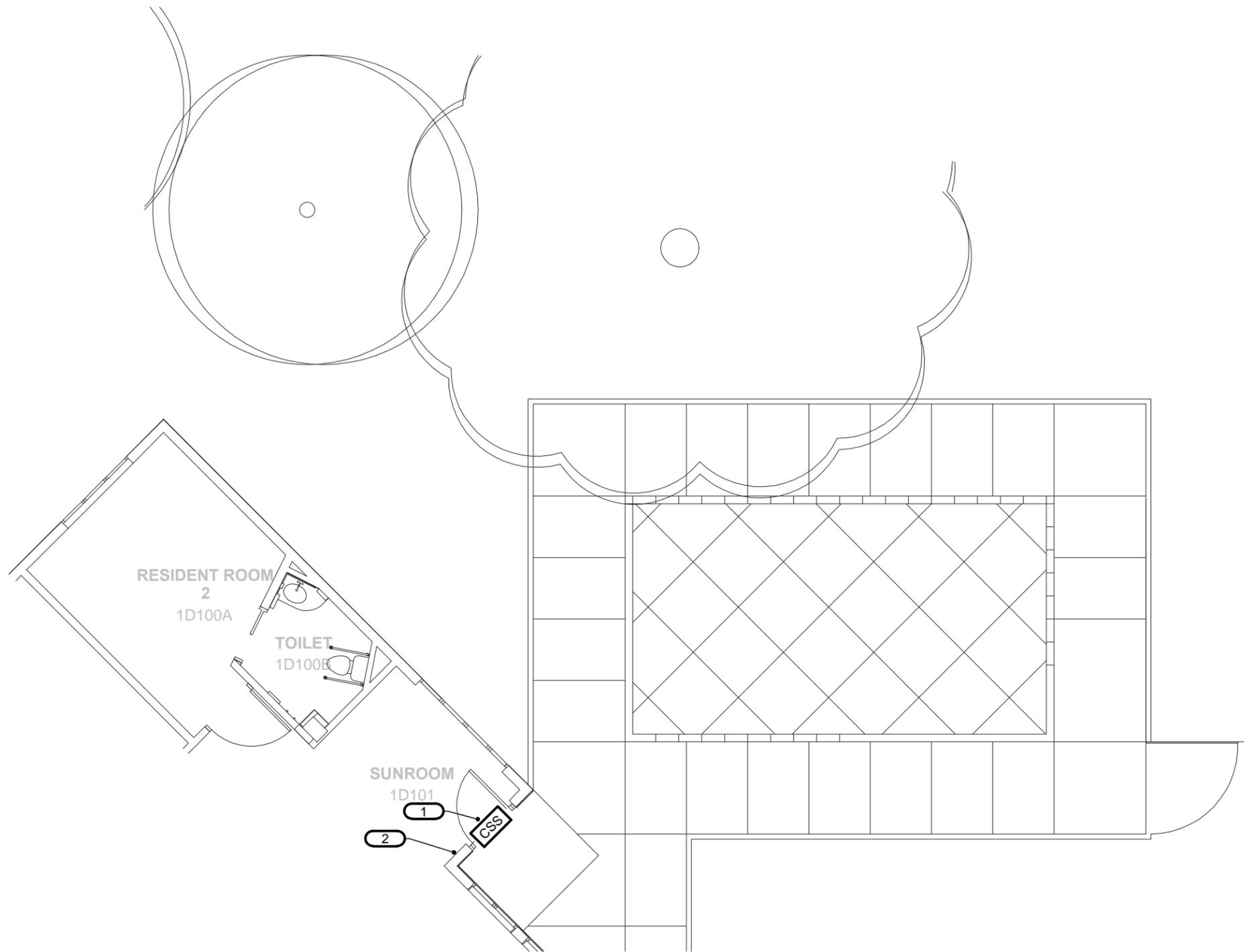


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CMF	T001



GENERAL NOTES

1. REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

KEYNOTES #

1. EXISTING VOICE/DATA JACK TO BE RELOCATED. REFER TO KEYNOTE 2 FOR NEW LOCATION.
2. NEW LOCATION FOR EXISTING VOICE/DATA JACK.



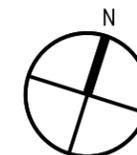
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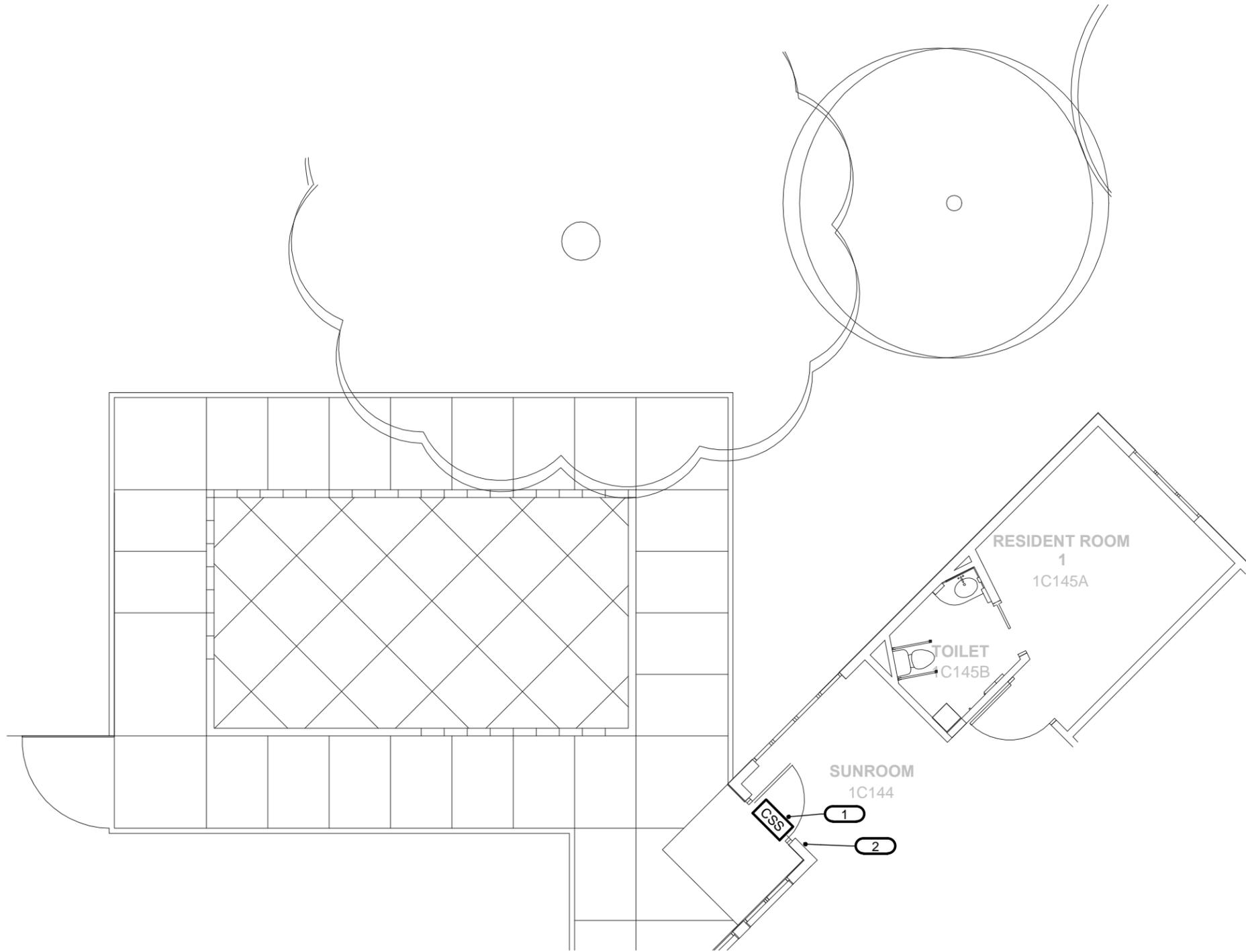
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CMF	T101

1 PARTIAL FIRST FLOOR PLAN - TECHNOLOGY
T101 1/8"=1'-0" BUILDING D - ALTERNATE BID 1





1 PARTIAL FIRST FLOOR PLAN - TECHNOLOGY
T103 1/8"=1'-0" BUILDING C - ALTERNATE BID 3

GENERAL NOTES

1. REFER TO 1/T050 FOR LOCATION OF EXISTING ACCESS CONTROL PANELS.

KEYNOTES #

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2. NEW LOCATION FOR EXISTING VOICE/DATA JACK.

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