



RFB NO. 318068

# **CONSTRUCTION DOCUMENTS PROJECT MANUAL**

DANE COUNTY DEPARTMENT OF PUBLIC WORKS,  
HIGHWAY AND TRANSPORTATION

**PUBLIC WORKS ENGINEERING DIVISION**  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WISCONSIN 53713

## **REQUEST FOR BIDS NO. 318068 BUILDING DEMOLITIONS FORMER MESSNER BUILDING 1314-1326 EAST WASHINGTON AVENUE MADISON, WISCONSIN**

Due Date / Time: **THURSDAY, AUGUST 29, 2019 / 2:00 P.M.**

Location: **PUBLIC WORKS OFFICE**

Performance / Payment Bond: **100% OF CONTRACT AMOUNT**

Bid Deposit: **5% OF BID AMOUNT**

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FOR INFORMATION ON THIS REQUEST FOR BIDS, PLEASE CONTACT:

TODD DRAPER, PROJECT MANAGER  
TELEPHONE NO.: 608/267-0119  
FAX NO.: 608/267-1533  
E-MAIL: DRAPER@COUNTYOFDANE.COM

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Preliminary NESHAP's Pre-Demolition Asbestos and Lead Inspection Report for 1314 East Washington Avenue: Environmental Management Consulting, Inc.  
Preliminary NESHAP's Pre-Demolition Asbestos and Lead Inspection Report for 1318 East Washington Avenue: Environmental Management Consulting, Inc.  
Preliminary NESHAP's Pre-Demolition Asbestos and Lead Inspection Report for 1326-1328 East Washington Avenue: Environmental Management Consulting, Inc.  
Proposed Soil Boring Locations: SCS Engineers

## LEGAL NOTICE

### INVITATION TO BID

Dane County Dept. of Public Works, Hwy & Transp., 1919 Alliant Energy Center Way, Madison, WI 53713, will receive sealed Bids until:

**2:00 P.M., THURSDAY, AUGUST 29, 2019**

**RFB NO. 318068**

**BUILDING DEMOLITIONS**

**FORMER MESSNER BUILDING SITE**

**1314-1326 EAST WASHINGTON AVENUE**

**MADISON, WI**

Dane County is inviting Bids for building demolition services. Only firms with capabilities, experience & expertise with similar projects should obtain this Request for Bids document & submit Bids.

Request for Bids document may be obtained after **2:00 p.m. on August 1, 2019** by downloading it from [bids-pwht.countyofdane.com](http://bids-pwht.countyofdane.com). Please call Todd Draper, Project Manager, at 608/267-0119, draper@countyofdane.com, or our office at 608/266-4018, for any questions or additional information.

All Bidders must be pre-qualified as a Best Value Contractor before award of Contract. Complete Pre-qualification Application for Contractors at [countyofdane.com/pwht/BVC\\_Application.aspx](http://countyofdane.com/pwht/BVC_Application.aspx) or obtain one by calling 608/266-4029.

A pre-bid facility tour will be held August 7, 2019 at 10:00 a.m. at the Messner Building, 1326 E Washington Ave., starting in the parking lot. Bidders are strongly encouraged to attend this tour. Additional times to visit site can be arranged through the Project Manager.

**PUBLISH: JULY 30 & AUGUST 6, 2019 - WISCONSIN STATE JOURNAL**

**JULY 30 & AUGUST 6, 2019 - THE DAILY REPORTER**



Department of Public Works, Highway & Transportation  
**Public Works Engineering Division**

608/266-4018

Gerald J. Mandli, P.E.  
**Commissioner / Director**

Joseph T. Parisi  
**County Executive**

**Deputy Director**  
Todd Draper

1919 Alliant Energy Center Way  
Madison, Wisconsin 53713  
Fax: 608/267-1533  
[www.countyofdane.com/pwht/public\\_works.aspx](http://www.countyofdane.com/pwht/public_works.aspx)

## **BEST VALUE CONTRACTING APPLICATION**

### **CONTRACTORS / LICENSURE APPLICANTS**

The Dane County Department of Public Works requires all contractors to be pre-qualified as a best value contractor with the County prior to being awarded a contract. In addition, the County pre-qualifies potential contractors and sub-contractors who wish to work on County contracts. Subcontractors must become pre-qualified ten (10) days prior to commencing work under any Dane County Public Works Contract. Potential subcontractors are urged to become pre-qualified as early as possible. This document shall be completed, properly executed, along with the necessary attachments and additional information that the County requires for the protection and welfare of the public in the performance of a County contract.

Contractors or subcontractors of any tier who attain pre-qualification status will retain that status for a period of two (2) years from the date of qualification. Contractors shall notify the Dane County Department of Public Works, Highway & Transportation within fifteen (15) days of any changes to its business or operations that are relevant to the pre-qualification application. Failure to do so could result in suspension, revocation of the contractor's pre-qualification, debarment from County contracts for up to three (3) years and / or other sanctions available under the law.

No contracts will be awarded for construction work performed on Dane County projects unless the contractor is currently approved as a Wisconsin Trade Trainer or has applied for approval as an Apprenticeship Trade Trainer to the Wisconsin Department of Workforce Development and agrees to an acceptable apprenticeship program. If you are not currently approved as a Wisconsin Trade Trainer, or have not applied for approval as an Apprenticeship Trade Trainer, please contact the Department of Workforce Development - Bureau of Apprenticeship Standards at 608/266-3133 or visit their web site at: [dwd.wisconsin.gov/apprenticeship/](http://dwd.wisconsin.gov/apprenticeship/).

### **EXEMPTIONS**

- Contractors who employ less than five (5) apprenticeable trade workers are not required to pre-qualify.
- Contractors performing work that does not apply to an apprenticeable trade, as outlined in Appendix A.
- The contractor / subcontractor provides sufficient documentation to demonstrate one or more of the following:
  - apprentices are not available in a specific geographic area;
  - the applicable apprenticeship program is unsuitable or unavailable; or
  - there is a documented depression of the local construction market which prevents compliance.

SEC.	PROOF OF RESPONSIBILITY	CHECK IF APPLICABLE
1	Does your firm possess all technical qualifications and resources, including equipment, personnel and financial resources, necessary to perform the work required for any project or obtain the same through the use of responsible, pre-qualified subcontractors?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
2	Will your firm possess all valid, effective licenses, registrations or certificates required by federal, state, county, or local law, which are necessary for the type of work to be performed including, but not limited to, those for any type of trade work or specialty work?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
3	Will your firm meet all bonding requirements as required by applicable law or contract specifications?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
4	Will your firm meet all insurance requirements as required by applicable law or specifications, including general liability insurance, workers compensation insurance and unemployment insurance requirements?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
5	Will your firm maintain a substance abuse policy for employees hired for public works contracts that comply with Wis. Stats. Sec. 103.503?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
6	Does your firm acknowledge that it must pay all craft employees on public works projects the wage rates and benefits required under Section 66.0903 of the Wisconsin Statutes?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
7	Will your firm fully abide by the equal opportunity and affirmative action requirements of all applicable laws, including County ordinances?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
8	In the past three (3) years, has your firm had control or has another corporation, partnership or other business entity operating in the construction industry controlled it? If so, please attach a statement explaining the nature of the firm relationship?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
9	In the past three (3) years, has your firm had any type of business, contracting or trade license, certification or registration revoked or suspended?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
10	In the past three (3) years, has your firm been debarred by any federal, state or local government agency?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
11	In the past three (3) years, has your firm defaulted or failed to complete any contract?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
12	In the past three (3) years, has your firm committed a willful violation of federal, state or local government safety laws as determined by a final decision of a court or government agency authority.	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
13	In the past three (3) years, has your firm been in violation of any law relating to your contracting business where the penalty for such violation resulted in the imposition of a penalty greater than \$10,000?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach details.
14	Is your firm Executive Order 108 pre-certified with the State of Wisconsin?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
15	Is your firm an active Wisconsin Trade Trainer as determined by the Wisconsin Bureau of Apprenticeship Standards?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
16	Is your firm exempt from being pre-qualified with Dane County?	Yes: <input type="checkbox"/> No: <input type="checkbox"/> If Yes, attach reason for exemption.
17	Does your firm acknowledge that in doing work under any County Public Works Contract, it will be required to use as subcontractors only those contractors that are also pre-qualified with the County or become so ten days prior to commencing work?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
18	Contractor has been in business less than one year?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
19	Is your firm a first time Contractor requesting a one time exemption, but, intend to comply on all future contracts and are taking steps typical of a "good faith" effort?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>
20	Not applicable. My firm does not intend to work on Best Value Contracts. Note: Best Value Contracting is required to bid on most Public Works Contracts (if unclear, please call Todd Draper 608-267-0119).	Yes: <input type="checkbox"/> No: <input type="checkbox"/>

## SIGNATURE SECTION

Your firm's Officer, or the individual who would sign a bid and / or contract documents must sign this document.

I do hereby certify that all statements herein contained are true and correct to the best of my knowledge:

Signature: \_\_\_\_\_

(Application is invalid without signature)

Print Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

NAME AND ADDRESS OF CONTRACTOR	
Name of Firm:	
Address:	
City, State, Zip:	
Phone Number:	
Fax Number:	
E-mail Address:	

## REMEMBER!

**RETURN ALL TO FORMS AND ATTACHMENTS, OR QUESTIONS TO:**

**TODD DRAPER  
EMAIL: DRAPER@COUNTYOFDANE.COM  
OFFICE: (608)267-0119, FAX: (608)267-1533**

**DANE COUNTY DEPARTMENT OF PUBLIC WORKS, HIGHWAY & TRANSPORTATION  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WI 53713**

## APPENDIX A

### APPRENTICEABLE TRADES:

- Bricklayer
- Carpenter
- Cement Mason (Concrete Finisher)
- Cement Mason (Heavy Highway)
- Construction Craft Laborer
- Data Communications Installer
- Electrician
- Elevator Mechanic / Technician
- Environmental Systems Technician / HVAC Service Technician / HVAC Install & Service
- Glazier
- Heavy Equipment Operator / Operating Engineer
- Insulation Worker (Heat & Frost)
- Iron Worker (Assembler, Metal Buildings)
- Painter / Decorator
- Plasterer
- Plumber
- Roofer / Waterproofer
- Sheet Metal Worker
- Sprinkler Fitter
- Steamfitter (Service & Refrigeration)
- Taper & Finisher
- Telecommunications (Voice, Data & Video) Installer / Technician
- Tile Setter

# INSTRUCTIONS TO BIDDERS

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### **1. GENERAL**

- A. Before submitting Bid, bidder shall thoroughly examine all Construction Documents. Successful Bidder shall be required to provide all the Work that is shown on Drawings, set forth in Specifications, or reasonably implied as necessary to complete Contract for this project.
- B. Bidder shall visit site to become acquainted with adjacent areas, means of approach to site, conditions of actual site and facilities for delivering, storing, placing, and handling of materials and equipment.
- C. Pre-bid meeting is scheduled on August 7, 2019 at 10:00 a.m. at the Former Messner Building site, 1326 E Washington Ave., Madison. Attendance by all bidders is optional, however bidders and subcontractors are strongly encouraged to attend.
- D. The scope of the Work calls for bidders with experience in turn-key environmental, abatement, and demolition projects who will complete the Work under one contract.

### **2. DRAWINGS AND SPECIFICATIONS**

- A. Drawings and Specifications that form part of this Contract, as stated in Article 1 of General Conditions of Contract, are enumerated in Document Index of these Construction Documents.
- B. Complete sets of Drawings and Specifications for all trades will be available to all Bidders, irrespective of category of work to be bid on, in order that all Bidders may be familiar with work of other trades as they affect their bid.



### **3. INTERPRETATION**

- A. No verbal explanation or instructions will be given in regard to meaning of Drawings or Specifications before Bid Due Date. Bidders shall bring inadequacies, omissions or conflicts to Owner or Architect / Engineer's attention at least ten (10) calendar days before Bid Due Date. Prompt clarification will be available to all bidders by Addendum.
- B. Failure to so request clarification or interpretation of Drawings and Specifications will not relieve successful Bidder of responsibility. Signing of Contract will be considered as implicitly denoting that Contractor has thorough understanding of scope of the Work and comprehension of Construction Documents.
- C. Owner will not be responsible for verbal instructions.

### **4. QUALIFICATIONS OF BIDDER (CONTRACTOR AND SUBCONTRACTOR)**

- A. Before award of Contract can be approved, Owner shall be satisfied that Bidder involved meets following requirements:
  - 1. Has completed at least one (1) project of at least fifty percent (50%) of size or value of Division of work being bid and type of work completed is similar to that being bid. If greater magnitude of experience is deemed necessary, other than size or value of work, such requirements will be described in appropriate section of Specifications.
  - 2. Maintains permanent place of business.
  - 3. Can be bonded for terms of proposed Contract.
  - 4. Has record of satisfactorily completing past projects. Criteria which will be considered in determining satisfactory completion of projects by bidder will include:
    - a. Completed contracts in accordance with drawings and specifications.
    - b. Diligently pursued execution of work and completed contracts according to established time schedule unless Owner grants extensions.
    - c. Fulfilled guarantee requirements of construction documents.
    - d. Is not presently on ineligible list maintained by County's Department of Administration for noncompliance with equal employment opportunities and affirmative action requirements.
    - e. Authorized to conduct business in Wisconsin. By submitting Bid, bidder warrants that it has: complied with all necessary requirements to do business in State of Wisconsin; that persons executing contract on its behalf are authorized to do so; and, if corporation, that name and address of bidder's registered agent are as set forth in Contract. Bidder shall notify Owner immediately, in writing, of any change in its registered agent, their address, and bidder's legal status. For partnership, term "registered agent" shall mean general partner.
- B. County's Public Works Project Manager will make such investigations as are deemed necessary to determine ability of bidder to perform the Work, and bidder shall furnish to County's Public Works Project Manager or designee all such information and data for this purpose as County's Public Works Project Manager may request. Owner reserves right to reject Bid if evidence submitted by, or investigation of, bidder fails to satisfy Owner that bidder is responsible and qualified to carry out obligations of Contract and to complete the Work contemplated therein.

## **5. BID GUARANTEE**

- A. Bank certified check, cashier's check or Bid Bond, payable to County in amount not less than five percent (5%) of maximum bid, shall accompany each Bid as guarantee that if Bid is accepted, Bidder will execute and return proposed Contract and Performance and Payment Bonds within ten (10) business days after being notified of acceptance of Bid. Company issuing bonds must be licensed to do business in Wisconsin.
- B. Any bid, which is not accompanied by bid guarantee, will be considered "No Bid" and will not be read at Bid Due Date.
- C. If successful Bidder so delivers Contract, Certificate of Insurance, and Performance and Payment Bonds, check will be returned to Bidder. In case Bidder fails to deliver such Contract, insurance, and bond, amount of bid guarantee will be forfeited to County as liquidated damages.
- D. All checks tendered as bid guarantee, except those of three (3) lowest qualified, responsible bidders, will be returned to their makers within three (3) business days after Bid Due Date. All such retained checks will be returned immediately upon signing of Contract and Performance and Payment Bonds by successful Bidder.

## **6. WITHDRAWAL OF BIDS**

- A. Bids may be withdrawn by written request received from bidder or authorized representative thereof prior to time fixed for Bid Due Date, without prejudice to right of bidder to file new Bid. Withdrawn Bids will be returned unopened. Negligence on part of bidder in preparing their Bid confers no right for withdrawal of Bid after it has been opened.
- B. No Bid may be withdrawn for period of sixty (60) calendar days after Bid Due Date.
- C. If Bid contains error, omission or mistake, bidder may limit liability to amount of bidder's guarantee by giving written Notice of Intent not to execute Contract to Owner within seventy-two (72) hours of Bid Due Date.

## **7. CONTRACT FORM**

- A. Sample copy of contract that successful Bidder will be required to enter into is included in these Construction Documents and bidders are required to familiarize themselves with all conditions contained therein.

## **8. CONTRACT INTERESTS BY COUNTY PUBLIC OFFICIALS**

- A. In accordance with Wisconsin Statute 946.13, county official may not bid for or enter into any contract involving receipts or disbursements of more than \$15,000.00 in a year, in which they have private pecuniary interest, direct or indirect if at same time they are authorized to take official action with respect to making of this Contract. Any contract entered into in violation of this Statute is void and County incurs no liability thereon. This subsection does not affect application and enforcement of Wisconsin Statute 946.13 by state prosecutors in criminal courts of this state.

## **9. EMERGING SMALL BUSINESS PROVISIONS**

- A. **Emerging Small Business Definition.** For purposes of this provision, ESB is defined as:

1. Independent business concern that has been in business minimum of one year;
  2. Business located in State of Wisconsin;
  3. Business comprised of less than twenty-five (25) employees;
  4. Business must not have gross sales in excess of three million dollars (\$3,000,000.00) over past three years; and
  5. Business does not have history of failing to complete projects.
- B. **Emerging Small Business (ESB) Involvement.** Bidder shall make good faith effort to award minimum of ten percent (10%) of the Work to ESBs. Bidder shall submit report to Dane County Contract Compliance Officer within ten (10) business days of Bid Due Date demonstrating such efforts. Good faith efforts means significant contact with ESBs for purposes of soliciting bids from them. Failure to make or demonstrate good faith efforts will be grounds for disqualification.
- C. **Emerging Small Business Report.** Emerging Small Business Enterprise Report is to be submitted by Bidder in separate envelope marked "Emerging Small Business Report". This report is due by 2:00 p.m. following specified ten (10) business days after Bid Due Date. Bidder who fails to submit Emerging Small Business Report shall be deemed not responsive.
- D. **ESB Goal.** Goal of this project is ten percent (10%) ESB participation. ESB utilizations are shown as percentage of total Bid. If Bidder meets or exceeds specified goal, Bidder is only required to submit Form A - Certification, and Form B - Involvement. Goal shall be met if Bidder qualifies as ESB.
- E. **Report Contents.** Following award of Contract, Bidder shall submit copies of executed contracts for all Emerging Small Businesses. Emerging Small Business Report shall consist of these:
1. Form A - Certification;
  2. Form B - Involvement;
  3. Form C - Contacts;
  4. Form D - Certification Statement (if appropriate); and
  5. Supportive documentation (i.e., copies of correspondence, telephone logs, copies of advertisements).
- F. **ESB Listing.** Bidders may solicit bids from this ESB listing:  
[pdf.countyofdane.com/commissions/2013-2015\\_Targeted\\_Business\\_Directory.pdf](http://pdf.countyofdane.com/commissions/2013-2015_Targeted_Business_Directory.pdf).
- G. **ESB Certification.** All contractors, subcontractors and suppliers seeking ESB certification must complete and submit Emerging Small Business Report to Dane County Contract Compliance Program.
- H. **Certification Statement.** If ESB firm has not been certified by County as ESB prior to submittal of this Bid, ESB Report cannot be used to fulfill ESB goal for this project unless firm provides "Form D - Certification Statement". Certification statement must be completed and signed by ESB firm.
- I. **Questions.** Questions concerning Emerging Small Business provisions shall be directed to:

Dane County Contract Compliance Officer  
City-County Building, Room 421  
210 Martin Luther King, Jr. Blvd.  
Madison, WI 53703  
608/266-5623

- J. **Substituting ESBs.** In event of any significant changes in subcontract arrangements or if need arises to substitute ESBs, Bidder shall report such proposed changes to Contract Compliance Officer to making any official changes and request authorization to substitute ESB firm. Bidder further agrees to make every possible effort to replace ESB firm with another qualified ESB firm.
- K. **Good Faith Efforts.** Good faith efforts can be demonstrated by meeting all of these obligations:
1. Selecting portions of the Work to be performed by ESBs in order to increase likelihood of meeting ESB goal including, where appropriate, breaking down Contract into smaller units to facilitate ESB participation.
  2. Advertising in general circulation, trade associations and women / minority focus media concerning subcontracting opportunities.
  3. Providing written notices to reasonable number of specific ESBs that their interest in Contract was being solicited in sufficient time to allow ESBs to participate effectively.
  4. Following up on initial solicitations of interest by contacting ESBs within five (5) business days prior to Bid Due Date to determine with certainty whether ESB were interested, to allow ESBs to prepare bids.
  5. Providing interested ESB with adequate information about Drawings, Specifications and requirements of Contract.
  6. Using services of available minority, women and small business organizations and other organizations that provide assistance in recruitment of MBEs / WBEs / ESBs.
  7. Negotiating in good faith with interested ESBs, not rejecting ESBs as unqualified without sound reason based on thorough investigation of their capabilities.
  8. Submitting required project reports and accompanying documents to County's Contract Compliance Officer within twenty-four (24) hours after Bid Due Date.
- L. **Appeals Disqualification of Bid.** Bidder who is disqualified may appeal to Public Works & Transportation Committee and Equal Opportunity Commission.

## 10. METHOD OF AWARD - RESERVATIONS

- A. Following will be basis of award of Contract, providing cost does not exceed amount of funds then estimated by County as available to finance Contract(s):
1. Lowest dollar amount submitted by qualified responsible bidder on Base Bid for all work comprising project, combined with such additive Owner accepted alternates.
  2. Owner reserves right to reject all bids or any bid, to waive any informality in any bid, and to accept any bid that will best serve interests of County.

3. Unit Prices and Informational Bids will not be considered in establishing low bidder.

## **11. SECURITY FOR PERFORMANCE AND PAYMENTS**

- A. Simultaneous with delivery of signed Contract, Bidder shall be required to furnish Performance and Payment Bonds as specified in Article 29 of General Conditions of Contract, "Contract Security". Surety Company shall be licensed to do business in Wisconsin. Performance and Payment Bonds must be dated same date or subsequent to date of Contract. Performance and Payment Bonds must emulate information in Sample Performance and Payment Bonds in Construction Documents.
- B. Provide certified copy of power of attorney from Surety Company showing that agent who signs Bond has power of attorney to sign for Surety Company. Secretary or Assistant Secretary of company must sign this certification, not attorney-in-fact. Certification must bear same or later date as Bond. Power of Attorney must emulate model power of attorney information detailed in Sample Performance and Payment Bonds.
- C. If Bidder is partnership or joint venture, State certified list, providing names of individuals constituting partnership or joint venture must be furnished. Contract itself may be signed by one partner of partnership, or one partner of each firm comprising joint venture, but Performance and Payment Bonds must be signed by all partners.
- D. If Bidder is corporation, it is necessary that current certified copy of resolution or other official act of directors of corporation be submitted showing that person who signs Contract is authorized to sign contracts for corporation. It is also necessary that corporate seal be affixed to resolution, contract, and performance and payment bonds. If your corporation has no seal, it is required that above documents include statement or notation to effect that corporation has no seal.

## **12. TAXES**

- A. All Sales, Consumer, Use & other similar taxes or fees required by law shall be included in Bid.
- B. In accordance with Wisconsin Statute 71.80(16)(a), successful nonresident bidder, whether incorporated or not, and not otherwise regularly engaged in business in this state, shall file surety bond with State of Wisconsin Department of Revenue payable to Department of Revenue, to guarantee payment of income taxes, required unemployment compensation contributions, sales and use taxes and income taxes withheld from wages of employees, together with any penalties and interest thereon. Amount of bond shall be three percent (3%) of Contract or subcontract price on all contracts of \$50,000 or more.

## **13. SUBMISSION OF BIDS**

- A. All Bids shall be submitted on standard Bid Form bound herein and only Bids that are made on this Bid Form will be considered. Entire Bid Form and other supporting documents, if any, shall be removed or copied from Construction Documents, filled out, and submitted in manner specified hereinafter. Submit completed Bid Bond with Bid as well.
- B. No bids for any subdivision or any sub-classification of this Work, except as indicated, will be accepted. Any conditional Bid, amendment to Bid Form or appended item thereto, or inclusion of any correspondence, written or printed matter, or details of any nature other than that specifically called for, which would alter any essential provision of Construction

Documents, or require consideration of unsolicited material or data in determining award of Contract, will disqualify Bid. Telecommunication alterations to Bid will not be accepted.

- C. Bidders must submit single Bid for all the Work.
- D. Bid amounts shall be inserted in words and in figures in spaces provided on Bid Form; in case of conflict, written word amounts will govern.
- E. Addenda issued after Bid Letting shall become part of Construction Documents. Bidders shall acknowledge receipt of such addenda in appropriate space provided on Bid Form. Bid may be rejected if receipt of any particular addendum applicable to award of Contract has not been acknowledged on Bid Form.
- F. Bids shall be signed, placed in envelope, sealed and delivered before due time to place designated in Invitation to Bid, and identified with project name, bid number, location, category of work being bid upon, Bid Due Date, name and address of bidder.
- G. Bidder shall be responsible for sealed Bid being delivered to place designated for Bid Due Date on or before date and time specified. Bids received after time of closing will be rejected and returned to bidder unopened.
- H. Bid will be considered invalid and will be rejected if bidder has not signed it.
- I. Faxed or emailed Bids will not be accepted.
- J. Bidder's organization shall submit completed with Bid, Fair Labor Practices Certification form, included in these Construction Documents.

#### **14. SUBCONTRACTOR LISTING**

- A. Bidders shall be required to submit list of major subcontractors for General Construction, Plumbing, HVAC, and Electrical work proposed for this project to include committed prices for each subcontractor. List shall be placed in separate sealed envelope that must be clearly identified as "Major Subcontractor List", for named project and name of Bidder submitting it. County must receive envelope no later than date by which successful Bidder is required to submit his or her signed Contract, as established in Construction Documents.

#### **15. ALTERNATE BIDS**

- A. Not Applicable.

#### **16. INFORMATIONAL BIDS**

- A. Not Applicable.

#### **17. UNIT PRICES**

- A. Not Applicable.

#### **18. COMMENCEMENT AND COMPLETION**

- A. Successful Bidder shall commence work when schedule and weather permit, but no later than stated in Bid Form. Contractor shall pursue the Work regularly and continuously at reasonable rate to insure completion of the Work within time stated in Bid.
- B. Should it be found impossible to complete the Work on or before time specified for completion, written request may be submitted for extension of time setting forth reasons believed to justify granting of such request. Refer to Article 20 of General Conditions of Contract, titled "Time for Completion".

**19. WORK BY OWNER**

- A. Not Applicable.

**20. SPECIAL HAZARDS COVERAGE**

- A. If hazardous materials abatement work is required by Construction Documents, successful Bidder shall provide necessary Pollution Insurance that specifically includes coverage for hazardous materials abatement work as called for under "Insurance" in Supplementary Conditions.

**FORM A**

**DANE COUNTY  
EMERGING SMALL BUSINESS REPORT - CERTIFICATION**

In accordance with General Conditions of Contract, submit this Emerging Small Business Report within ten (10) days after Bid Due Date.

PROJECT NAME: \_\_\_\_\_

\_\_\_\_\_

BID NO.: \_\_\_\_\_ BID DUE DATE: \_\_\_\_\_

**BIDDER INFORMATION**

COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_



**FORM B**

Page \_\_\_ of \_\_\_

**DANE COUNTY**

(Copy this Form as necessary to provide complete information)

**EMERGING SMALL BUSINESS REPORT - INVOLVEMENT**

COMPANY NAME: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

BID NO.: \_\_\_\_\_ BID DUE DATE: \_\_\_\_\_

ESB NAME: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NO & EMAIL.: \_\_\_\_\_

Indicate percentage of financial commitment to this ESB: \_\_\_\_\_ % Amount: \$ \_\_\_\_\_

ESB NAME: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE NO & EMAIL.: \_\_\_\_\_

Indicate percentage of financial commitment to this ESB: \_\_\_\_\_ % Amount: \$ \_\_\_\_\_

**FORM C**

Page \_\_\_ of \_\_\_

**DANE COUNTY  
EMERGING SMALL BUSINESS REPORT - CONTACTS**

(Copy this Form as necessary to provide complete information)

COMPANY NAME: \_\_\_\_\_

PROJECT NAME: \_\_\_\_\_

BID NO.: \_\_\_\_\_ BID DUE DATE: \_\_\_\_\_

	<u>ESB FIRM NAME CONTACTED</u>	<u>DATE</u>	<u>PERSON CONTACTED</u>	<u>DID ESB BID?</u>	<u>ACC- EPT BID?</u>	<u>REASON FOR REJECTION</u>
1)	_____	_____	_____	_____	_____	_____
2)	_____	_____	_____	_____	_____	_____
3)	_____	_____	_____	_____	_____	_____
4)	_____	_____	_____	_____	_____	_____
5)	_____	_____	_____	_____	_____	_____
6)	_____	_____	_____	_____	_____	_____
7)	_____	_____	_____	_____	_____	_____
8)	_____	_____	_____	_____	_____	_____

**FORM D**

**DANE COUNTY  
EMERGING SMALL BUSINESS REPORT - CERTIFICATION STATEMENT**

I, \_\_\_\_\_, \_\_\_\_\_ of  
Name Title

\_\_\_\_\_ certify to best of my knowledge and  
Company

belief that this business meets Emerging Small Business definition as indicated in Article 9 and  
that information contained in this Emerging Small Business Report is true and correct.

\_\_\_\_\_  
Bidder's Signature

\_\_\_\_\_  
Date

Name of Bidding Firm: \_\_\_\_\_

**BID FORM**

**BID NO. 318068**

**PROJECT: BUILDING DEMOLITIONS  
FORMER MESSNER BUILDING**

**TO: DANE COUNTY DEPARTMENT OF PUBLIC WORKS, HIGHWAY &  
TRANSPORTATION PROJECT MANAGER  
1919 ALLIANT ENERGY CENTER WAY  
MADISON, WISCONSIN 53713**

**NOTE: WISCONSIN STATUTE 77.54 (9M) ALLOWS FOR NO SALES & USE TAX ON  
THE PURCHASE OF MATERIALS FOR COUNTY PUBLIC WORKS PROJECTS.**

**BASE BID - LUMP SUM:**

Dane County is inviting Bids for building demolition services. The undersigned, having examined the site where the Work is to be executed and having become familiar with local conditions affecting the cost of the Work and having carefully examined the Drawings and Specifications, all other Construction Documents and Addenda thereto prepared by Dane County Department of Public Works, Highway & Transportation hereby agrees to provide all labor, materials, equipment and services necessary for the complete and satisfactory execution of the entire Work, as specified in the Construction Documents, for the Base Bid stipulated sum of:

\_\_\_\_\_ and \_\_/100 Dollars

Written Price

\$ \_\_\_\_\_

Numeric Price

Receipt of the following addenda and inclusion of their provisions in this Bid is hereby acknowledged:

Addendum No(s). \_\_\_\_\_ through \_\_\_\_\_

Dated \_\_\_\_\_

Dane County Public Works must have this project completed by January 17, 2020. Assuming this Work can be started by October 1, 2019, what dates can you commence and complete this job?

Commencement Date: \_\_\_\_\_ Completion Date: \_\_\_\_\_  
(final, not substantial)

I hereby certify that all statements herein are made on behalf of:

\_\_\_\_\_  
(Name of Corporation, Partnership or Person submitting Bid)

Select one of the following:

1. A corporation organized and existing under the laws of the State of \_\_\_\_\_, or

2. A partnership consisting of \_\_\_\_\_, or

3. A person conducting business as \_\_\_\_\_;

Of the City, Village, or Town of \_\_\_\_\_ of the State of \_\_\_\_\_.

I have examined and carefully prepared this Bid from the associated Construction Documents and have checked the same in detail before submitting this Bid; that I have full authority to make such statements and submit this Bid in (its) (their) (my) behalf; and that the said statements are true and correct. In signing this Bid, we also certify that we have not, either directly or indirectly, entered into any agreement or participated in any collusion or otherwise taken any action in restraint of free competition; that no attempt has been made to induce any other person or firm to submit or not to submit a Bid; that this Bid has been independently arrived at without collusion with any other bidder, competitor, or potential competitor; that this Bid has not been knowingly disclosed prior to the Bids Due Date to another bidder or competitor; that the above statement is accurate under penalty of perjury.

The undersigned agrees to be qualified as a Best Value Contractor or will have proven their exemption before the award of this contract.

The undersigned further agrees to honor the Base Bid and the Alternate Bid(s) for sixty (60) calendar days from date of Award of Contract.

**SIGNATURE:** \_\_\_\_\_  
(Bid is invalid without signature)

Print Name: \_\_\_\_\_ Date: \_\_\_\_\_

Title: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_

Email Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_

**THIS PAGE IS FOR BIDDERS' REFERENCE AND NEED NOT BE SUBMITTED WITH BID FORM.**

**DANE COUNTY BEST VALUE CONTRACTING PRE-QUALIFICATION**

General Contractors & all Subcontractors must be pre-qualified as a Best Value Contractor with the Dane County Public Works Engineering Division before the award of contract. Qualification & listing is not permanent & must be renewed every 24 months. Obtain a *Best Value Contracting Application* by calling 608/266-4018 or complete one online at:

[countyofdane.com/pwht/BVC\\_Application.aspx](http://countyofdane.com/pwht/BVC_Application.aspx)

**BID CHECK LIST:**

These items **must** be included with Bid:

- Bid Form                                       Bid Bond                                       Fair Labor Practices Certification  
 Waste Management Plan

**DANE COUNTY VENDOR REGISTRATION PROGRAM**

All bidders are strongly encouraged to be a registered vendor with Dane County. Registering allows vendors an opportunity to receive notifications for RFBs & RFPs issued by the County and provides the County with up-to-date company contact information. Complete a new form or renewal online at:

[danepurchasing.com/Account/Login?](http://danepurchasing.com/Account/Login?)

**FAIR LABOR PRACTICES CERTIFICATION**

The undersigned, for and on behalf of the BIDDER, APPLICANT or PROPOSER named herein, certifies as follows:

- A. That he or she is an officer or duly authorized agent of the above-referenced BIDDER, APPLICANT or PROPOSER, which has submitted a bid, application or proposal for a contract or agreement with the county of Dane.
  
- B. That BIDDER, APPLICANT or PROPOSER has (check one):

\_\_\_\_\_ not been found by the National Labor Relations Board (“NLRB”) or the Wisconsin Employment Relations Commission (“WERC”) to have violated any statute or regulation regarding labor standards or relations in the seven years prior to the signature date of this Certification.

\_\_\_\_\_ been found by the National Labor Relations Board (“NLRB”) or the Wisconsin Employment Relations Commission (“WERC”) to have violated any statute or regulation regarding labor standards or relations in the seven years prior to the signature date of this Certification.

\_\_\_\_\_  
Officer or Authorized Agent Signature Date

\_\_\_\_\_  
Printed or Typed Name and Title

\_\_\_\_\_  
Printed or Typed Business Name

**NOTE:** You can find information regarding the violations described above at: [www.nlrb.gov](http://www.nlrb.gov) and [werc.wi.gov](http://werc.wi.gov).

For reference, Dane County Ordinance 25.09 is as follows:

- (1) BIDDER RESPONSIBILITY. (a) Any bid, application or proposal for any contract with the county, including public works contracts regulated under chapter 40, shall include a certification indicating whether the bidder has been found by the National Labor Relations Board (NLRB) or the Wisconsin Employment Relations Committee (WERC) to have violated any statute or regulation regarding labor standards or relations within the last seven years. The Controller shall investigate any such finding and make a recommendation to the committee, which shall determine whether the conduct resulting in the finding affects the bidder’s responsibility to perform the contract.

**If you indicated that the NLRB or WERC have found you to have such a violation, you must include copies of any relevant information regarding such violation with your proposal, bid or application.**

Include this completed Certification with your bid, application or proposal.



**COUNTY OF DANE**

**PUBLIC WORKS CONSTRUCTION CONTRACT**

Contract No. \_\_\_\_\_ Bid No. 318068

Authority: 2019 RES - \_\_\_\_\_

**THIS CONTRACT**, made and entered into as of the date by which authorized representatives of both parties have affixed their signatures, by and between the County of Dane (hereafter referred to as "COUNTY") and \_\_\_\_\_ (hereafter, "CONTRACTOR"), and

**WITNESSETH:**

**WHEREAS**, COUNTY, whose address is c/o Public Works Director, 1919 Alliant Energy Center Way, Madison, WI 53713, desires to have CONTRACTOR provide Building Demolition services at the former Messner Building site ("the Project"); and

**WHEREAS**, CONTRACTOR, whose address is \_\_\_\_\_ is able and willing to construct the Project, in accordance with the Construction Documents;

**NOW, THEREFORE**, in consideration of the above premises and the mutual covenants of the parties hereinafter set forth, the receipt and sufficiency of which is acknowledged by each party for itself, COUNTY and CONTRACTOR do agree as follows:

1. CONTRACTOR agrees to construct, for the price of \$\_\_\_\_\_ the Project and at the CONTRACTOR'S own proper cost and expense to furnish all materials, supplies, machinery, equipment, tools, superintendence labor, insurance, and other accessories and services necessary to complete the Project in accordance with the conditions and prices stated in the Bid Form, General Conditions of Contract, the drawings which include all maps, plats, plans, and other drawings and printed or written explanatory matter thereof, and the specifications therefore as prepared by The Sigma Group, SCS Engineers, and Environmental Management Consulting Inc., and as enumerated in the Project Manual Table of Contents, all of which are made a part hereof and collectively evidence and constitute the Contract.

2. COUNTY agrees to pay the CONTRACTOR in current funds for the performance of the Contract subject to additions and deductions, as provided in the General Conditions of Contract, and to make payments on account thereof as provided in Article entitled, "Payments to Contractor" of the General Conditions of Contract.

3. During the term of this Contract, CONTRACTOR agrees to take affirmative action to ensure equal employment opportunities. The CONTRACTOR agrees in accordance with Wisconsin Statute 111.321 and Chapter 19 of the Dane County Code of Ordinances not to discriminate on the basis of age, race, ethnicity, religion, color, gender, disability, marital status, sexual orientation, national origin, cultural differences, ancestry, physical appearance, arrest record or conviction record, military participation or membership in the national guard, state defense force or any other reserve component of the military forces of the United States, or political beliefs. Such equal opportunity shall include, but not be limited to, the following: employment, upgrading, demotion, transfer, recruitment, advertising, layoff, termination, training, rates of pay,

and any other form of compensation. CONTRACTOR agrees to post in conspicuous places, available to all employees and applicants for employment, notices setting forth the provisions of this paragraph.

**4.** CONTRACTOR shall file an Affirmative Action Plan with the Dane County Contract Compliance Officer in accord with Chapter 19 of the Dane County Code of Ordinances. CONTRACTOR must file such plan within fifteen (15) business days of the effective date of this Contract. During the term of this Contract CONTRACTOR shall also provide copies of all announcements of employment opportunities to COUNTY'S Contract Compliance Office, and shall report annually the number of persons, by race, ethnicity, gender, and disability status, which apply for employment and, similarly classified, the number hired and number rejected.

**5.** During the term of this Contract, all solicitations for employment placed on CONTRACTOR'S behalf shall include a statement to the effect that CONTRACTOR is an "Equal Opportunity Employer".

**6.** CONTRACTOR agrees to furnish all information and reports required by COUNTY'S Contract Compliance Officer as the same relate to affirmative action and nondiscrimination, which may include any books, records, or accounts deemed appropriate to determine compliance with Chapter 19, Dane County Code of Ordinances, and the provisions of this Contract.

**7.** This Contract is intended to be a Contract solely between the parties hereto and for their benefit only. No part of this Contract shall be construed to add to, supplement, amend, abridge or repeal existing rights, benefits or privileges of any third party or parties including, but not limited to, employees of either of the parties.

**8.** The entire agreement of the parties is contained herein and this Contract supersedes any and all oral agreements and negotiations between the parties relating to the subject matter hereof. The parties expressly agree that the express terms of this Contract shall not be amended in any fashion except in writing, executed by both parties.

**9.** CONTRACTOR must be pre-qualified as a Best Value Contractor with Dane County Public Works Engineering Division before award of Contract. Subcontractors must be pre-qualified ten (10) business days prior to commencing Work under this Contract.

**IN WITNESS WHEREOF**, COUNTY and CONTRACTOR, by their respective authorized agents, have caused this Contract and its Schedules to be executed, effective as of the date by which all parties hereto have affixed their respective signatures, as indicated below.

\* \* \* \* \*

**FOR CONTRACTOR:**

\_\_\_\_\_  
Signature Date

\_\_\_\_\_  
Printed or Typed Name and Title

\_\_\_\_\_  
Signature Date

\_\_\_\_\_  
Printed or Typed Name and Title

**NOTE:** If CONTRACTOR is a corporation, Secretary should attest. In accordance with IRS Regulations, unincorporated entities are required to provide either their Social Security or Employer Number in order to receive payment for services rendered.

\* \* \* \* \*

This Contract is not valid or effectual for any purpose until approved by the appropriate authority designated below, and no work is authorized until the CONTRACTOR has been given notice to proceed by COUNTY'S Assistant Public Works Director.

**FOR COUNTY:**

\_\_\_\_\_  
Joseph T. Parisi, County Executive Date

\_\_\_\_\_  
Scott McDonell, County Clerk Date

# AIA<sup>®</sup> Document A310<sup>™</sup> – 2010

## Bid Bond

**CONTRACTOR:**

(Name, legal status and address)

**SURETY:**

(Name, legal status and principal place of business)

**OWNER:**

(Name, legal status and address)

**BOND AMOUNT:****PROJECT:**

(Name, location or address, and Project number, if any)

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this \_\_\_\_\_ day of \_\_\_\_\_

_____	(Contractor as Principal)	(Seal)
(Witness)	_____	(Title)
_____	(Surety)	(Seal)
(Witness)	_____	(Title)

**CAUTION:** You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

# AIA<sup>®</sup> Document A312<sup>™</sup> – 2010

## Performance Bond

**CONTRACTOR:**

(Name, legal status and address)

**SURETY:**

(Name, legal status and principal place of business)

**OWNER:**

(Name, legal status and address)

**CONSTRUCTION CONTRACT**

Date:

Amount:

Description:

(Name and location)

**BOND**

Date:

(Not earlier than Construction Contract Date)

Amount:

Modifications to this Bond:  None  See Section 16

**CONTRACTOR AS PRINCIPAL**

Company: (Corporate Seal)

**SURETY**

Company: (Corporate Seal)

Signature: \_\_\_\_\_

Name and Title:

(Any additional signatures appear on the last page of this Performance Bond.)

Signature: \_\_\_\_\_

Name and Title:

(FOR INFORMATION ONLY — Name, address and telephone)

**AGENT or BROKER:**

**OWNER'S REPRESENTATIVE:**

(Architect, Engineer or other party:)

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

AIA Document A312–2010 combines two separate bonds, a Performance Bond and a Payment Bond, into one form. This is not a single combined Performance and Payment Bond.

§ 1 The Contractor and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to the Owner for the performance of the Construction Contract, which is incorporated herein by reference.

§ 2 If the Contractor performs the Construction Contract, the Surety and the Contractor shall have no obligation under this Bond, except when applicable to participate in a conference as provided in Section 3.

§ 3 If there is no Owner Default under the Construction Contract, the Surety's obligation under this Bond shall arise after

- .1 the Owner first provides notice to the Contractor and the Surety that the Owner is considering declaring a Contractor Default. Such notice shall indicate whether the Owner is requesting a conference among the Owner, Contractor and Surety to discuss the Contractor's performance. If the Owner does not request a conference, the Surety may, within five (5) business days after receipt of the Owner's notice, request such a conference. If the Surety timely requests a conference, the Owner shall attend. Unless the Owner agrees otherwise, any conference requested under this Section 3.1 shall be held within ten (10) business days of the Surety's receipt of the Owner's notice. If the Owner, the Contractor and the Surety agree, the Contractor shall be allowed a reasonable time to perform the Construction Contract, but such an agreement shall not waive the Owner's right, if any, subsequently to declare a Contractor Default;
- .2 the Owner declares a Contractor Default, terminates the Construction Contract and notifies the Surety; and
- .3 the Owner has agreed to pay the Balance of the Contract Price in accordance with the terms of the Construction Contract to the Surety or to a contractor selected to perform the Construction Contract.

§ 4 Failure on the part of the Owner to comply with the notice requirement in Section 3.1 shall not constitute a failure to comply with a condition precedent to the Surety's obligations, or release the Surety from its obligations, except to the extent the Surety demonstrates actual prejudice.

§ 5 When the Owner has satisfied the conditions of Section 3, the Surety shall promptly and at the Surety's expense take one of the following actions:

§ 5.1 Arrange for the Contractor, with the consent of the Owner, to perform and complete the Construction Contract;

§ 5.2 Undertake to perform and complete the Construction Contract itself, through its agents or independent contractors;

§ 5.3 Obtain bids or negotiated proposals from qualified contractors acceptable to the Owner for a contract for performance and completion of the Construction Contract, arrange for a contract to be prepared for execution by the Owner and a contractor selected with the Owner's concurrence, to be secured with performance and payment bonds executed by a qualified surety equivalent to the bonds issued on the Construction Contract, and pay to the Owner the amount of damages as described in Section 7 in excess of the Balance of the Contract Price incurred by the Owner as a result of the Contractor Default; or

§ 5.4 Waive its right to perform and complete, arrange for completion, or obtain a new contractor and with reasonable promptness under the circumstances:

- .1 After investigation, determine the amount for which it may be liable to the Owner and, as soon as practicable after the amount is determined, make payment to the Owner; or
- .2 Deny liability in whole or in part and notify the Owner, citing the reasons for denial.

§ 6 If the Surety does not proceed as provided in Section 5 with reasonable promptness, the Surety shall be deemed to be in default on this Bond seven days after receipt of an additional written notice from the Owner to the Surety demanding that the Surety perform its obligations under this Bond, and the Owner shall be entitled to enforce any remedy available to the Owner. If the Surety proceeds as provided in Section 5.4, and the Owner refuses the payment or the Surety has denied liability, in whole or in part, without further notice the Owner shall be entitled to enforce any remedy available to the Owner.

§ 7 If the Surety elects to act under Section 5.1, 5.2 or 5.3, then the responsibilities of the Surety to the Owner shall not be greater than those of the Contractor under the Construction Contract, and the responsibilities of the Owner to the Surety shall not be greater than those of the Owner under the Construction Contract. Subject to the commitment by the Owner to pay the Balance of the Contract Price, the Surety is obligated, without duplication, for

- .1 the responsibilities of the Contractor for correction of defective work and completion of the Construction Contract;
- .2 additional legal, design professional and delay costs resulting from the Contractor's Default, and resulting from the actions or failure to act of the Surety under Section 5; and
- .3 liquidated damages, or if no liquidated damages are specified in the Construction Contract, actual damages caused by delayed performance or non-performance of the Contractor.

§ 8 If the Surety elects to act under Section 5.1, 5.3 or 5.4, the Surety's liability is limited to the amount of this Bond.

§ 9 The Surety shall not be liable to the Owner or others for obligations of the Contractor that are unrelated to the Construction Contract, and the Balance of the Contract Price shall not be reduced or set off on account of any such unrelated obligations. No right of action shall accrue on this Bond to any person or entity other than the Owner or its heirs, executors, administrators, successors and assigns.

§ 10 The Surety hereby waives notice of any change, including changes of time, to the Construction Contract or to related subcontracts, purchase orders and other obligations.

§ 11 Any proceeding, legal or equitable, under this Bond may be instituted in any court of competent jurisdiction in the location in which the work or part of the work is located and shall be instituted within two years after a declaration of Contractor Default or within two years after the Contractor ceased working or within two years after the Surety refuses or fails to perform its obligations under this Bond, whichever occurs first. If the provisions of this Paragraph are void or prohibited by law, the minimum period of limitation available to sureties as a defense in the jurisdiction of the suit shall be applicable.

§ 12 Notice to the Surety, the Owner or the Contractor shall be mailed or delivered to the address shown on the page on which their signature appears.

§ 13 When this Bond has been furnished to comply with a statutory or other legal requirement in the location where the construction was to be performed, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

#### § 14 Definitions

§ 14.1 **Balance of the Contract Price.** The total amount payable by the Owner to the Contractor under the Construction Contract after all proper adjustments have been made, including allowance to the Contractor of any amounts received or to be received by the Owner in settlement of insurance or other claims for damages to which the Contractor is entitled, reduced by all valid and proper payments made to or on behalf of the Contractor under the Construction Contract.

§ 14.2 **Construction Contract.** The agreement between the Owner and Contractor identified on the cover page, including all Contract Documents and changes made to the agreement and the Contract Documents.

§ 14.3 **Contractor Default.** Failure of the Contractor, which has not been remedied or waived, to perform or otherwise to comply with a material term of the Construction Contract.

§ 14.4 **Owner Default.** Failure of the Owner, which has not been remedied or waived, to pay the Contractor as required under the Construction Contract or to perform and complete or comply with the other material terms of the Construction Contract.

§ 14.5 **Contract Documents.** All the documents that comprise the agreement between the Owner and Contractor.

§ 15 If this Bond is issued for an agreement between a Contractor and subcontractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

§ 16 Modifications to this bond are as follows:

Sample

*(Space is provided below for additional signatures of added parties, other than those appearing on the cover page.)*

**CONTRACTOR AS PRINCIPAL**

**SURETY**

Company: \_\_\_\_\_

*(Corporate Seal)*

Company: \_\_\_\_\_

*(Corporate Seal)*

Signature: \_\_\_\_\_

Name and Title: \_\_\_\_\_

Address \_\_\_\_\_

Signature: \_\_\_\_\_

Name and Title: \_\_\_\_\_

Address \_\_\_\_\_

**CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.**





# AIA® Document A312™ – 2010

## Payment Bond

**CONTRACTOR:**

*(Name, legal status and address)*

**SURETY:**

*(Name, legal status and principal place of business)*

**OWNER:**

*(Name, legal status and address)*

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

AIA Document A312-2010 combines two separate bonds, a Performance Bond and a Payment Bond, into one form. This is not a single combined Performance and Payment Bond.

**CONSTRUCTION CONTRACT**

Date:

Amount:

Description:

*(Name and location)*

**BOND**

Date:

*(Not earlier than Construction Contract Date)*

Amount:

Modifications to this Bond:  None  See Section 18

**CONTRACTOR AS PRINCIPAL**

Company: *(Corporate Seal)*

**SURETY**

Company: *(Corporate Seal)*

Signature: \_\_\_\_\_

Name \_\_\_\_\_  
and Title: \_\_\_\_\_

Signature: \_\_\_\_\_

Name \_\_\_\_\_  
and Title: \_\_\_\_\_

*(Any additional signatures appear on the last page of this Payment Bond.)*

*(FOR INFORMATION ONLY — Name, address and telephone)*

**AGENT or BROKER:**

**OWNER'S REPRESENTATIVE:**

*(Architect, Engineer or other party:)*

§ 1 The Contractor and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors and assigns to the Owner to pay for labor, materials and equipment furnished for use in the performance of the Construction Contract, which is incorporated herein by reference, subject to the following terms.

§ 2 If the Contractor promptly makes payment of all sums due to Claimants, and defends, indemnifies and holds harmless the Owner from claims, demands, liens or suits by any person or entity seeking payment for labor, materials or equipment furnished for use in the performance of the Construction Contract, then the Surety and the Contractor shall have no obligation under this Bond.

§ 3 If there is no Owner Default under the Construction Contract, the Surety's obligation to the Owner under this Bond shall arise after the Owner has promptly notified the Contractor and the Surety (at the address described in Section 13) of claims, demands, liens or suits against the Owner or the Owner's property by any person or entity seeking payment for labor, materials or equipment furnished for use in the performance of the Construction Contract and tendered defense of such claims, demands, liens or suits to the Contractor and the Surety.

§ 4 When the Owner has satisfied the conditions in Section 3, the Surety shall promptly and at the Surety's expense defend, indemnify and hold harmless the Owner against a duly tendered claim, demand, lien or suit.

§ 5 The Surety's obligations to a Claimant under this Bond shall arise after the following:

§ 5.1 Claimants, who do not have a direct contract with the Contractor,

- .1 have furnished a written notice of non-payment to the Contractor, stating with substantial accuracy the amount claimed and the name of the party to whom the materials were, or equipment was, furnished or supplied or for whom the labor was done or performed, within ninety (90) days after having last performed labor or last furnished materials or equipment included in the Claim; and
- .2 have sent a Claim to the Surety (at the address described in Section 13).

§ 5.2 Claimants, who are employed by or have a direct contract with the Contractor, have sent a Claim to the Surety (at the address described in Section 13).

§ 6 If a notice of non-payment required by Section 5.1.1 is given by the Owner to the Contractor, that is sufficient to satisfy a Claimant's obligation to furnish a written notice of non-payment under Section 5.1.1.

§ 7 When a Claimant has satisfied the conditions of Sections 5.1 or 5.2, whichever is applicable, the Surety shall promptly and at the Surety's expense take the following actions:

§ 7.1 Send an answer to the Claimant, with a copy to the Owner, within sixty (60) days after receipt of the Claim, stating the amounts that are undisputed and the basis for challenging any amounts that are disputed; and

§ 7.2 Pay or arrange for payment of any undisputed amounts.

§ 7.3 The Surety's failure to discharge its obligations under Section 7.1 or Section 7.2 shall not be deemed to constitute a waiver of defenses the Surety or Contractor may have or acquire as to a Claim, except as to undisputed amounts for which the Surety and Claimant have reached agreement. If, however, the Surety fails to discharge its obligations under Section 7.1 or Section 7.2, the Surety shall indemnify the Claimant for the reasonable attorney's fees the Claimant incurs thereafter to recover any sums found to be due and owing to the Claimant.

§ 8 The Surety's total obligation shall not exceed the amount of this Bond, plus the amount of reasonable attorney's fees provided under Section 7.3, and the amount of this Bond shall be credited for any payments made in good faith by the Surety.

§ 9 Amounts owed by the Owner to the Contractor under the Construction Contract shall be used for the performance of the Construction Contract and to satisfy claims, if any, under any construction performance bond. By the Contractor furnishing and the Owner accepting this Bond, they agree that all funds earned by the Contractor in the performance of the Construction Contract are dedicated to satisfy obligations of the Contractor and Surety under this Bond, subject to the Owner's priority to use the funds for the completion of the work.

§ 10 The Surety shall not be liable to the Owner, Claimants or others for obligations of the Contractor that are unrelated to the Construction Contract. The Owner shall not be liable for the payment of any costs or expenses of any Claimant under this Bond, and shall have under this Bond no obligation to make payments to, or give notice on behalf of, Claimants or otherwise have any obligations to Claimants under this Bond.

§ 11 The Surety hereby waives notice of any change, including changes of time, to the Construction Contract or to related subcontracts, purchase orders and other obligations.

§ 12 No suit or action shall be commenced by a Claimant under this Bond other than in a court of competent jurisdiction in the state in which the project that is the subject of the Construction Contract is located or after the expiration of one year from the date (1) on which the Claimant sent a Claim to the Surety pursuant to Section 5.1.2 or 5.2, or (2) on which the last labor or service was performed by anyone or the last materials or equipment were furnished by anyone under the Construction Contract, whichever of (1) or (2) first occurs. If the provisions of this Paragraph are void or prohibited by law, the minimum period of limitation available to sureties as a defense in the jurisdiction of the suit shall be applicable.

§ 13 Notice and Claims to the Surety, the Owner or the Contractor shall be mailed or delivered to the address shown on the page on which their signature appears. Actual receipt of notice or Claims, however accomplished, shall be sufficient compliance as of the date received.

§ 14 When this Bond has been furnished to comply with a statutory or other legal requirement in the location where the construction was to be performed, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

§ 15 Upon request by any person or entity appearing to be a potential beneficiary of this Bond, the Contractor and Owner shall promptly furnish a copy of this Bond or shall permit a copy to be made.

#### § 16 Definitions

§ 16.1 Claim. A written statement by the Claimant including at a minimum:

- .1 the name of the Claimant;
- .2 the name of the person for whom the labor was done, or materials or equipment furnished;
- .3 a copy of the agreement or purchase order pursuant to which labor, materials or equipment was furnished for use in the performance of the Construction Contract;
- .4 a brief description of the labor, materials or equipment furnished;
- .5 the date on which the Claimant last performed labor or last furnished materials or equipment for use in the performance of the Construction Contract;
- .6 the total amount earned by the Claimant for labor, materials or equipment furnished as of the date of the Claim;
- .7 the total amount of previous payments received by the Claimant; and
- .8 the total amount due and unpaid to the Claimant for labor, materials or equipment furnished as of the date of the Claim.

§ 16.2 Claimant. An individual or entity having a direct contract with the Contractor or with a subcontractor of the Contractor to furnish labor, materials or equipment for use in the performance of the Construction Contract. The term Claimant also includes any individual or entity that has rightfully asserted a claim under an applicable mechanic's lien or similar statute against the real property upon which the Project is located. The intent of this Bond shall be to include without limitation in the terms "labor, materials or equipment" that part of water, gas, power, light, heat, oil, gasoline, telephone service or rental equipment used in the Construction Contract, architectural and engineering services required for performance of the work of the Contractor and the Contractor's subcontractors, and all other items for which a mechanic's lien may be asserted in the jurisdiction where the labor, materials or equipment were furnished.

§ 16.3 Construction Contract. The agreement between the Owner and Contractor identified on the cover page, including all Contract Documents and all changes made to the agreement and the Contract Documents.

§ 16.4 **Owner Default.** Failure of the Owner, which has not been remedied or waived, to pay the Contractor as required under the Construction Contract or to perform and complete or comply with the other material terms of the Construction Contract.

§ 16.5 **Contract Documents.** All the documents that comprise the agreement between the Owner and Contractor.

§ 17 If this Bond is issued for an agreement between a Contractor and subcontractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

§ 18 Modifications to this bond are as follows:

*(Space is provided below for additional signatures of added parties, other than those appearing on the cover page.)*

**CONTRACTOR AS PRINCIPAL**

Company: \_\_\_\_\_

(Corporate Seal)

**SURETY**

Company: \_\_\_\_\_

(Corporate Seal)

Signature: \_\_\_\_\_

Name and Title: \_\_\_\_\_

Address \_\_\_\_\_

Signature: \_\_\_\_\_

Name and Title: \_\_\_\_\_

Address \_\_\_\_\_

**CAUTION: You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.**

## GENERAL CONDITIONS OF CONTRACT

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## **1. CONSTRUCTION DOCUMENTS**

- A. Construction Documents, listed in Table of Contents of this Specification volume shall form part of this Contract and provisions of Construction Documents shall be as binding upon parties as if they were fully set forth in Contract itself.
- B. These shall also be considered as part of Construction Documents: Addenda, including additions and modifications incorporated in such addenda before execution of Contract; requests for information; construction bulletins; change orders; and written interpretations by Architect / Engineer or Public Works Project Manager that are made after execution of Contract.
- C. Construction Documents are complementary, and what is required by one shall be as binding as if required by all. Intent of Construction Documents is to include all labor, materials and equipment necessary for proper execution of the Work.

## **2. DEFINITIONS**

- A. These terms as used in this Contract are respectively defined as follows:
  - 1. All uses of term “County” in Construction Documents shall mean Dane County.
  - 2. All uses of term “Department” in Construction Documents shall mean Department of Public Works, Highway & Transportation, which is a unit of Dane County government. Department is County agency overseeing Contract with Contractor.
  - 3. Public Works Project Manager is appointed by and responsible to Department. Public Works Project Manager has authority to act on behalf of Department and will sign change orders, payment requests and other administrative matters related to projects.
  - 4. Public Works Project Manager is responsible for supervision, administration and management of field operations involved in construction phase of this Work.
  - 5. Term “Work” includes all labor, equipment and materials necessary to produce project required by Construction Documents.
  - 6. Term “Substantial Completion” is date when project or specified area of project is certified by Architect / Engineer that construction is sufficiently completed, in accordance with Construction Documents, and as modified by any subsequent changes agreed to by parties, so that County may occupy project or specified area of project for use for which it was intended subject to permit approval for occupancy.
  - 7. Contractor is person, firm, or corporation with whom County makes Contract. Though multiple contracts may be involved, Construction Documents treat them throughout as if each were of singular number.

## **3. ADDITIONAL INSTRUCTIONS AND DRAWINGS**

- A. Contractor may be furnished additional instructions and detail drawings as necessary to carry out the Work included in Contract. Additional drawings and instructions thus supplied to Contractor will coordinate with Construction Documents and will be so prepared that they can be reasonably interpreted as part thereof. Contractor shall carry out the Work in accordance with additional detail drawings and instructions.

#### **4. SHOP DRAWINGS, PRODUCT DATA AND SAMPLES**

- A. Unless otherwise specified, Contractor shall submit three (3) copies of all Shop Drawings for each submission, until receiving final approval. After final approval, provide five (5) additional copies for distribution and such other copies as may be required.
- B. Contractor shall submit, on an on-going basis and as directed, Product Data such as brochures that shall contain catalog cuts and specifications of all furnished mechanical and electrical equipment. After Architect / Engineer's approval, one (1) copy shall remain in Architect / Engineer's file, one (1) kept at Department's office and one (1) kept at job site by Contractor for reference purposes.
- C. Samples shall consist of physical examples furnished by Contractor in sufficient size and quantity to illustrate materials, equipment or workmanship, and to establish standards to compare the Work.
  - 1. Submit Samples in sufficient quantity (minimum of two (2)) to permit Architect / Engineer to make all necessary tests and of adequate size showing quality, type, color range, finish, and texture. Label each Sample stating material, type, color, thickness, size, project name, and Contractor's name.
  - 2. Submit transmittal letter requesting approval, and prepay transportation charges to Architect / Engineer's office on samples forwarded.
  - 3. Materials installed shall match approved Samples.
- D. Contractor shall review Shop Drawings and place their dated stamp thereon to evidence their review and approval and shall submit with reasonable promptness and in orderly sequence to cause no delay in the Work or in work of any other contractor. At time of submission, Contractor shall inform Architect / Engineer in writing of any deviation in Shop Drawings or Samples from requirements of Construction Documents. Architect / Engineer will not consider partial lists.
- E. Architect / Engineer will review and approve or reject Shop Drawings with reasonable promptness to cause no delay. Architect / Engineer's approval shall not relieve Contractor from responsibility for errors or omissions in Shop Drawings.
- F. Contractor shall not commence any work requiring Shop Drawing, Product Data or Sample submission until Architect / Engineer has approved submission. All such work shall be in accordance with approved Shop Drawings, Product Data and Samples.
- G. Contractor shall keep on site of the Work, approved or conformed copy of Shop Drawings and shall at all times give Department access thereto.
- H. By stamping and submitting Shop Drawings, Product Data and Samples, Contractor thereby represents that he or she has or will determine and verify all field measurements, field construction criteria, materials, catalog numbers, and similar data and that he or she has checked and coordinated each Shop Drawing, Product Data and Sample with requirements of the Work and of Construction Documents. Architect / Engineer shall return without examination, Shop Drawings, Product Data and Samples not so noted.
- I. All Shop Drawings from any one Contractor should be numbered consecutively and on cover sheet shall bear name and location of project, name of Contractor, date of submittal and date of each correction or revision and associated Specification section and page number.

#### **5. CUTTING AND PATCHING**

- A. Not used.

## **6. CLEANING UP**

- A. Contractor shall keep premises and surrounding area free from accumulation of waste materials or rubbish caused by operations under Contract. Contractor shall remove from and about the Work waste materials, rubbish, Contractor's tools, construction equipment, machinery, and surplus materials at completion of the Work. Contractor shall maintain streets and sidewalks around the Work site in clean condition. Contractor shall remove all spillage and prevent tracking of spillage arising from performance of the Work, into, out of, and within the Work site. Contractor shall establish regular maintenance program of sweeping, vacuuming and / or hosing to minimize accumulation of dirt and dust upon such areas.
- B. If Contractor fails to clean up as directed in Construction Documents, County may do so and shall charge Contractor cost thereof.
- C. Not used.
- D. Not used.

## **7. USE OF SITE**

- A. Contractor shall provide County and Architect / Engineer access to the Work under all circumstances.
- B. Contractor shall confine operations at site to areas permitted by County, law, ordinance, permits and Construction Documents and shall not unreasonably encumber site with materials or equipment. Contractor shall assure free, convenient, unencumbered, direct and safe access to all properties adjacent to the Work for County, its employees, invitees and guests.

## **8. MATERIALS AND WORKMANSHIP**

- A. Contractor shall perform all work and furnish all supplies and materials, machinery, equipment, facilities and means, necessary to complete the Work required by this Contract, within time specified, in accordance with provisions of Construction Documents.
- B. All equipment and materials incorporated in the Work covered by this Contract are to be new; use recycled and / or recovered materials to extent that such use is technically and economically feasible. Recovered materials are products recovered from solid waste in form identical to original form for use that is same as, or similar to original use. Recycled materials are products manufactured from solid waste.
- C. If requested, Contractor shall furnish satisfactory evidence as to kind and quality of construction materials proposed or used. Contractor shall furnish to Architect / Engineer, for approval, manufacturer name and model, performance capacities and other pertinent information of machinery, mechanical, electrical or other types of equipment, which Contractor plans to install.



- D. If not otherwise provided, materials and labor called for in this Contract shall be provided and performed in accordance with established practice and standards recognized by Architects, Engineers, Department, and construction industry.
- E. Reference to “Standard” specifications of any association or manufacturer, or codes of County authorities, intends most recent printed edition or catalog in effect on date that corresponds with date of Construction Documents.
- F. Whenever reference is made in Specifications that work shall be “performed”, “applied”, in accordance with “manufacturer’s directions or instructions”, Contractor to whom those instructions are directed shall furnish three (3) printed copies of such instructions to Architect / Engineer before execution of the Work.

## **9. CONTRACTOR’S TITLE TO MATERIALS**

- A. Contractor or any subcontractor shall not purchase materials or supplies for the Work subject to any chattel mortgage or under conditional sale contract or other agreement by which seller retains interest. Contractor warrants that all materials and supplies used in the Work are free from all liens, claims or encumbrances and Contractor has good title to them.

## **10. “OR EQUAL” CLAUSE**

- A. Whenever equipment or materials are identified on Drawings or in Specifications by reference to manufacturer’s or vendor’s name, trade name, catalog number, and other identifying information, it is intended to establish standards; and any equipment or material of other manufacturers and vendors which will perform adequately duties imposed by general design will be considered equally accepted provided equipment or material so proposed is, in opinion of Architect / Engineer, of equal substance and function. Architect / Engineer and Department shall provide written approval before Contractor may purchase or install it.
- B. Equipment or materials of manufacturers, other than those named, may be used only upon following conditions:
  - 1. That, in opinion of Architect / Engineer and Department, proposed material or equipment item is fully equal or superior (in design, materials, construction, workmanship, performance, finish, etc.) to named item. No compromise in quality level, however small, is acceptable.
  - 2. That, in substituting materials or equipment, Contractor assumes responsibility for any changes in system or for modifications required in adjacent or related work to accommodate such substitution despite Architect / Engineer’s and Department’s approval, and all costs growing out of approval of “or equal” items shall be responsibility of Contractor. No extra costs resulting from such approval shall become responsibility of Department, Architect / Engineer or any other separate Contractor.
  - 3. It shall be understood that use of materials or equipment other than those specified, or approved equal by Architect / Engineer and Department, shall constitute violation of Contract, and that Architect / Engineer and Department shall have right to require removal of such materials or equipment and their replacement with specified materials or equipment at Contractor’s expense.
  - 4. Product and manufacturer named first in Specifications or on information shown on Drawings is basis of selection of manufactured items and equipment, particularly mechanical equipment. In using other than first named products or manufacturers, including those specified as additionally approved or acceptable, Contractor assumes responsibility for any changes in system and for modifications in any work required to accommodate them. Architect / Engineer’s approval of such additionally acceptable

products or manufacturers, either in Specifications or in Addendum, does not relieve Contractor from obligation to coordinate such optional products with other Contractors, whose work may be affected by them, and to pay all additional costs resulting from their inclusion into the Work. Contractor's liability shall include payment of Architect / Engineer's fees for any additional services made necessary by or directly connected to such product changes. No extra costs resulting from such changes shall become responsibility of Department, Architect / Engineer or any other separate Contractor.

- C. No request for approval of "or equal" materials will be entertained except from Contractor. Identify any request for substitution as substitution on Contractor's letter of transmittal and give reasons for substitution. Department may in its sole discretion allow substitutions of materials.

## **11. PATENTS AND ROYALTIES**

- A. If Contractor uses any design, device or material covered by letters, patent or copyright, it is mutually agreed and understood, that, without exception, contract prices shall include all royalties or costs arising from use of such design, device or materials, in any way involved in the Work.
- B. Contractor shall indemnify and save harmless County from any and all claims for infringement by reason of use of such patent or copyright in connection with the Work agreed to be performed under this Contract, and shall indemnify County for any cost, expense or damage which it may be obliged to pay by reason of such infringement at any time during prosecution of the Work or after completion of the Work.

## **12. SURVEYS, PERMITS, REGULATIONS AND TAXES**

- A. Department will furnish to Contractor all site, topography and property surveys necessary for execution of the Work.
- B. Contractor shall procure all permits, licenses and approvals necessary for execution of this Contract.
- C. Contractor shall give all notices and comply with all State of Wisconsin, Federal and local laws, codes, rules and regulations relating to performance of the Work, protection of adjacent property, and maintenance of passageways, guard fences or other protective facilities.
- D. Contractor shall pay all Sales, Consumer, Use and other similar taxes required by law.
- E. Contractor shall promptly notify Architect / Engineer of any variances of Drawings or Specifications with that of any State of Wisconsin, federal or local law, code, rule or regulation. Upon such notification, Architect / Engineer will require correction of variance to comply with applicable law, code, rule or regulation at no additional cost to Contractor.
- F. Work under this Contract shall comply with all applicable State of Wisconsin, Federal and local laws, codes and regulations.
- G. Contractor shall pay charges for water, sewer and other utility connections made by municipalities where required by Specifications.

## **13. CONTRACTOR'S OBLIGATIONS AND SUPERINTENDENCE**

- A. Contractor shall provide and pay for all materials, labor, tools, equipment, transportation and superintendence necessary to execute, complete and deliver the Work within specified time. Contractor agrees to secure at their own expense all personnel necessary to carry out the Work. Such personnel shall not be deemed County employees nor shall they have or be deemed to have any direct contractual relationship with County.
- B. Performance of any work necessary after regular working hours, on Sundays or Legal Holidays shall be without additional expense to County. Performance of any work at site at other than normal working hours must be coordinated with Public Works Project Manager.
- C. Contractor shall furnish, erect, maintain and remove such temporary works as may be required.
- D. Contractor shall observe, comply with, and be subject to all terms, conditions, requirements and limitations of Construction Documents.
- E. At the Work site, Contractor shall give personal superintendence to the Work or shall employ construction superintendent or foreman, experienced in character of work covered by Contract, who shall have full authority to act for Contractor. Understand that such superintendent or foreman shall be acceptable to Architect / Engineer and Department.
- F. Remove from project or take other corrective action upon notice from Architect / Engineer or Department for Contractor's employees whose work is considered by Architect / Engineer or Department to be unsatisfactory, careless, incompetent, unskilled or otherwise objectionable.
- G. Contractor and subcontractors shall be required to conform to Labor Laws of State of Wisconsin and various acts amendatory and supplementary thereto and to other laws, ordinances and legal requirements applicable to the Work.
- H. Presence and observation of the Work by Architect / Engineer or Public Works Project Manager shall not relieve Contractor of any obligations.

#### **14. WEATHER CONDITIONS**

- A. In event of temporary suspension of work, or during inclement weather, or whenever Architect / Engineer shall direct, Contractor shall, and shall cause subcontractors to protect carefully all work and materials against damage or injury from weather. If, in opinion of Architect / Engineer or Department, any work or materials that have been damaged or injured due to failure on part of Contractor or any subcontractors so to protect the Work, such materials shall be removed and replaced at expense of Contractor.

#### **15. PROTECTION OF WORK AND PROPERTY**

- A. Contractor shall at all times safely guard County's property from injury or loss in connection with this Contract. Contractor shall at all times safely guard and protect the Work, and adjacent property, from damage. Contractor shall replace or make good any such damage, loss or injury unless such is caused directly by errors contained in Contract, or by County, or County's duly authorized representative.
- B. Contractor may act diligently, without previous instructions from Architect / Engineer and / or Department, in emergency that threatens loss or injury of property, or safety of life. Contractor shall notify Architect / Engineer and / or Department immediately thereafter.

Promptly submit any claim for compensation by Contractor due to such extra work to Architect / Engineer and / or Department for approval as provided for in Article 18 herein.

## **16. INSPECTION AND TESTING OF MATERIALS**

- A. Authorized representatives and agents of County government shall have access at all times to the Work wherever it is in preparation or progress and Contractor shall provide facilities for such access and for inspection.
- B. Should it be considered necessary or advisable at any time before final acceptance of the Work to make examination of work already completed, by removing or tearing out same, Contractor shall upon request, promptly furnish all necessary facilities, labor and materials. If such work is found to be defective in any aspect, due to fault of Contractor or subcontractors thereof, Contractor shall assume all expenses of such examination and of satisfactory reconstruction. Contractor will be reimbursed for such examination and replacement in accordance with Article 18 - A.3., of these General Conditions of Contract if such work is found to meet requirements of Contract.
- C. If Specifications, Architect / Engineer's, or Public Works Project Manager's instructions require any work to be specially tested or approved, Contractor shall give Architect / Engineer and Public Works Project Manager timely notice of its readiness for testing or inspection. Test all materials and equipment requiring testing in accordance with accepted or specified standards, as applicable. Architect / Engineer shall recommend laboratory or inspection agency and Department will select and pay for all initial laboratory inspection services. Should retesting be required, due to failure of initial testing, cost of such retesting shall be borne by Contractor.
- D. Cost of any testing performed by manufacturers or Contractor for substantiating acceptability of proposed substitution of materials and equipment, or necessary conformance testing in conjunction with manufacturing processes or factory assemblage, shall be borne by Contractor or manufacturer responsible.

## **17. REPORTS, RECORDS AND DATA**

- A. Contractor shall submit to Architect / Engineer and Public Works Project Manager such schedule of quantities and costs, progress schedules, payrolls, reports, estimates, invoices, records and other data as either may request concerning work performed or to be performed under this Contract.

## **18. CHANGES IN THE WORK**

- A. Make no changes, except in cases of emergency, in the Work covered by approved Construction Documents without having prior written approval of Department. Charges or credits for the Work covered by approved change shall be determined by one of these methods:
  - 1. Unit bid prices previously approved.
  - 2. Agreed lump sum based on actual cost of:
    - a) Labor, including foremen, and all fringe benefits that are associated with their wages.
    - b) Materials entering permanently into the Work.
    - c) Ownership or rental cost of construction tools and equipment during time of use on extra work.
    - d) Power and consumable supplies for operation of power equipment.

- e) Workmen's Compensation Insurance, Contractor's Public Liability and Property Damage Insurance, and Comprehensive Automobile Liability Insurance.
  - f) Social Security and old age and unemployment contributions.
  - g) Add to cost under (2), fixed fee to be agreed upon, but not to exceed fifteen percent (15%) of actual cost of work performed with their own labor force. Fee shall be compensation to cover cost of supervision, overhead, bond, profit and any other general expense.
  - h) On that portion of the Work under (2) done under subcontract, Contractor may include not over seven and one-half percent (7½%) for supervision, overhead, bond, profit and any other general expense.
  - i) Department may require correct amount of costs with supporting vouchers; Contractor shall keep and present in such form as directed.
3. Cost-plus work, with not-to-exceed dollar limit, based on actual cost of:
- a) Labor, including foremen, and all fringe benefits that are associated with their wages.
  - b) Materials entering permanently into the Work.
  - c) Ownership or rental cost of construction tools and equipment during time of use on extra work. Rental cost cannot exceed fifty percent (50%) replacement value of rented equipment.
  - d) Power and consumable supplies for operation of power equipment.
  - e) Workmen's Compensation Insurance, Contractor's Public Liability and Property Damage Insurance, and Comprehensive Automobile Liability Insurance.
  - f) Social Security and old age and unemployment contributions.
  - g) To cost under (3), there shall be added fixed fee to be agreed upon but not to exceed fifteen percent (15%) of actual cost of work performed with their own labor force. Fee shall be compensation to cover cost of supervision, overhead, bond, profit, and any other general expense.
  - h) On that portion of the Work under (3) done under subcontract, Contractor may include not over seven and one-half percent (7½%) for supervision, overhead, bond, profit, and any other general expense.
  - i) Contractor shall keep and present, in such form as directed, correct amount of cost together with such supporting vouchers as may be required by Department.
- B. If Contractor claims that by any instructions given by Architect / Engineer, Department, by drawings or otherwise, regarding performance of the Work or furnishing of material under Contract, involves extra cost, Contractor shall give Department written notice of cost thereof within two (2) weeks after receipt of such instructions and in any event before proceeding to execute work, unless delay in executing work would endanger life or property.
- C. No claim for extra work or cost shall be allowed unless it was done in pursuance of written Change Order from Architect / Engineer and approved by Department, as previously mentioned, and claim presented with payment request submitted after changed or extra work is completed.
- D. Negotiation of cost for change in the Work shall not be cause for Contractor to delay prosecution of the Work if Contractor has been authorized in writing by Public Works Project Manager to proceed.

## **19. EXTRAS**

- A. Without invalidating Contract, Department may order extra work or make changes by altering, adding to or deducting from the Work, contract sum being adjusted in accordance with Article 18 herein.

## **20. TIME FOR COMPLETION**

- A. Contractor agrees that the Work shall be prosecuted regularly and diligently and complete the Work as stated in Construction Documents.

## **21. CORRECTION OF WORK**

- A. All work, all materials whether incorporated in the Work or not, and all processes of manufacture shall at all times and places be subject to inspection of Architect / Engineer and Public Works Project Manager who shall be judge of quality and suitability of the Work, materials, and processes of manufacture for purposes for which they are used. Should they fail to meet Architect / Engineer's and Public Works Project Manager's approval they shall be reconstructed, made good, replaced or corrected, by Contractor at Contractor's expense. Immediately remove all rejected material from site.
- B. If Contractor defaults or neglects to carry out the Work in accordance with Construction Documents or fails to perform any provision of Contract, Department may, after ten (10) business days' written notice to Contractor and without prejudice to any other remedy County may have, make good such deficiencies. In such case, appropriate Change Order shall be issued deducting from Contractor's payments then or thereafter, cost of correcting such deficiencies, including cost of Architect / Engineer's additional services made necessary by such default, neglect or failure.

## **22. SUBSURFACE CONDITIONS FOUND DIFFERENT**

- A. If Contractor encounters subsurface or latent conditions at site materially differing from those shown on Drawings or indicated in Specifications, Contractor shall immediately give notice to Architect / Engineer and Public Works Project Manager of such conditions before they are disturbed. Architect / Engineer will thereupon promptly investigate conditions, and if Architect / Engineer finds that they materially differ from those shown on Drawings or indicated in Specifications, Architect / Engineer will at once make such changes as necessary, any increase or decrease of cost resulting from such changes to be adjusted in manner provided in above Article 18 entitled "Changes in the Work".

## **23. RIGHT OF DEPARTMENT TO TERMINATE CONTRACT**

- A. In event that any provisions of this Contract are violated by Contractor or by any subcontractors, County may serve written notice upon Contractor and Surety of its intention to terminate Contract, such notice to contain reasons for such intention to terminate Contract, and unless within ten (10) business days after serving of such notice upon Contractor, such violation or delay shall cease and satisfactory arrangement or correction be made, Contract shall, upon expiration of said ten (10) business days, cease and terminate.
- B. In event of any such termination, County shall immediately serve notice thereof upon Surety and Contractor, and Surety shall have right to take over and perform Contract subject to County's approval; provided, however, that if Surety does not commence performance thereof within ten (10) business days from date of mailing to such Surety of notice of termination, County may take over the Work and prosecute same to completion by contract, or by force account, at expense of Contractor; Contractor and Surety shall be liable to County for any excess cost occasioned County thereby, and in such event County may take possession of and utilize in completing the Work, such materials and equipment as may be on the Work site and therefore necessary.

## **24. CONSTRUCTION SCHEDULE AND PERIODIC ESTIMATES**

- A. Contractor shall be responsible for Construction Schedule and coordination. Immediately after execution and delivery of Contract and before making first payment, Contractor shall notify all subcontractors to furnish all required information to develop Construction Schedule. Contractor and all subcontractors associated with the Work shall furnish following information from each Division of Specifications:
1. List of construction activities;
  2. Start, finish and time required for completion of each activity;
  3. Sequential relationships between activities;
  4. Identify all long lead-time items, key events, meetings or activities such as required submittals, fabrication and delivery, procurement of materials, installation and testing;
  5. Weekly definition of extent of work and areas of activity for each trade or Subcontract; and
  6. Other information as determined by Public Works Project Manager.
- B. In addition to above requested items, Contractor shall request delivery dates for all County-furnished equipment, materials or labor. This shall include any work handled by Department under separate contracts such as asbestos abatement, air and water balancing, etc. Indicate on Construction Schedule these associated delivery and installation dates.
- C. Progress Reporting:
1. Contractor shall update and publish Construction Schedule on monthly basis. Revisions to Schedule shall be by Contractor and made in same detail as original Schedule and accompanied by explanation of reasons for revision; and shall be subject to approval by Department.
  2. Failure of Contractor to keep Schedule in updated format shall result in County hiring firm specializing in construction schedule development and deducting those costs associated with updating process from payments due Contractor.
  3. Contractor shall submit show actual percentage of each activity completed, estimated future progress, and anticipated completion time.
- D. Responsibility for timely completion requires:
1. Contractor and subcontractors understand that performance of each is interdependent upon performance of others.
  2. Whenever it becomes apparent from current schedule, that phasing or progress completion dates will not be met, Contractor must take some or all following actions at no additional cost to County:
    - a) Increase construction labor in such quantities and crafts as will eliminate backlog of work.
    - b) Increase number of working hours per shift, shifts per working day, working days per week, amount of construction equipment, or any combination of foregoing to eliminate backlog of work.
    - c) Reschedule work (yet remain in conformance with Drawings and Specifications).
  3. Prior to proceeding with any of above actions, Contractor shall notify Public Works Project Manager.
- E. Maintain current Construction Schedule at all times. Revise Construction Schedule in same detail as original and accompany with explanation of reasons for revision. Schedule shall be subject to approval by Architect / Engineer and Public Works Project Manager.

## **25. PAYMENTS TO CONTRACTOR**

- A. Contractor shall provide:
  - 1. Detailed estimate giving complete breakdown of contract price by Specification Division; and
  - 2. Periodic itemized estimates of work done for purpose of making partial payments thereon.
- B. Submit these estimates for approval first to Architect / Engineer, then to Public Works Project Manager. Costs employed in making up any of these schedules are for determining basis of partial payments and not considered as fixing basis for additions to or deductions from Contract price.
- C. County will make partial payments to Contractor for value, proportionate to amount of Contract, of all labor and material incorporated in the Work during preceding calendar month upon receipt of Application and Certificate for Payment form from Architect / Engineer and approval of Department.
- D. Contractor shall submit for approval first to Architect / Engineer, and then to Public Works Project Manager all Application and Certificate for Payment forms. If requested, Application and Certificate for Payment shall be supported by such additional evidence as may be required, showing Contractor's right to payment claimed.
- E. Application and Certificate for Payment for preparatory work and materials delivered and suitably stored at site to be incorporated into the Work at some future period, will be given due consideration. Requesting payment for materials stored off site, may be rejected, however, if deemed essential for reasons of job progress, protection, or other sufficient cause, requests will be considered, conditional upon submission by Contractor of bills of sale, photographs and such other procedures as will adequately protect County's interest such as storage in bonded warehouse with adequate coverage. If there is any error in payment, Contractor is obligated to notify Department immediately, but no longer than ten (10) business days from receipt of payment.
- F. Payments by County will be due within forty-five (45) business days after receipt by Department of Application and Certificate for Payment.
- G. County will retain five percent (5%) of each Application and Certificate for Payment until final completion and acceptance of all the Work covered by Contract. However, anytime after fifty percent (50%) of the Work has been furnished and installed at site, County will make remaining payments in full if Architect / Engineer and Public Works Project Manager find that progress of the Work corresponds with Construction Schedule. If Architect / Engineer and Public Works Project Manager find that progress of the Work does not correspond with Construction Schedule, County may retain up to ten percent (10%) of each Application and Certificate for Payment for the Work completed.
- H. All material and work covered by partial payments made shall become sole property of County, but this provision shall not be construed as relieving Contractor from sole responsibility for care and protection of materials and work upon which payments have been made, or restoration of any damaged work, or as waiver of right of County to require fulfillment of all of terms of Contract.
- I. County will make final payment within sixty (60) calendar days after final completion of the Work, and will constitute acceptance thereof. Submit Equal Benefits Compliance Payment Certification with final pay request. Payment may be denied if Certification is not included.



- J. County may make payment in full, including retained percentages and less authorized deductions, upon completion and acceptance of each Division where price is stated separately in Contract.
- K. Every contractor engaged in performance of any contract for Department of Public Works, Highway & Transportation shall submit to this Department, as requested and with final application for payment for work under said contract, affidavit(s) as required to prove that all debts and claims against this Work are paid in full or otherwise satisfied, and give final evidence of release of all liens against the Work and County.

## **26. WITHHOLDING OF PAYMENTS**

- A. County, after having served written notice on said Contractor, may either pay directly any unpaid bills of which Department has written notice, or withhold from Contractor's unpaid compensation sum of money deemed reasonably sufficient to pay any and all such lawful claims until satisfactory evidence is furnished that all liabilities have been fully discharged; whereupon, payment to Contractor shall be resumed in accordance with terms of this Contract, but in no event shall these provisions be construed to impose any obligations upon County to either Contractor or Contractor's Surety.
- B. In paying any unpaid bills of Contractor, County shall be deemed agent of Contractor, and any payment so made by County, shall be considered as payment made under Contract by County to Contractor and County shall not be liable to Contractor for any such payment made in good faith.
- C. Contractor shall indemnify, hold harmless and defend Dane County, its boards, commissions, agencies, officers, employees and representatives from all claims growing out of lawful demands of subcontractors, laborers, workers, mechanics, material men, and furnishers of machinery and parts thereof, equipment, power tools, and all supplies, including commissary, incurred in performance of this Contract.
- D. At Department's request, Contractor shall furnish satisfactory evidence that all obligations of nature designated above have been paid, discharged or waived.

## **27. ACCEPTANCE OF FINAL PAYMENT AS RELEASE**

- A. Making of final payment shall constitute waiver of all claims by County except those arising from:
  - 1. Unsettled lien;
  - 2. Faulty or defective work appearing after substantial completion;
  - 3. Failure of the Work to comply with requirements of Construction Documents; or
  - 4. Terms of any special guarantees required by Construction Documents.
- B. Acceptance of final payment shall constitute waiver of all claims by Contractor.

## **28. PAYMENTS BY CONTRACTOR**

- A. Contractor shall pay following not later than fifth (5<sup>th</sup>) business day following each payment received from County:
  - 1. All transportation and utility services rendered;

2. All materials, tools, and other expendable equipment that have been delivered at site of the Work to extent of ninety percent (90%) of cost thereof, and balance of cost thereof when said balance is paid to Contractor; and
3. Each subcontractor, respective amount allowed Contractor because of work performed by subcontractor to extent of subcontractor's interest therein.

## **29. CONTRACT SECURITY**

- A. Contractor shall furnish Performance and Payment Bonds in amount at least equal to one hundred percent (100%) of Contract price as security for faithful performance of this Contract and payment of all persons performing labor on project under this Contract and furnishing materials in connection with this Contract.
- B. Sample Performance and Payment Bonds that Contractor will be required to execute is bound into these Construction Documents. Before construction Contract is consummated, completed Performance and Payment Bonds must be approved by Department.

## **30. ASSIGNMENTS**

- A. Contractor shall not assign whole or any part of this Contract or any moneys due or to become due hereunder without written consent of Department. In case Contractor assigns all or any part of any moneys due or to become due under this Contract, instrument of assignment shall contain clause substantially to effect that it is agreed that right of assignee in and to any moneys due or to become due to Contractor shall be subject to prior claims of all persons, firms and corporations for services rendered or materials supplied for performance of the Work called for in this Contract.

## **31. MUTUAL RESPONSIBILITY OF CONTRACTORS**

- A. If, through acts of neglect on part of Contractor or any subcontractor shall suffer loss or damage on the Work, Contractor agrees to settle with such subcontractor by agreement or arbitration if such other subcontractor will so settle. If such subcontractor shall assert any claim against County on account of any damage alleged to have been sustained, Department shall notify Contractor, who shall indemnify, hold harmless and defend Dane County, its boards, commissions, agencies, officers, employees and representatives against any such claim.

## **32. SEPARATE CONTRACTS**

- A. Department may award other contracts for the Work and all Contractors shall fully cooperate with each other and carefully adjust their work to that provided under other contracts as may be directed by Department. No Contractor shall commit or permit any act that will interfere with performance of the Work by any other Contractor.
- B. Contractor shall coordinate the Work with those of other Contractors. Cooperation will be required in arrangement for storage of materials and in detailed execution of the Work. Contractor, including subcontractors, shall keep informed of progress and detail work of others and shall notify Architect / Engineer or Department immediately of lack of progress or defective workmanship on part of others. Failure of Contractor to keep informed of the Work progressing on site and failure to give notice of lack of progress or defective workmanship by others shall be construed as acceptance by Contractor of status of the Work as being satisfactory for proper coordination with Contractor's own work.

### **33. SUBCONTRACTS**

- A. Contractor may use services of specialty subcontractors on those parts of the Work that, under normal contracting practices, are performed by specialty subcontractors.
- B. Contractor shall not award any work to any subcontractor without prior approval of Department. Qualifications of subcontractors shall be same as qualifications of Contractor. Request for subcontractor approval shall be submitted to Department fifteen (15) business days before start of subcontractor's work. If subcontractors are changed or added, Contractor shall notify Department in writing.
- C. Contractor shall be as fully responsible to County for acts and omissions of subcontractors, and of persons either directly or indirectly employed by them, as Contractor is for acts and omissions of persons directly employed by Contractor.
- D. Contractor shall cause appropriate provisions to be inserted in all subcontracts relative to the Work to bind subcontractors to Contractor by terms of General Conditions of Contract and other Construction Documents insofar as applicable to work of subcontractors and to give Contractor same power as regards terminating any subcontract that Department may exercise over Contractor under any provision of Construction Documents.
- E. Nothing contained in this Contract shall create any contractual relation between any subcontractor and County.
- F. Contractor shall insert in all subcontracts, Articles 26, 33, 43 and 45, respectively entitled: "Withholding of Payments", "Subcontracts", "Affirmative Action Provision and Minority / Women / Disadvantaged Business Enterprises", and "Minimum Wages", and shall further require all subcontractors to incorporate physically these same Articles in all subcontracts.

### **34. PUBLIC WORKS PROJECT MANAGER'S AUTHORITY**

- A. Public Works Project Manager shall:
  - 1. Administer and ensure compliance with Construction Documents;
  - 2. Provide responsible on-site observations of construction and have authority to request work and to stop work whenever necessary to insure proper enforcement of Construction Documents;
  - 3. Convene and chair project meetings and foreman's coordination meetings when necessary to coordinate resolution of conflicts between Contractors, Architects, Engineers, Consultants, and Department; and
  - 4. Check and inspect material, equipment and installation procedures of all trades for proper workmanship and for compliance with Drawings, Specifications and Shop Drawings, permit no material on project site that is not satisfactory and reject work not in compliance with Construction Documents.

### **35. ARCHITECT / ENGINEER'S AUTHORITY**

- A. Architect / Engineer is retained by, and is responsible to Department acting for County.
- B. Architect / Engineer shall determine amount, quality, acceptability, and fitness of several kinds of work and materials that are provided under this Contract and shall decide all questions that may arise in relation to said work and construction thereof.

- C. Architect / Engineer shall decide meaning and intent of any portion of Specifications and of any Drawings where they may be found obscure or be in dispute.
- D. Architect / Engineer shall provide responsible observation of construction. Architect / Engineer has authority to stop the Work whenever such stoppage may be necessary to insure proper execution of Construction Documents.
- E. Architect / Engineer shall be interpreter of conditions of Construction Documents and judge of its performance.
- F. Within reasonable time, Architect / Engineer shall make decisions on all matters relating to progress of the Work or interpretation of Construction Documents.
- G. Architect / Engineer's decisions are subject to review by Public Works Project Manager.

### **36. STATED ALLOWANCES**

- A. Stated allowances enumerated in Instructions to Bidders shall cover net cost of materials or equipment, and all applicable taxes. Contractor's cost of delivery and unloading at site, handling costs on site, labor, installation costs, overhead, profit and any other incidental costs shall be included in Contractor's bid, but not as part of cash allowance.
- B. Department will solicit at least two (2) bids on materials or equipment for which allowance is stated and select on basis of lowest qualified responsible bid. Contractor will then be instructed to purchase "Allowed Materials". If actual price for purchasing "Allowed Materials", including taxes, is more or less than "Cash Allowance", Contract price shall be adjusted accordingly. Adjustment in Contract price shall not contain any cost items excluded from cash allowance.

### **37. ESTIMATES OF QUANTITIES**

- A. Whenever estimated quantities of work to be done and materials to be furnished under this Contract are shown in any of Construction Documents, they are given for use in comparing bids and right is especially reserved to increase or diminish them as they may be deemed reasonably necessary or desirable by Department to complete the Work included in this Contract, and cost for such increase or diminution shall be adjusted in manner provided for in General Conditions of Contract Article 18 entitled "Changes in the Work".

### **38. LANDS AND RIGHTS-OF-WAY**

- A. Prior to start of construction, County shall furnish all land and rights-of-way necessary for carrying out and completion of the Work to be performed under this Contract.

### **39. GENERAL GUARANTEE**

- A. Neither final certificate of payment nor any provision in Construction Documents nor partial or entire occupancy of premises by County shall constitute acceptance of work not done in accordance with Construction Documents or relieve Contractor of liability in respect to any expressed warranties or responsibility for faulty materials or workmanship.
  - 1. In no event shall making of any payment required by Contract constitute or be construed as waiver by County of any breach of covenants of Contract or waiver of any default of Contractor and making of any such payment by County while any such default or breach shall exist shall in no way impair or prejudice right of County with respect to recovery of damages or other remedy as result of such breach or default.
- B. Contractor shall remedy and make good all defective workmanship and materials and pay for any damage to other work resulting there from, which appear within period of one (1) year from date of substantial completion, providing such defects are not clearly due to abuse or misuse by County. Department will give notice of observed defects with reasonable promptness.
- C. Guarantee on work executed after certified date of substantial completion will begin on date when such work is inspected and approved by Architect / Engineer and Public Works Project Manager.
- D. Where guarantees or warranties are required in sections of Specifications for periods in excess of one (1) year, such longer terms shall apply; however, Contractor's Performance and Payment Bonds shall not apply to any guarantee or warranty period in excess of one (1) year.

### **40. CONFLICTING CONDITIONS**

- A. Any provision in any of Construction Documents which may be in conflict or inconsistent with any Articles in these General Conditions of Contract or Supplementary Conditions shall be void to extent of such conflict or inconsistency.
- B. In case of ambiguity or conflict between Drawings and Specifications, Specifications shall govern.
- C. Printed dimensions shall be followed in preference to measurements by scale. Large-scale drawings take precedence over small-scale drawings. Dimensions on Drawings and details are subject to field measurements of adjacent work.

### **41. NOTICE AND SERVICE THEREOF**

- A. Any notice to Contractor from Department relative to any part of this Contract shall be in writing and considered delivered and service thereof completed, when said notice is posted, by certified or registered mail, to Contractor at Contractor's last given address, or delivered in person to said Contractor, or Contractor's authorized representative on the Work.

## **42. PROTECTION OF LIVES AND HEALTH**

- A. In order to protect lives and health of Contractor's employees under Contract, Contractor shall comply with all pertinent provisions of Wisconsin Administrative Code, Rules of Department of Commerce, relating to Safety and Health.
- B. Contractor alone shall be responsible for safety, efficiency and adequacy of Contractor's tools, equipment and methods, and for any damage that may result from their failure or their improper construction, maintenance or operation.

## **43. AFFIRMATIVE ACTION PROVISION AND MINORITY / WOMEN / DISADVANTAGED BUSINESS ENTERPRISES**

- A. Affirmative Action Provisions.
  - 1. During term of their Contract, Contractor agrees not to discriminate on basis of race, religion, color, sex, handicap, age, sexual preference, marital status, physical appearance, or national origin against any person, whether recipient of services (actual or potential), employee, or applicant for employment. Such equal opportunity shall include but not be limited to following: employment, upgrading, demotion, transfer, recruitment, advertising, layoff, termination, training, rates of pay, and any other form of compensation or level of service(s). Contractor agrees to post in conspicuous places, these affirmative action standards so as to be visible to all employees, service recipients and applicants for this paragraph. Listing of prohibited bases for discrimination shall not be construed to amend in any fashion state or federal law setting forth additional bases and exceptions shall be permitted only to extent allowable in state or federal law.
  - 2. Contractor is subject to this Article only if Contractor has ten (10) or more employees and receives \$10,000.00 or more in annual aggregate contracts with County. Contractor shall file and Affirmative Action Plan with Dane County Contract Compliance Officer in accord with Chapter 19 of Dane County Code of Ordinances. Such plan must be filed within fifteen (15) business days of effective date of this Contract and failure to do so by said date shall constitute ground for immediate termination of Contract by County. Contractor shall also, during term of this Contract, provide copies of all announcements of employment opportunities to County's Contract Compliance Office, and shall report annually number of persons, by race, sex and handicap status, who apply for employment, and, similarly classified, number hired and number rejected.
  - 3. Contact Dane County Contract Compliance Officer at Dane County Contract Compliance Office, 210 Martin Luther King, Jr. Blvd., Room 421, Madison, WI 53703, 608/266-4114.
  - 4. In all solicitations for employment placed on Contractor's behalf during term of this Contract, Contractor shall include statement to affect Contractor is "Equal Opportunity Employer". Contractor agrees to furnish all information and reports required by County's Contract Compliance Officer as same relate to affirmative action and nondiscrimination, which may include any books, records, or accounts deemed appropriate to determine compliance with Chapter 19, Dane County Code of Ordinances, and provision of this Contract.
- B. Minority / Women / Disadvantaged / Emerging Small Business Enterprises.
  - 1. Chapter 19.508 of Dane County Code of Ordinances is official policy of Dane County regarding utilization of, to fullest extent of, Minority Business Enterprises (MBEs), Women Business Enterprises (WBEs) Disadvantage Business Enterprises (DBEs) and Emerging Small Business Enterprises (ESBEs).
  - 2. Contractor may utilize MBEs / WBEs / DBEs / ESBEs as subcontractors or suppliers. List of subcontractors will be required of low bidder as stated in this Contract. List shall

indicate which are MBEs / WBEs / DBEs / ESBEs and percentage of subcontract awarded, shown as percentage of total dollar amount of bid.

#### **44. COMPLIANCE WITH FAIR LABOR STANDARDS**

- A. During term of this Contract, Contractor shall report to County Contract Compliance Officer, within ten (10) business days, any allegations to, or findings by National Labor Relations Board (NLRB) or Wisconsin Employment Relations Commission (WERC) that Contractor has violated statute or regulation regarding labor standards or relations. If investigation by Contract Compliance Officer results in final determination that matter adversely affects Contractor's responsibilities under this Contract, and which recommends termination, suspension or cancellation of this Contract, County may take such action.
- B. Contractor may appeal any adverse finding by Contract Compliance Officer as set forth in Dane County Ordinance 25.015(11)(c) through (e).
- C. Contractor shall post this statement in prominent place visible to employees: "As condition of receiving and maintaining contract with Dane County, this employer shall comply with federal, state and all other applicable laws prohibiting retaliation or union organizing."

#### **45. DOMESTIC PARTNERSHIP BENEFITS**

- A. Not Used.

#### **46. USE AND OCCUPANCY PRIOR TO ACCEPTANCE**

- A. Contractor agrees to use and occupancy of portion or unit of the Work before formal acceptance by Department, provided Department:
  - 1. Secures written consent of Contractor; except when in opinion of Public Works Project Manager, Contractor is chargeable with unwarranted delay in final cleanup of punch list items or other Contract requirements.
  - 2. Secures endorsement from insurance carrier and consent of Surety permitting occupancy of building or use of the Work during remaining period of construction, or, secures consent of Surety.
  - 3. Assumes all costs and maintenance of heat, electricity and water.
  - 4. Accepts all work completed within that portion or unit of the Work to be occupied, at time of occupancy.

#### **47. MINIMUM WAGES**

- A. Contractor shall post, at appropriate conspicuous point on site of project, schedule showing all determined minimum wage rates for various classes of laborers and mechanics to be engaged in the Work under this Contract and all deductions, if any, required by law to be made from unpaid wages actually earned by laborers and mechanics so engaged.
- B. Supplementary Conditions section in Construction Documents lists wage determinations required by State Law.
- C. If, after award of Contract, it becomes necessary to employ any person in trade or occupation not classified in wage determinations, such person shall be paid at not less than such rate as shall be determined by Wisconsin Department of Workforce Development. Such approved minimum rate shall be retroactive to time of initial employment of such person in such trade

or occupation. Contractor shall notify Department of Contractor's intention to employ persons in trades or occupations not so classified in sufficient time for Department to obtain approved rates for such trades or occupations.

- D. Specified wage rates are minimum rates only, and Department will not consider any claims for additional compensation made by Contractor because of payment by Contractor of any wage rate in excess of applicable rate contained in this Contract. Contractor shall adjust any disputes in regard to payment of wages in excess of those specified in this Contract.

#### **48. CLAIMS**

- A. No claim may be made until Department's Assistant Public Works Director has reviewed Architect / Engineer's decision as provided for in Article 35 of General Conditions of Contract. If any claim remains unresolved after such review by Department's Assistant Public Works Director the claim may be filed under Wisconsin Statute 893.80. Work shall progress during period of any dispute or claim. Unless specifically agreed between parties, venue will be in Dane County, Wisconsin.

#### **49. ANTITRUST AGREEMENT**

- A. Contractor and County recognize that in actual economic practice, overcharges resulting from antitrust violations are in fact usually borne by County. Therefore, Contractor hereby assigns to County any and all claims for such overcharges as to goods and materials purchased in connection with this Contract, except as to overcharges which result from antitrust violations commencing after price is established under this Contract and any change order thereto.

#### **50. INSURANCE**

- A. Contractor Carried Insurance:
  - 1. Contractor shall not commence work under this Contract until Contractor has obtained all insurance required under this Article and has provided evidence of such insurance to Risk Manager, 425 City-County Building, 210 Martin Luther King Jr. Blvd., Madison, WI 53703. Contractor shall not allow any subcontractor to commence work until insurance required of subcontractor has been so obtained and approved. Company providing insurance must be licensed to do business in Wisconsin.
  - 2. Worker's Compensation Insurance:
    - a) Contractor shall procure and shall maintain during life of this Contract, Worker's Compensation Insurance as required by statute for all of Contractor's employees engaged in work at site of project under this Contract and, in case of any such work sublet, Contractor shall require subcontractor similarly to provide Worker's Compensation Insurance for all of latter's employees to be engaged in such work unless such employees are covered by protection afforded by Contractor's Worker's Compensation Insurance.
    - b) If any claim of employees engaged in hazardous work on project under this Contract is not protected under Worker's Compensation Statute, Contractor shall provide and shall cause each subcontractor to provide adequate Employer's Liability Insurance for protection of such of Contractor's employees as are not otherwise protected.
  - 3. Contractor's Public Liability and Property Damage Insurance:
    - a) Contractor shall procure and maintain during life of this Contract, Contractor's Public Liability Insurance and Contractor's Property Damage Insurance in amount not less than \$1,000,000 bodily injury, including accidental death, to any one person, and subject to same limit for each person, in amount not less than \$1,000,000 on



account of one accident, and Contractor's Property Damage Insurance in amount not less than \$1,000,000 or combined single limit of at least \$1,000,000 with excess coverage over and above general liability in amount not less than \$5,000,000.

Contractor shall add "Dane County" as additional insured for each project.

- b) Contractor's Public Liability and Property Damage Insurance shall include Products, Completed Operation, and Contractual Liability under Insurance Contract.  
"Contractor shall in all instances save, defend, indemnify and hold harmless County and Architect / Engineer against all claims, demands, liabilities, damages or any other costs which may accrue in prosecution of the Work and that Contractor will save, defend, indemnify and hold harmless County and Architect / Engineer from all damages caused by or as result of Contractor's operations" and each shall be listed as additional insured on Contractor's and sub-contractors' insurance policies.
  - c) Obligations of Contractor under Article 50.A.2.b) shall not extend to liability of Architect / Engineer, agents or employees thereof, arising out of:
    - 1) Preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications; or
    - 2) Giving of or failure to give directions or instructions by Architect / Engineer, agents or employees thereof provided such giving or failure to give is primary cause of injury or damage.
  - d) Contractor shall procure and shall maintain during life of this Contract, Comprehensive Automobile Liability Insurance covering owned, non-owned and hired automobiles for limits of not less than \$1,000,000 each accident single limit, bodily injury and property damage combined with excess coverage over and above general liability in amount not less than \$5,000,000.
  - e) Contractor shall either:
    - 1) Require each subcontractor to procure and to maintain during life of subcontract, subcontractor's Public Liability Property Damage Insurance, and Comprehensive Automobile Liability Insurance of type and in same amount specified in preceding paragraphs; or
    - 2) Insure activities of subcontractors in Contractor's own policy.
4. Scope of Insurance and Special Hazards: Insurance required under Article 50.A.2 & 50.A.3. hereof shall provide adequate protection for Contractor and subcontractors, respectively, against damage claims which may arise from operations under this Contract, whether such operation be by insured or by anyone directly or indirectly employed by insured and also against any of special hazards which may be encountered in performance of this Contract as enumerated in Supplementary Conditions.
5. Proof of Carriage of Insurance: Contractor shall furnish Risk Manager with certificates showing type, amount, class of operations covered, effective dates, dates of expiration of policies and "Dane County" listed as additional insured. Such certificates shall also contain (substantially) following statement: "Insurance covered by this certificate will not be canceled or materially altered, except after ten (10) business days written notice has been received by Risk Manager."

**B. Builder's Risk:**

1. County shall provide Builder's Risk insurance coverage for its insurable interests in construction or renovation projects with completed value of \$1,000,000 or less. Therefore, if project completed value is more than \$1,000,000, Contractor shall obtain and maintain in force, at its own expense, Builder's Risk Insurance on all risks for amount equal to full completed value of covered structure or replacement value of alterations or additions. Any deductible shall not exceed \$25,000 for each loss. Policy shall include occupancy clause and list Dane County as loss payee.

**C. Indemnification / Hold Harmless:**

1. Contractor shall indemnify, hold harmless and defend Dane County, its boards, commissions, agencies, officers, employees and representatives from and against all claims, damages, losses and expenses including attorneys' fees arising out of or resulting from performance of the Work, provided that any such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself) including loss of use resulting therefrom, and is caused in whole or in part by any act or omission of Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, regardless of whether or not it is caused in part by part indemnified hereunder.
2. In any and all claims against Dane County, its boards, commissions, agencies, officers, employees and representatives or by any employee of Contractor, any subcontractor, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, indemnification obligation under this Contract shall not be limited in any way by any limitation on amount or type of damages, compensation or benefits payable by or for Contractor or any subcontractor under worker's compensation acts, disability benefits or other employee benefit acts.
3. Obligations of Contractor under this Contract shall not extend to liability of Architect / Engineer, its agents or employees arising out of:
  - a) Preparation or approval of maps, drawings, opinion, reports, surveys, change orders, designs or specifications; or
  - b) Giving of or failure to give directions or instruction by Architect / Engineer, its agents or employees provided such giving or failure to give is primary cause of injury or damage.
4. Dane County shall not be liable to Contractor for damages or delays resulting from work by third parties or by injunctions or other restraining orders obtained by third parties.


## **51. WISCONSIN LAW CONTROLLING**

- A. It is expressly understood and agreed to by parties hereto that in event of any disagreement or controversy between parties, Wisconsin law shall be controlling.

# SUPPLEMENTARY CONDITIONS

## 1. APPLICATION & CERTIFICATE FOR PAYMENT

- A. Every contractor engaged in performance of any contract for Department of Public Works, Highway & Transportation shall submit partial and final Application & Certificate for Payment for work under said contract. Form shall provide similar information as shown on AIA G702™ and G703™ forms (samples shown below). Forms shall be submitted to Public Works Project Manager for approval.


**AIA** Document G702™ – 1992

**Application and Certificate for Payment**

TO OWNER:	PROJECT:	APPLICATION NO:	Distribution to:
FROM CONTRACTOR:	VIA ARCHITECT:	PERIOD TO:	OWNER <input type="checkbox"/>
		CONTRACT FOR:	ARCHITECT <input type="checkbox"/>
		CONTRACT DATE:	CONTRACTOR <input type="checkbox"/>
		PROJECT NOS:	FIELD <input type="checkbox"/>
			OTHER <input type="checkbox"/>

---

**CONTRACTOR'S APPLICATION FOR PAYMENT**

Application is made for payment, as shown below, in connection with the Contract. AIA Document G703™, Continuation Sheet, is attached.

1. ORIGINAL CONTRACT SUM ..... \$ \_\_\_\_\_

2. NET CHANGE BY CHANGE ORDERS ..... \$ \_\_\_\_\_

3. CONTRACT SUM TO DATE (Line 1 + 2) ..... \$ \_\_\_\_\_

4. TOTAL COMPLETED & STORED TO DATE (Column G on G703) ..... \$ \_\_\_\_\_

5. RETAINAGE:

a. \_\_\_\_\_ % of Completed Work  
(Columns D + E on G703) ..... \$ \_\_\_\_\_

b. \_\_\_\_\_ % of Stored Material  
(Column F on G703) ..... \$ \_\_\_\_\_

Total Retainage (Lines 5a + 5b, or Total in Column I of G703) ..... \$ \_\_\_\_\_

6. TOTAL EARNED LESS RETAINAGE ..... \$ \_\_\_\_\_  
(Line 4 minus Line 5 Total)

7. LESS PREVIOUS CERTIFICATES FOR PAYMENT ..... \$ \_\_\_\_\_  
(Line 6 from prior Certificate)

8. CURRENT PAYMENT DUE ..... \$ \_\_\_\_\_

9. BALANCE TO FINISH, INCLUDING RETAINAGE ..... \$ \_\_\_\_\_  
(Line 3 minus Line 6)

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR:  
By: \_\_\_\_\_ Date: \_\_\_\_\_  
State of: \_\_\_\_\_  
County of: \_\_\_\_\_  
Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_

Notary Public:  
My commission expires: \_\_\_\_\_

---

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ _____	\$ _____
Total approved this month	\$ _____	\$ _____
<b>TOTAL</b>	<b>\$ _____</b>	<b>\$ _____</b>
NET CHANGES by Change Order	\$ _____	

**ARCHITECT'S CERTIFICATE FOR PAYMENT**

In accordance with the Contract Documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED ..... \$ \_\_\_\_\_  
(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT:  
By: \_\_\_\_\_ Date: \_\_\_\_\_

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

**CAUTION:** You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

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**Continuation Sheet**

AIA Document G702™-1992, Application and Certificate for Payment, or G732™-2009, Application and Certificate for Payment, Construction Manager as Adviser Edition, containing Contractor's signed certification is attached. In tabulations below, amounts are in US dollars. Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO:  
APPLICATION DATE:  
PERIOD TO:  
ARCHITECT'S PROJECT NO:

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (Not in D or E)	G TOTAL COMPLETED AND STORED TO DATE (D+E-F)	H BALANCE TO FINISH (C-G)	I RETAINAGE (if variable rate)
			FROM PREVIOUS APPLICATION (D-E)	THIS PERIOD				
GRAND TOTAL								

**CAUTION:** You should sign an original AIA Contract Document, on which this text appears in RED. An original assures that changes will not be obscured.

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SUBMITTAL

**2. INSURANCE**

A. **Contractor Carried Insurance.** In order to protect itself and the County, Contractor shall not commence work under this Contract until obtaining all required insurance and the County has approved such insurance. Contractor shall not allow any subcontractor to commence work on subcontract until insurance required of subcontractor has been so obtained and approved.

1. **Pollution Insurance Policy**

Contractor shall procure and maintain during life of this Contract, Pollution Insurance Policy in amount of at least \$1,000,000 per occurrence, \$5,000,000 aggregate.

**3. ASBESTOS DISPOSAL PROCEDURES**

- A. Asbestos disposal requires strict adherence to federal, state and local regulations and requirements.
- B. Chapter 41.80(4) of Dane County Ordinances prohibits disposal of any toxic substance at Dane County Landfill without prior written permission.
- C. Any violation of disposal regulations and requirements will result in being prohibited from using Dane County Landfill for asbestos waste disposal and will result in fines according to limits set in Chapter 41 (Solid Waste Management) of Dane County Ordinances.

- D. Please refer to, but do not use, attached **sample** Asbestos Disposal Permit. You will not be allowed to dispose of asbestos waste without submitting **official** Asbestos Disposal Permit, only available from Dane County Solid Waste Engineer.
- E. For complete information on asbestos disposal procedures or if you should have any questions, contact Dane County Solid Waste Engineer at 608/267-0120.

SAMPLE ONLY -  
NOT FOR  
SUBMITTAL

ASBESTOS DISPOSAL PERMIT



DANE COUNTY RODEFELD LANDFILL  
7102 U.S. HIGHWAY 12 & 18  
MADISON, WISCONSIN  
608/838-9555

PLEASE TYPE OR PRINT LEGIBLY

1. TO BE FILLED OUT BY ASBESTOS GENERATOR (SOURCE):

GENERATOR COMPANY NAME: \_\_\_\_\_

ASBESTOS SITE: \_\_\_\_\_  
(STREET ADDRESS, CITY, STATE, ZIP)

MAILING: \_\_\_\_\_  
(STREET ADDRESS, CITY, STATE, ZIP)

CONTACT NAME: \_\_\_\_\_ WORK PHONE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ OTHER PHONE: \_\_\_\_\_  
(WHERE AVAILABLE AT TIME OF DELIVERY TO LANDFILL)

EMAIL ADDRESS: \_\_\_\_\_

2. TO BE FILLED OUT BY REMOVAL CONTRACTOR:

ASBESTOS REMOVAL CONTRACTOR: \_\_\_\_\_

MAILING: \_\_\_\_\_  
(STREET ADDRESS, CITY, STATE, ZIP)

CONTACT NAME: \_\_\_\_\_ WORK PHONE: \_\_\_\_\_

PROJECT SUPERVISOR'S SIGNATURE: \_\_\_\_\_

PROJECT SUPERVISOR'S NAME: \_\_\_\_\_

ASBESTOS HANDLING:

NON-BULKY ITEMS    BULKY ITEMS

DOUBLE WRAPPED? Y \_\_\_\_\_ N \_\_\_\_\_      DOUBLE WRAPPED? Y \_\_\_\_\_  
N \_\_\_\_\_

WETTED?    Y \_\_\_\_\_    N \_\_\_\_\_      WETTED?    Y \_\_\_\_\_    N \_\_\_\_\_

SEALED?    Y \_\_\_\_\_    N \_\_\_\_\_      SEALED?    Y \_\_\_\_\_    N \_\_\_\_\_

NO. OF BAGS: \_\_\_\_\_      NO. OF BAGS: \_\_\_\_\_

APPROX. VOLUME: \_\_\_\_\_ CU.YDS.      APPROX. VOLUME: \_\_\_\_\_ CU.YDS.

PROJECT AND MATERIAL DESCRIPTION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SOURCE OF BAGS / PLASTIC WRAP:

COMPANY NAME: \_\_\_\_\_

MAILING: \_\_\_\_\_  
(STREET ADDRESS, CITY, STATE, ZIP)  
PHONE NO.: \_\_\_\_\_

SPECIFY THICKNESS: \_\_\_\_\_ MILS

I AGREE TO ADHERE TO ALL TERMS AND CONDITIONS OF THIS PERMISSION. IF I AM SIGNING IN A REPRESENTATIVE CAPACITY, I ASSERT THAT I AM AUTHORIZED TO BIND MY PRINCIPAL IN ALL RESPECTS.

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

3. TO BE FILLED OUT BY WASTE HAULER:

HAULING COMPANY NAME: \_\_\_\_\_

CONTACT NAME: \_\_\_\_\_ WORK PHONE: \_\_\_\_\_

DRIVER'S NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

DRIVER'S SIGNATURE: \_\_\_\_\_  
(upon delivery)

4. TO BE FILLED OUT BY LANDFILL SUPERVISOR / ATTENDANT:

DATE OF DISPOSAL: \_\_\_\_\_ TRANSACTION NO.: \_\_\_\_\_

WEIGHT: \_\_\_\_\_ COPY GIVEN TO TRANSPORTER? Y \_\_\_\_\_ N \_\_\_\_\_

DISCREPANCIES: \_\_\_\_\_

---

SIGNATURE: \_\_\_\_\_

PRINTED NAME: \_\_\_\_\_

DISPOSAL COODINATES: \_\_E to \_\_\_\_E, \_\_\_\_N to \_\_\_\_N

ELEVATION Base: \_\_\_\_\_ Top: \_\_\_\_\_

SAMPLE ONLY -  
NOT FOR  
SUBMITTAL



## SECTION 01 00 00

### BASIC REQUIREMENTS

#### PART 1 GENERAL

##### 1.1 SECTION SUMMARY

- A. Section Includes:
1. Section Summary
  2. Summary of the Work
  3. Contractor Use of Premises
  4. Applications for Payment
  5. Change Procedures
  6. Coordination
  7. Conferences
  8. Progress Meetings
  9. Job Site Administration
  10. Submittal Procedures
  11. Shop Drawings
  12. Quality Assurance / Quality Control of Installation
  13. References
  14. Parking
  15. Staging Areas
  16. Protection
  17. Progress Cleaning
  18. Contract Closeout Procedures
  19. Final Cleaning

##### 1.2 SUMMARY OF THE WORK

- A. Project Description: Perform the Work as specified and detailed in Construction Documents package. Contractor to provide demolition services for three (3) buildings on the former Messner building site and the two (2) parking lots. Site is to be restored to a gravel surface lot.
- B. Work by Owner:
1. Test & removal of any asbestos containing materials.
  2. Provide Contractor with Phase I Environmental Site Assessment.
  3. Provide Contractor with Pre-Demolition Asbestos and Lead Inspection Reports.
- C. Permits: Prior to commencement of the Work, Contractor to secure any and all necessary permits for completion of the Work and facility occupancy.
- D. Diggers Hotline:
1. It is General Contractor's responsibility to contact Diggers Hotline to have all utility locations marked prior to excavation and planning excavation so as not to delay the Work.
  2. Diggers Hotline shall also be used to obtain information on safe working clearances from overhead lines.

3. Completely comply with all requirements of each affected utility company.
4. It is General Contractor's responsibility to contact & hire private utility locating services if necessary.

### 1.3 CONTRACTOR USE OF PREMISES

- A. Limit use of premises to allow work by Contractors or Subcontractors and access by Owner.

### 1.4 APPLICATIONS FOR PAYMENT

- A. Submit one (1) original copies with "wet" signatures of each application on AIA G702™ and G703™ forms or approved contractors invoice form.
- B. Content and Format: Utilize Schedule of Values for listing items in Application for Payment.
- C. Payment Period: Monthly.
- D. Submit Applications for Payment to Owner (Dane County Public Works Project Manager) who will also approve & process for payment.

### 1.5 CHANGE PROCEDURES

- A. Contractor's costs for Products, delivery, installation, labor, insurance, payroll, taxes, bonding, equipment rental, overhead and profit will be included in Change Orders authorizing expenditure of funds from contingency allowance.

### 1.6 COORDINATION

- A. Coordinate scheduling, submittals, and work of various sections of Specifications to assure efficient and orderly sequence of installation of interdependent construction elements.
- B. Verify utility requirement characteristics of operating equipment are compatible with building utilities.
- C. Contractor shall provide Public Works Project Engineer with work plan that ensures the Work will be completed within required time of completion.
- D. Public Works Project Manager may choose to photograph or videotape site or workers as the Work progresses.

### 1.7 CONFERENCES

- A. Project shall have pre-bid conference; see Instructions to Bidders.
- B. Owner will schedule preconstruction conference after Award of Contract for all affected parties.
- C. Contractor shall submit Construction Schedule at pre-construction meeting.

- D. When required in individual Specification section, convene pre-installation conference at project site prior to commencing work of Section.

#### 1.8 PROGRESS MEETINGS

- A. Schedule and administer meetings throughout progress of the Work at minimum of one (1) per week with Public Works Project Manager.
- B. Preside at meetings, record minutes, and distribute copies within two (2) business days to those affected by decisions made.
- C. Contractors shall give verbal reports of progress on the Work, discuss schedule for upcoming period and present all conflicts, discrepancies or other difficulties for resolution.
- D. Day & time of progress meetings to be determined at pre-construction meeting.

#### 1.9 JOB SITE ADMINISTRATION

- A. Contractor shall have project superintendent on site minimum of four (4) hours per day during progress of the Work.

#### 1.10 SUBMITTAL PROCEDURES

- A. Submittal form to identify Project, Contractor, Subcontractor or supplier; and pertinent Construction Documents references.
- B. Apply Contractor's stamp, signed or initialed, certifying that review, verification of Products required, field dimensions, adjacent construction work, and coordination of information is in accordance with requirements of the Work and Construction Documents.
- C. Identify variations from Construction Documents and Product or system limitations that may be detrimental to successful performance of completing the Work.
- D. Revise and resubmit submittals as required; identify all changes made since previous submittal.

#### 1.11 SHOP DRAWINGS

- A. Submit number of copies that Contractor requires, plus three (3) copies that shall be retained by Public Works Project Manager.

#### 1.12 QUALITY ASSURANCE / QUALITY CONTROL OF INSTALLATION

- A. Monitor quality control over suppliers, manufacturers, Products, services, site conditions, and workmanship, to produce work of specified quality.
- B. Comply fully with manufacturers' instructions.

- C. Comply with specified standards as minimum quality for the Work except when more stringent tolerances, codes, or specified requirements indicate higher standards or more precise workmanship.

#### 1.13 REFERENCES

- A. Conform to reference standard by date of issue current as of date for receiving bids.
- B. Should specified reference standard conflict with Construction Documents, request clarification from Public Works Project Manager before proceeding.

#### 1.14 PARKING

- A. Arrange for temporary parking areas to accommodate construction personnel. Parking shall be available at the Work site.
- B. All contractors and their employees shall cooperate with General Contractor and others in parking of vehicles to avoid interference with normal operations and construction activities.

#### 1.15 STAGING AREAS

- A. Coordinate staging areas with Public Works Project Manager prior to starting the Work.
- B. On-site space for use as staging areas and storage of materials is limited and will be apportioned among various Contractors as their needs dictate with due regard for storage requirements of each Contractor. Each Contractor shall be responsible for safety of equipment and materials that are stored on site.

#### 1.16 PROTECTION

- A. Contractor shall protect from damage / injury all trees, shrubs, hedges, plantings, grass, mechanical, electrical & plumbing equipment, walks and driveways and pay for any damage to same resulting from insufficient or improper protection.
- B. Contractor shall provide and maintain barricades & signage to prohibit public access to construction site.
- C. Contractor shall provide and maintain guard lights at all barricades, railings, obstructions in streets, roads or sidewalks and at all trenches adjacent to public walks or roads.

#### 1.17 PROGRESS CLEANING

- A. Maintain areas free of waste materials, debris, and rubbish. Maintain site in clean and orderly condition.

#### 1.18 CONTRACT CLOSEOUT PROCEDURES

- A. Submit written certification that Construction Documents have been reviewed, the Work has been inspected, and the Work is complete in accordance with Construction Documents and ready for Public Works Project Manager's inspection.

- B. Submit final Application for Payment identifying total adjusted Contract Sum / Price, previous payments, and amount remaining due.

1.19 FINAL CLEANING

- A. Execute final cleaning prior to final inspection.
- B. Clean interior and exterior surfaces exposed to view.
- C. Remove waste and surplus materials, rubbish, and construction facilities from site.

PART 2 PRODUCTS

Not Used.

PART 3 EXECUTION

Not Used.

END OF SECTION

SECTION 01 74 19

CONSTRUCTION WASTE MANAGEMENT, DISPOSAL & RECYCLING

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes:
  - 1. Summary
  - 2. Waste Management Goals
  - 3. Construction and / or Demolition Waste Management
  - 4. Waste Management Plan
  - 5. Reuse
  - 6. Recycling
  - 7. Materials Sorting and Storage On Site
  - 8. Lists of Recycling Facilities Processors and Haulers
  - 9. Waste Management Plan Form
  
- B. Related Sections:
  - 1. Section 01 00 00 - Basic Requirements
  - 2. Section 02 41 16 – Structure Demolition

1.2 WASTE MANAGEMENT GOALS

- A. Dane County requires that as many waste materials as possible produced as result of this project be salvaged, reused or recycled in order to minimize impact of construction waste on landfills and to minimize expenditure of energy and cost in fabricating new materials. Additional information may be found in Dane County Green Building Policy, Resolution 299, 1999-2000.

1.3 CONSTRUCTION AND / OR DEMOLITION WASTE MANAGEMENT

- A. All construction and demolition waste suitable for recycling may go to Dane County Construction & Demolition Recycling Facility located at 7102 US Hwy 12, Madison, located across from Yahara Hills Golf Course. This facility can receive mixed loads of construction and demolition waste. For complete list of acceptable materials see [www.countyofdane.com/pwht/recycle/CD\\_Recycle.aspx](http://www.countyofdane.com/pwht/recycle/CD_Recycle.aspx).
  
- B. Dane County Landfill, also at 7102 US Hwy 12, Madison, must receive all other waste from this project. [www.countyofdane.com/pwht/recycle/landfill.aspx](http://www.countyofdane.com/pwht/recycle/landfill.aspx).

1.4 WASTE MANAGEMENT PLAN

- A. Contractor shall develop Waste Management Plan (WMP) for this project. Dane County's Special Projects & Materials Manager may be contacted with questions. Outlined in RECYCLING section of this specification are examples of materials that can be recycled or reused as well as recommendations for waste sorting methods.

- B. Contractor shall complete WMP and include cost of recycling / reuse in Bid. WMP will be submitted to Public Works Project Manager within fifteen (15) business days of Notice to Proceed date. Copy of blank WMP form is in this Section. Submittal shall include cover letter and WMP form with:
1. Information on:
    - a. Types of waste materials produced as result of work performed on site;
    - b. Estimated quantities of waste produced;
    - c. Identification of materials with potential to be recycled or reused;
    - d. How materials will be recycled or reused;
    - e. On-site storage and separation requirements (on site containers);
    - f. Transportation methods; and
    - g. Destinations.

#### 1.5 REUSE

- A. Contractors and subcontractors are encouraged to reuse as many waste materials as possible. Salvage should be investigated for materials not reusable on site.

#### 1.6 RECYCLING

- A. These materials may be recycled at Dane County Construction & Demolition Recycling Facility:

1. Wood.
2. Wood Pallets.
3. PVC Plastic (pipe, siding, etc.).
4. Asphalt & Concrete.
5. Bricks & Masonry.
6. Vinyl Siding.
7. Cardboard.
8. Metal.
9. Unpainted Gypsum Drywall.
10. Shingles.

- B. These materials can be recycled elsewhere in Dane County area:

1. Fluorescent Lamps.
2. Foam Insulation & Packaging (extruded and expanded).
3. Carpet Padding.
4. Barrels & Drums.

- C. All materials must be recycled at WDNR permitted waste processing facilities that adhere to all State Statutes.

#### 1.7 MATERIALS SORTING AND STORAGE ON SITE

- A. Contractor shall provide separate containers for recyclable materials. Number of containers will be dependent upon project and site conditions.
- B. Contractor shall provide on-site locations for subcontractors supplied recycling containers to help facilitate recycling.

1.8 LISTS OF RECYCLING FACILITIES PROCESSORS AND HAULERS

- A. Refer to [www.countyofdane.com/pwht/recycle/CD\\_Recycle.aspx](http://www.countyofdane.com/pwht/recycle/CD_Recycle.aspx) for information on Dane County Construction & Demolition Recycling Facility.
- B. Web site [www.countyofdane.com/pwht/recycle/categories.aspx](http://www.countyofdane.com/pwht/recycle/categories.aspx) lists current information for Dane County Recycling Markets. Contractors can also contact Allison Hackner at 608/266-4990, or local city, village, town recycling staff listed at site [www.countyofdane.com/pwht/recycle/contacts.aspx](http://www.countyofdane.com/pwht/recycle/contacts.aspx). Statewide listings of recycling / reuse markets are available from UW Extension at <https://www.uwgb.edu/shwec/>.

PART 2 PRODUCTS

Not Used.

PART 3 EXECUTION

Not Used.

END OF SECTION



## WASTE MANAGEMENT PLAN FORM



Contractor Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Recycling Coordinator: \_\_\_\_\_

MATERIAL	ESTIMATED QUANTITY	DISPOSAL METHOD (CHECK ONE)		RECYCLING / REUSE COMPANY OR DISPOSAL SITE
Salvaged & reused building materials	_____ cu. yds. _____ tons	_____ Recycled	_____ Reused	Name: _____
Wood	_____ cu. yds. _____ tons	_____ Recycled	_____ Reused	Name: _____
Wood Pallets	_____ units	_____ Recycled	_____ Reused	Name: _____
PVC Plastic	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Asphalt & Concrete	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Bricks & Masonry	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Vinyl Siding	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Cardboard	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Metals	_____ cu. yds. _____ tons	_____ Recycled	_____ Reused	Name: _____
Unpainted Gypsum / Drywall	_____ cu. yds. _____ tons	_____ Recycled	_____ Reused	Name: _____
Shingles	_____ cu. yds. _____ tons	_____ Recycled	_____ Reused	Name: _____
Fluorescent Lamps	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Foam Insulation	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Carpet Padding	_____ cu. ft. _____ lbs.	_____ Recycled	_____ Reused	Name: _____
Barrels & Drums	_____ units	_____ Recycled	_____ Reused	Name: _____

## WASTE MANAGEMENT PLAN FORM

Glass	_____ cu. yds. _____ tons	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____
Other	_____	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____
Other	_____	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____
Other	_____	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____
Other	_____	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____
Other	_____	_____ Recycled _____ Landfilled	_____ Reused _____ Other	Name: _____

## SECTION 02 41 16

### STRUCTURE DEMOLITION

#### PART 1 GENERAL

##### 1.1 SUMMARY

- A. Section Includes:
  - 1. Demolishing designated structures.
  - 2. Demolishing designated foundations.
  - 3. Demolishing designated slabs-on-grade.
  - 4. Demolishing designated utilities.
  - 5. Demolishing designated underground tanks.
  - 6. Removing demolished materials.
- B. Related Sections:
  - 1. Section 01 00 00 – Basic Requirements
  - 2. Section 01 74 19 – Recycling
  - 3. Section 31 00 00 – Earth Work

##### 1.2 SUBMITTALS

- A. Section 01 00 00 – Basic Requirements: Submittal Procedures.
- B. Shop Drawings: Indicate demolition and removal sequence with start & end dates for each activity; location and construction of barricades, fences, and temporary work. Submit informational report, including drawings, for environmental protection, for dust and noise control.
- C. Design Data: Submit calculations for bracing, shoring, and underpinning signed and sealed by professional engineer.
- D. Submit copy of permits required by regulatory agencies for demolition and sidewalk and street closings.
- E. Landfill Records: Indicate receipt and acceptance of hazardous wastes by landfill facility licensed to accept hazardous wastes.

##### 1.3 CLOSEOUT SUBMITTALS

- A. Section 01 00 00 – Basic Requirements: Submittal Procedures.
- B. Project Record Documents: Accurately record actual locations of capped utilities, subsurface obstructions.

##### 1.4 QUALITY ASSURANCE

- A. Section 01 00 00 – Basic Requirements: Quality Assurance / Quality Control of Installation.

- B. Conform to applicable codes for demolition of structures, safety of adjacent structures, dust control, runoff control, and material disposal.
- C. Conform to applicable codes for procedures when hazardous or contaminated materials are discovered.
- D. Conform to & follow conditions of approved Erosion Control Permit.
- E. Obtain required permits from authorities having jurisdiction.
- F. Perform Work in accordance with State of Wisconsin, Dane County Public Works & City of Madison standards.
- G. Maintain one copy of each document on site.

#### 1.5 QUALIFICATIONS

- A. Demolition Firm: Company specializing in performing work of this section with minimum five (5) years documented experience.
- B. The scope of the Work calls for bidders with experience in turn-key environmental, abatement, and demolition projects who will complete the Work under one contract.
- C. Demolition Personnel: Engage experienced technicians & workers that specialize in demolition work similar in material and extent to that indicated for this project.
- D. Design shoring, bracing, and underpinning under direct supervision of Professional Engineer experienced in design of this Work and licensed in State of Wisconsin.

#### 1.6 PRE-INSTALLATION MEETINGS

- A. Section 01 00 00 – Basic Requirements: Conferences and Progress Meetings.
- B. Convene minimum one (1) week prior to commencing work of this Section.

#### 1.7 SCHEDULING

- A. Section 01 00 00 – Basic Requirements: Conferences and Progress Meetings .
- B. Describe demolition removal procedures and schedule.

#### 1.8 PROJECT CONDITIONS

- A. Buildings indicated to be demolished will be vacated before start of Work.
- B. Owner assumes no responsibility for actual condition of buildings to be demolished.
- C. Notify Owner upon discovery of hazardous materials.
- D. Hazardous Materials: Known hazardous materials will be removed before start of Work.

- E. Do not sell demolished materials on-site.
- F. Maintain existing sidewalks to greatest extent possible.

## PART 2 PRODUCTS

Not Used.

## PART 3 EXECUTION

### 3.1 EXISTING BUILDING DOCUMENTATION

- A. Document condition of adjacent buildings indicated to remain.
- B. Any other existing documentation of site will be made available to Contractor after Award of Contract.

### 3.2 EXAMINATION

- A. Examine existing buildings indicated to be demolished before demolition.
- B. Determine where removals may result in structural deficiency or unplanned building collapse during demolition. Coordinate demolition sequence and procedures to prevent structures from becoming unstable.
- C. Determine where demolition may affect structural integrity or weather resistance of adjacent buildings indicated to remain.
  - 1. Identify measures required to protect buildings from damage.
  - 2. Identify remedial work including patching, repairing, bracing, and other work required to leave buildings indicated to remain in structurally sound and weathertight and watertight condition.
- D. Verify hazardous material abatement is complete before beginning demolition.

### 3.3 PREPARATION

- A. Call Diggers' Hotline not less than three (3) working days before performing Work.
  - 1. Request underground utilities to be located and marked within and surrounding construction areas.
- B. Notify affected utility companies before starting work and comply with utility's requirements.
- C. Do not close or obstruct roadways, sidewalks or hydrants without permits.
- D. Erect, and maintain temporary barriers and security devices, including warning signs and lights, and similar measures, for protection of the public and Owner.

- E. Obtain all necessary permitting for fencing.
- F. Protect existing landscaping materials, trees, appurtenances, structures, and indicated to remain.
- G. Prevent movement or settlement of adjacent structures. Provide bracing and shoring.

### 3.4 DEMOLITION REQUIREMENTS

- A. Use of explosives is not permitted.
- B. No burning will be permitted on site.
- C. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures.
- D. Conduct demolition to minimize interference with adjacent structures.
- E. Cease operations immediately when adjacent structures appear to be in danger. Notify Owner. Do not resume operations until directed.
- F. Conduct operations with minimum interference to public or private accesses to occupied adjacent structures. Maintain protected egress and access from adjacent structures at all times.
- G. Partial Removal of Paving and Curbs: Neatly saw cut at right angle to surface.
- H. Obtain written permission from adjacent property owners when demolition equipment will traverse, infringe upon or limit access to their property.
- I. Sprinkle Work with water to minimize dust. Provide hoses and water connections required for this purpose. Do not use water if that will result in ice, flooding, sedimentation of public waterways or storm sewers, or other pollution.
- J. Cover dump truck box at all times to minimize dust.

### 3.5 DEMOLITION

- A. Disconnect, remove and cap designated utilities to street connection. Identify utilities at termination of demolition. Record termination or capped location on Record Documents.
- B. Demolish indicated existing buildings completely. Use methods required to complete the Work within limitations of governing regulations and as follow:
  1. Do not use cutting torches until Work area is cleared of flammable materials. Maintain portable fire-suppression devices during flame-cutting operations.
  2. Maintain fire watch during and for at least two (2) hours after flame-cutting operations.
  3. Maintain adequate ventilation when using cutting torches.
  4. Locate building demolition equipment and remove debris and materials so as not to impose excessive loads on supporting walls, floors or framing.

- C. Remove concrete slabs-on-grade.
- D. Remove all hardscapes on Work site.
- E. Empty underground tanks located within demolition area.
- F. Remove all tanks, including underground and above-ground tanks, their components, and piping from site.
- G. Backfill areas excavated, open pits and holes resulting from demolition.
- H. Rough grade and compact areas affected by demolition to accommodate subsequent construction operations.
- I. Continuously clean-up and remove demolished materials from site. Do not allow materials to accumulate in building or on site.
- J. Do not burn or bury materials on site. Leave site in clean condition.

END OF SECTION

## SECTION 31 00 00

### EARTH WORK

#### PART 1 GENERAL

##### 1.1 SUMMARY

- A. Section Includes:
  - 1. Site preparation before demolition.
  - 2. Site maintenance during demolition.
  - 3. Site restoration after demolition.
- B. Related Sections:
  - 1. Section 01 00 00 - Basic Requirements
  - 2. Section 01 74 19 - Recycling
  - 3. Section 02 41 16 - Structure Demolition

##### 1.2 SUMMARY OF THE WORK

- A. Contractor shall prepare everything necessary for site work to commence. This includes all interactions & work preparation with utility companies, protecting designated trees, shrubs & other plant life, obtaining & conforming with all necessary permits (including Erosion Control Plan) & equipment tracking pad requirements from Section 02 41 16 - Structure Demolition.
- B. Contractor shall keep & maintain all erosion control measures, remove surface debris, designated paving & curbs & remove abandoned utilities.
- C. After demolition is complete, site shall be restored as described herein. Contractor shall provide fill & compaction where needed, shall rough grade.

##### 1.3 SUBMITTALS

- A. Section 01 00 00 - Basic Requirements: Submittal Procedures.

##### 1.4 EROSION CONTROL PLAN

- A. Not used.

##### 1.5 PROJECT CONDITIONS

- A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during site-clearing operations.
  - 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
  - 2. Provide alternate routes around closed or obstructed traffic ways if required by Owner or authorities having jurisdiction.
- B. Do not commence site clearing operations until erosion control measures are in place.



## 1.6 QUALITY ASSURANCE

- A. Conform to applicable codes for environmental requirements & disposal of debris.
- B. Perform the Work in accordance with State of Wisconsin, Dane County Public Works & City of Madison standards.
- C. Maintain one copy of each document on site.

## PART 2 PRODUCTS

### 2.1 MATERIALS

- A. Erosion Control Measures: WDNR Standards 1057, 1060 & 1071.

## PART 3 EXECUTION

### 3.1 SITE PREPARATION

- A. Verify existing conditions before starting the Work.
- B. Implement all pre-demolition measures dictated in Erosion Control Plan. Continue all required measures throughout entirety of the Work.
- C. Obtain demolition & erosion control permits from City of Madison. Owner shall provide necessary information to aid application(s) completion.
- D. Verify with Owner, tag & identify which existing trees, shrubs & plant life are designated to remain.
- E. Protect bench marks, survey control points, and existing structures from damage or displacement.
- F. Contact utility companies serving or crossing site to plan for demolition work:
  - 1. Call Diggers Hotline not less than three (3) working days before performing the Work:
    - a. Request underground utilities to be located and marked within and surrounding construction areas.
    - b. Locate, identify, and protect utilities indicated to remain, from damage.

### 3.2 SITE MAINTENANCE

- A. Erosion control measures:
  - 1. Provide erosion control measures to prevent soil erosion and discharge of sediment or airborne dust to adjacent properties and walkways, according to Erosion Control Plan.
  - 2. Verify that flows of water redirected from construction areas or generated by construction activity do not enter or cross protection zones.

3. Inspect, maintain, and repair erosion control measures during construction until permanent vegetation has been established.
  4. Notify Owner when site is fully stabilized:
    - a. Do not remove any erosion control measures until Owner has authorized their removal upon final site stabilization.
- B. Waste removal:
1. Remove debris, rock and only designated plant life from site.
  2. Remove paving and curbs as indicated on Drawings. Neatly saw cut edges at right angle to surface.
  3. Remove abandoned utilities. Indicated removal termination point for underground utilities on Record Documents.
  4. Continuously clean-up and remove waste materials from site. Do not allow materials to accumulate on site.
  5. Do not burn or bury materials on site. Leave site in clean condition.
- C. Disposal of surplus and waste materials:
1. Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and waste materials including trash and debris, and legally dispose of them off Owner's property.
  2. Separate recyclable materials produced during site clearing from other non-recyclable materials. Store or stockpile without intermixing with other materials and transport them to recycling facilities. Do not interfere with other construction or non-construction related work on-site.

### 3.3 SITE RESTORATION

- A. Definitions:
1. Backfill: Soil material used to fill excavation.
  2. Borrow Soil: Suitable soil imported from off-site for use as fill or backfill.
  3. Excavation: Removal of material encountered above subgrade elevations and to lines and dimensions indicated.
  4. Fill: Soil materials used to raise existing grades.
  5. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appurtenances, or other man-made stationary features constructed above or below ground surface.
  6. Subgrade: Uppermost surface of excavation or top surface of fill or backfill immediately below subbase, drainage fill, drainage course, or topsoil materials.
- B. General Excavation:
1. Unclassified Excavation: Excavate to subgrade elevations regardless of character of surface and subsurface conditions encountered. Unclassified excavated materials may include rock, soil materials, and obstructions. No changes in Contract Sum or Contract Time will be authorized for rock excavation or removal of obstructions.
  2. If excavated materials intended for fill and backfill include unsuitable soil materials and rock, replace with suitable soil materials.
- C. Backfill:

1. All labor, materials, equipment, and related services necessary to furnish and install all subgrade preparation, excavation and backfill for site as indicated on drawings or specified herein.
  2. Use clean sand and/or clean gravel soil free of rock or gravel larger than 6 inches in any dimension, debris, waste, frozen materials, vegetation, and other deleterious matter.
  3. Compaction of soil fills:
    - a. Place fill soil materials in layers not more than 10 inches in loose depth for material compacted by heavy compaction equipment, and not more than 4 inches in loose depth for material compacted by hand-operated tampers.
    - b. Place fill soil materials evenly on all sides of structures to required elevations, and uniformly along full length of each structure.
    - c. Compact fill materials to not less than these percentages of maximum dry unit weight according to ASTM D 1557:
      - 1) Compact each fill layer to minimum of 95 percent.
- D. Grading:
1. Match existing grades.
  2. Taper toward center of lot & not toward streets or surrounding properties.
  3. General: Uniformly grade areas to smooth surface, free of irregular surface changes. Comply with compaction requirements and grade to cross sections, lines, and elevations indicated.
  4. Site Rough Grading: Slope grades to direct water away from buildings and to prevent ponding.
- E. Long term care:
1. Contractor shall be responsible for all repairs & replacement of existing trees, shrubs & plant life that may have damaged during construction but damage was not noticed or obvious immediately.
  2. If Owner determines compaction or grading is insufficient (i.e., stormwater runoff not moving as expected, areas showing signs of sinking).

END OF SECTION

October 22, 2015

Project Reference #15737

Ms. Laura Hicklin  
Deputy Directory  
Dane County Land & Water Resources Department  
5201 Fen Oak Drive, Room 208  
Madison, WI 53718

**SUBJECT: AAI Phase I Environmental Site Assessment Report  
1316/1318 and 1326 East Washington Avenue  
Madison, Wisconsin**

Dear Ms. Hicklin:

The Sigma Group, Inc. (Sigma) has completed an AAI Phase I Environmental Site Assessment (ESA) of the above noted property located in Madison, Wisconsin. Enclosed is a copy of the final report. Based on the information reviewed from October 1, 2015 through October 22, 2015, recognized environmental conditions (RECs), as defined by the All Appropriate Inquiry (AAI) ASTM Standard E-1527-13, have not been identified at the subject property except for the following:

- Sigma observed an AST, which likely contained fuel oil, in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes were limited; however, a fuel oil odor was observed in that basement area and the associated stairway. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property via soil, groundwater and/or vapor migration.

In addition, the following controlled REC was identified at the subject property:

- A LUST release (BRRTS # 03-13-000521) associated with a historic leaded gasoline UST was identified at the 1326 Washington Avenue subject property parcel during the UST removal activities in 1990. Remedial excavation activities were conducted and the DNR granted case closure in 1999 contingent on filing a GIS registry and groundwater use restriction due to the residual soil and groundwater impacts documented at the time of closure. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate management in accordance with applicable state and federal regulations. In addition, although a vapor intrusion risk to the current structure does not appear to be present given the existing site conditions, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated.

A REC associated with an off-site property was also identified during the preparation of the Phase I ESA. Please note, with respect to the potential off-site issue, the State of Wisconsin created the "property affected by off-site discharges" exemption, s. 292.13, Wisconsin Statutes, which limits the responsibilities of property owners when soil or groundwater contamination is confirmed to be migrating onto his or her property from off site. Property owners will not be responsible for taking appropriate environmental response actions if certain conditions are met. The REC is as follows:

- Coal piles were identified to have historically been on the property located immediately north/northwest adjacent to the subject property on the Sanborn maps. Given the close proximity and historic exterior storage, the coal piles historically located adjacent to the subject property have the potential to negatively impact the subject property.

Given the AST-related REC, Sigma recommends that the condition of the AST be evaluated to determine if a spill has occurred and a follow up soil and/or groundwater site investigation be completed as necessary. We appreciate the opportunity to provide you with Phase I ESA services. Please do not hesitate to contact me at (414) 643-4200 with any questions or comments.

Sincerely,

**THE SIGMA GROUP, INC.**



Mary E. Trotta  
Project Scientist

CC: Ms. Kristin Kurzka, Sigma

Enclosure: AAI Phase I Environmental Site Assessment Report

**AAI PHASE I ENVIRONMENTAL SITE ASSESSMENT  
1316/1318 AND 1326 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN**

**PREPARED FOR:**

**Ms. Laura Hicklin  
Dane County Land & Water Resources Department  
5201 Fen Oak Drive, Rm 208  
Madison, WI 53718**

**PREPARED BY:**



**PROJECT REFERENCE #15737**

**OCTOBER 2015**

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## EXECUTIVE SUMMARY

Ms. Laura Hicklin, on behalf of Dane County, retained The Sigma Group, Inc. (Sigma) of Milwaukee, Wisconsin to conduct an AAI Phase I Environmental Site Assessment (ESA) of property located at 1316/1318 and 1326 East Washington Avenue in Madison, Wisconsin (subject property). The purpose of the environmental assessment was to identify any recognized environmental conditions (RECs), as defined by ASTM in its Standard Practice for Environmental Site Assessments (E 1527-13), on the subject property. To perform the service, Sigma compiled a site history, reviewed available regulatory documents, reviewed area geology and hydrogeology and conducted limited site observations between October 1 and October 22, 2015.

RECs, as defined by ASTM in its E1527-13 Standard Practice for Environmental Site Assessments (All Appropriate Inquiry), include the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: 1) due to any release to the environment; 2) under conditions indicative of a release to the environment; or 3) under conditions that pose a material threat of a future release to the environment. The term includes hazardous substances and petroleum products even under conditions in compliance with the law. This term is not intended to include de minimis conditions that do not generally present a material risk to human health or the environment and would not be the subject of an enforcement action if brought to the attention of the appropriate authorities. Conditions determined to be de minimis are not recognized environmental conditions.

The subject property is comprised of two parcels, which together make up an approximate 0.9-acre parcel, located at 1316/1318 East Washington Avenue in the City of Madison, Dane County, Wisconsin. At the time of the assessment, the 1326 East Washington Avenue subject property parcel was developed with a 20,117-square foot two-story building initially constructed in 1926 with multiple additions through 1961 and the 1316/1318 East Washington Avenue subject property parcel was developed with a 3,778-square foot one-story building initially constructed in 1926 with multiple additions through 1955. The remaining subject property area was generally completed with an asphalt parking lot. The subject property has been occupied by Messner, Inc. a janitorial and restaurant equipment and supply distributor since the 1960s. Prior to the 1960s, the subject property was occupied by a Refrigeration Equipment Company, a radio repair shop, and a Coca Cola bottling operation.

During the site reconnaissance, Sigma observed an AST, which likely contained fuel oil, located in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes were limited; however, a fuel oil odor was observed in that basement area and the associated stairway. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property via soil, groundwater and/or vapor migration.

A search of available environmental records was conducted by Environmental Data Resources Inc. (EDR). EDR identified the 1326 Washington Avenue subject property parcel on the leaking underground storage tank (LUST), underground storage tank (UST), Restriction at Closeout Sites (AUL), Closed Remediation Sites (CRS) databases. The

1316/1318 Washington Avenue subject property parcel was not identified on the environmental databases searched by EDR.

The LUST, UST, AUL, and CRS database listings are associated with petroleum-related release identified during the removal of a 1,000-gallon leaded gasoline UST in 1990 (BRRTS #03-13-000521). A remedial excavation of the impacted soils surrounding the former UST was conducted in 1995 and the DNR granted case closure for the release in 1999. Residual soil and groundwater impacts were documented at the time of case closure therefore the property was included on the geographic information system (GIS) registry of closed remediation sites and a groundwater use restriction was recorded for the parcel. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate management in accordance with applicable state and federal regulations. In addition, although a vapor intrusion risk to the current structure does not appear to be present given the site conditions, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated.

In addition, the EDR search identify several properties in the vicinity of the subject property on one or more of the environmental databases researched by EDR. Based on the relative distance between the reported sites and the subject property and/or the reported site status, the identified sites are not expected to impact the subject property. However, review of the Sanborn maps indicates that coal piles were historically located on the immediately adjacent property located north/northwest of the subject property. Given the close proximity and historic exterior storage, the coal piles historically located adjacent to the subject property have the potential to negatively impact the subject property.

The Phase I Environmental Site Assessment has been performed in conformance with the scope and limitations of ASTM Practice E1527-13. This assessment has not revealed evidence of recognized environmental conditions in connection with the subject property, except for the following:

- Sigma observed an AST, which likely contained fuel oil, in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes were limited; however, a fuel oil odor was observed in that basement area and the associated stairway. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property via soil, groundwater and/or vapor migration.

In addition, the following controlled REC was identified:

- A LUST release (BRRTS # 03-13-000521) associated with a historic leaded gasoline UST was identified at the 1326 Washington Avenue subject property parcel during the UST removal activities in 1990. Remedial excavation activities were conducted and the DNR granted case closure in 1999 contingent on filing a GIS registry and groundwater use restriction due to the residual soil and groundwater impacts documented at the time of closure. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate

management in accordance with applicable state and federal regulations. In addition, although a vapor intrusion risk to the current structure does not appear to be present given the existing site conditions, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated.

A REC associated with an off-site property was also identified during the preparation of the Phase I ESA. Please note, with respect to the potential off-site issue, the State of Wisconsin created the "property affected by off-site discharges" exemption, s. 292.13, Wisconsin Statutes, which limits the responsibilities of property owners when soil or groundwater contamination is confirmed to be migrating onto his or her property from off site. Property owners will not be responsible for taking appropriate environmental response actions if certain conditions are met. The REC is as follows:

- Coal piles were identified to have historically been on the property located immediately north/northwest adjacent to the subject property on the Sanborn maps. Given the close proximity and historic exterior storage, the coal piles historically located adjacent to the subject property have the potential to negatively impact the subject property.

With the exception of time constraints there were no limiting conditions to this report. Where observations were limited, Sigma renders no opinion as to the presence of hazardous substances, wastes or contamination potential.

The conclusions included in this assessment report should not be construed as legal advice. This practice is intended to reflect a commercially prudent and reasonable inquiry as no environmental site assessment can wholly eliminate uncertainty regarding the potential for recognized environmental conditions in connection with the subject property. Performance of the ASTM E1527-13 practice is intended to reduce, but not eliminate that uncertainty. Finally, even a finding of no recognized environmental conditions is not a warranty or guarantee that the property is free from contamination.

## 1.0 INTRODUCTION

### 1.1 Purpose

Ms. Laura Hicklin, on behalf of Dane County, retained The Sigma Group, Inc. (Sigma) of Milwaukee, Wisconsin to conduct an AAI Phase I Environmental Site Assessment (ESA) of property located at 1316/1318 and 1326 East Washington Avenue in Madison, Wisconsin (subject property). The purpose of the environmental assessment was to identify any recognized environmental conditions (RECs), as defined by ASTM in its Standard Practice for Environmental Site Assessments (E 1527-13), on the subject property. To perform the service, Sigma compiled a site history, reviewed available regulatory documents, reviewed area geology and hydrogeology and conducted limited site observations between October 1 and October 22, 2015. The findings of the assessment are summarized in this report.

The ASTM Standard E 1527-13 defines a REC as:

“The presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: 1) due to any release to the environment; 2) under conditions indicative of a release to the environment; or 3) under conditions that pose a material threat of a future release to the environment.” The term includes hazardous substances or petroleum products even under conditions in compliance with laws. The term is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of enforcement action if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not recognized environmental conditions.

The ASTM Standard E 1527-13 defines a controlled recognized environmental condition (CREC) as:

“A recognized environmental condition resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority (for example, as evidenced by the issuance of a no further action letter or equivalent, or meeting risk-based criteria established by regulatory authority), with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

The ASTM Standard E 1527-13 defines a historical recognized environmental condition (HREC) as:

“A past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls (for example, property use restrictions, activity and use limitations, institutional controls, or engineering controls).

## **1.2 Methodology**

Research of the property evaluated its historical use and examined the generation, treatment, storage, and disposal of hazardous chemicals, materials, substances, and wastes for potential sources of environmental concern. Research included a review of reasonably ascertainable records, interviews of knowledgeable local and state officials, and a site reconnaissance.

## **1.3 Significant Assumptions**

This report was prepared under constraints of cost, time, and scope, and reflects a limited assessment and evaluation rather than a total, complete, or extensive assessment and evaluation. Sigma's review was performed using the degree of care and skill ordinarily exercised under similar localities. No other warranty or guarantee, expressed or implied, is made as to the conclusions and recommendations included in this report.

The findings of this report, to the best of our knowledge, are valid as of the date of this review. However, changes in the conditions of a property can occur with the passage of time, whether due to natural processes or the works of man on this or adjacent properties. In addition, changes in applicable or appropriate standards may occur, whether they result from legislation, from the broadening of knowledge, or from other reasons. Accordingly, the findings of this report may be invalidated wholly or partially by changes outside our control.

Specified information contained in this report has been obtained from publicly available sources and other secondary sources of information produced by entities other than Sigma. Although care has been taken by Sigma in compiling the information, Sigma disclaims any and all liability for any errors, omissions, or inaccuracies of the third parties in such information and data, and for any consequences arising there from.

The conclusions contained in this report are based upon information provided by the client, a limited on-site inspection, and our investigation of available public records and should not be considered legal advice. Latent conditions at the site are not known. The review did not include sampling of rock, soil, groundwater, surface water, air or all on-site substances or materials. It is, therefore, not possible to confirm the presence or absence of toxic or hazardous substances, wastes or materials in the environments associated with the site. Sigma makes no warranties, expressed or implied, as to marketability or fitness of the property for a particular purpose.

## **1.4 Limitations and Exceptions**

Conclusions in this report represent our professional judgment and are limited to those site conditions and potential impacts from neighboring properties that could be discovered under the scope of services authorized by the proposal. The conclusions presented were based on an inspection of the property and a review of relevant records.

Sigma attempted to review all reasonably ascertainable, practically reviewable information regarding the history of the subject property; however, data gaps were encountered during preparation of this report. It is Sigma's opinion that the data gaps do not significantly affect, as defined by ASTM E1527-13, the ability to identify recognized environmental conditions in connection with the subject property.

Additionally, Sigma attempted to review all pertinent regulatory agency files for the subject property and adjoining properties; however, time constraints limited the regulatory file review. Based on a review of on-line, historical and municipal records, user and owner provided information and regulatory information provided by Environmental Data Resources (EDR, Milford, Connecticut) it is Sigma's opinion that the regulatory file review constraints do not significantly affect, as defined by ASTM E1527-13, the ability to identify recognized environmental conditions in connection with the subject property.

The conclusions and interpretations of this report do not collectively define all the risks associated with purchase or other use of the property. Should you, our client, or other interested parties, wish to further reduce the risks associated with undiscovered or unquantified environmental impacts, you may want to consider having additional assessment activities performed such as collecting and analyzing soil, groundwater, or other appropriate samples for compounds of relevant and particular concern, or complete other investigation activities as appropriate.

This report does not address or include regulatory compliance issues, cultural or historic resources, industrial hygiene, health and safety issues, ecological resources, endangered species, mold or indoor air quality. Further this report does not purport to identify or quantify asbestos, radon, lead-based paint, lead in drinking water, extremely low frequency radiation (ELF) or electromagnetic frequency radiation (EMF) on-site.

### **1.5 Special Terms and Conditions**

No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopy, recording, or any information storage and retrieval system, without permission in writing from The Sigma Group, Inc.

### **1.6 User Reliance**

This document contains proprietary and confidential information, which is the sole and exclusive property of The Sigma Group, Inc. and Dane County. This document may not be used or duplicated by those other than Dane County in any manner without the express written consent of The Sigma Group, Inc. and Dane County. The environmental conditions of an operating facility change continuously. This report documents the status of environmental issues as of the date of the report. We caution reliance on this information as time progresses without an appropriate review and update to this environmental assessment.

## **2.0 SITE DESCRIPTION**

### **2.1 Location, Legal Description, and General Characteristics**

The subject property is comprised of two parcels which together make up an approximate 0.90-acre parcel, located at 1316/1318 and 1326 East Washington Avenue in the City of Madison, Dane County, Wisconsin. A legal description and GIS image of the subject property, obtained from Dane County, is included in **Appendix A** of this report. The subject property location is presented on **Figures 1 and 2**.

## **2.2 Current Use of the Property**

At the time of this assessment, the property was primarily unoccupied. Most recently the property and associated buildings were occupied by Messner, Inc., a janitorial and restaurant equipment and supply manufacturer.

## **2.3 Site and Vicinity Characteristics**

The subject property is located on the northwest side East Washington Avenue, approximately 150 northeast of South Baldwin Street, within an area of Madison that is mixed with residential and commercial interests. The City of Madison has included the subject property within an area that is zoned Traditional Employment District (TE, 1326 parcel) and Traditional Residential-Varied District 1 (TR-V1, 1316/1318 parcel).

## **2.4 Descriptions of Structures, Roads, and Other Improvements on the Site**

At the time of this assessment, the 1326 East Washington Avenue subject property parcel was developed with a 20,117-square foot two-story building initially constructed in 1926 with multiple additions through 1961 and the 1316/1318 East Washington Avenue subject property parcel was developed with a 3,778-square foot one-story building initially constructed in 1926 with additions through 1955. The remaining subject property area was generally completed with an asphalt parking lot.

Utilities provided to the subject property include gas, electric, communications, water, and sewer.

## **2.5 Current Uses of the Adjoining Properties**

At the time of this assessment, adjoining properties included a restaurant north/northeast of the subject property, East Washington Avenue then ShopBop (office for a women's clothing retailer) to the east/southeast of the subject property, residences to the south/southwest of the subject property, and a daycare/preschool to the west/northwest of the subject property. A Site Plan and Area Map are included as **Figure 2** of this report.

## **3.0 USER-PROVIDED INFORMATION**

### **3.1 Title Records**

Sigma attempted to review available current land title records for environmental cleanup liens and other activity and use limitations, such as engineering controls and institutional controls for the subject property parcels. Deed information was not available at the printing of this report. Although deed information was not available for review for the subject property, based on the information that was available for review, it is Sigma's opinion that the data gap does not significantly affect, as defined by ASTM E1527-13, the ability to identify recognized environmental conditions in connection with the property.

### **3.2 Environmental Liens or Activity and Use Limitations**

In accordance with the ASTM standard, Sigma requested information from Dane County Land & Water Department, via Ms. Laura Hicklin, regarding known environmental liens on the subject property. Ms. Hicklin reported that a groundwater use restriction is currently recorded on the 1326 Washington Avenue subject property parcel. The groundwater use restriction is associated with residual soil and groundwater impacts which were reported at the time of the leaking underground storage tank (LUST #03-13-000521) closure in 1999. Additional information regarding the LUST release and associated groundwater use



restriction are presented in Section 4.1.8 of this report. A copy of the completed user questionnaire is included as **Appendix B**.

### **3.3 Specialized Knowledge**

In accordance with the ASTM standard, Sigma requested information from Ms. Hicklin regarding information about previous ownership or uses of the property that may be material to identifying recognized environmental conditions. Ms. Hicklin reported no knowledge regarding previous uses of the property. A copy of the completed user questionnaire is included as **Appendix B**.

### **3.4 Valuation Reduction of Environmental Issues**

In accordance with the ASTM standard, Sigma requested information from Ms. Hicklin regarding value reduction of the subject property to comparable properties. Ms. Hicklin reported no value reduction. A copy of the completed user questionnaire is included as **Appendix B**.

### **3.5 Owner, Property Manager, and Occupant Information**

Sigma submitted an environmental screening questionnaire to Mr. Kurt Messner, president of 1326 Holdings, Inc., owner of the 1326 East Washington Avenue parcel and manager of the 1316/1318 East Washington Avenue parcel. Mr. Messner indicated that the subject property was recently occupied by a janitorial equipment and supply distributor and prior to that was occupied by a restaurant equipment and supply distributor. In addition, a service department which repaired janitorial and restaurant equipment was located on the 1316/1318 East Washington Avenue subject property parcel. Mr. Messner also indicted a variety of janitorial and cleaning products (which may have been considered hazardous or corrosive), ranging from pint size to 55-gallon drums were stored and sold at the subject property. All cleaning products were stored inside on the first floor of the 1326 East Washington Avenue building and no violations related to the storage of cleaning/janitorial products were received.

In addition, Mr. Messner indicated that a gasoline underground storage tank (UST) was removed from the 1326 East Washington Avenue subject property parcel (northeast property line) in the 1990's. BT<sup>2</sup> conducted a remediation of the UST release and the Wisconsin Department of Natural Resources (WDNR) granted case closure. Additional information related to the former UST is included in Section 4.1.8 and 4.1.9 of this report. A copy of the completed owner questionnaire is included in **Appendix B**.

### **3.6 Reasons for Performing Phase I**

The purpose of this report is to qualify for the innocent landowner defense to CERCLA liability and to assist the user in making business decisions in regard to the subject property.

## 4.0 RECORDS REVIEW

### 4.1 Standard Environmental Record Sources

Sigma utilized the services of Environmental Data Resources (EDR) to provide regulatory data, meeting the ASTM Standard E 1527-13, from Federal and State agencies. The federal regulatory data includes the National Priorities List (NPL), the Resource Conservation and Recovery Act (RCRA) notifiers, the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) database, and the Emergency Response Notification System (ERNS) database. The state data includes the Leaking Underground Storage Tanks (LUST) list, the Registered Underground Storage Tank list, and the State Solid Waste Facilities/Landfill Sites list. During review of the data provided by EDR, Sigma focused on sites within a 1.0 mile radius or less of the property. The EDR summary report is included as **Appendix C** of this Phase I Environmental Site Assessment report. The findings of select inventories are discussed below.

#### 4.1.1 National Priority List

The EPA publishes a National Priorities List (NPL) of sites included in the "Superfund" program as authorized by CERCLA and the Superfund Amendments and Reauthorization Act (SARA). EDR did not identify the subject property as a "Proposed" Superfund, Superfund or "Delisted" Superfund site, nor were Superfund sites identified within a 1.0-mile radius of the subject property.

#### 4.1.2 Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS)

The CERCLIS list is a compilation of known or suspected uncontrolled or abandoned hazardous waste sites that are under investigation or have been investigated by the EPA to determine if the site(s) should be remediated under the Superfund program. EDR did not identify the subject property as a CERCLIS or CERCLIS - No Further Remedial Action Planned (NFRAP) site; however, one CERCLIS site was identified within a 0.50-mile radius of the subject property. Based on the relative distance between the reported site and the subject property, site status (No further remedial action planned), and the perceived groundwater flow direction, the CERCLIS site is not expected to impact the subject property.

#### 4.1.3 Resource Conservation and Recovery Act Corrective Action Report (CORRACTS)

The United States EPA maintains the CORRACTS database. The database includes RCRA facilities, which are undergoing corrective action due to a release of hazardous waste or constituents into the environment. EDR did not identify the subject property as a CORRACTS site, nor were CORRACTS sites identified within a 1.0-mile radius of the subject property.

#### 4.1.4 Resource Conservation and Recovery Act (RCRA)

RCRA includes selective information compiled by the EPA on sites, which generate, store, transport, treat, and/or dispose of hazardous waste. EDR did not identify the subject property as a RCRA hazardous waste generator; however, four RCRA generators were identified within a 0.25-mile radius of the subject property. Based on the relative distance between the reported sites and the subject property and the site status (no violations), the RCRA sites are not expected to impact the subject property.

EDR did not identify the subject property as a RCRA-Treatment, storage, or disposal facility (TSDF), nor were RCRA-TSDFs identified within a 0.50-mile radius of the subject property.

#### 4.1.5 Emergency Response Notification System (ERNS)

The ERNS list contains information on reported releases of oil and hazardous substances. EDR did not identify the subject property as an ERNS site.

#### 4.1.6 State Hazardous Waste (SHWS)

The state hazardous waste site record, the Hazard Ranking List, is compiled by the WDNR and is generally the state's equivalent to the CERCLIS list. EDR did not identify the subject property as a state hazardous waste site, nor were SHWS sites identified within a 1.0-mile radius of the subject property.

#### 4.1.7 State Landfill

The state landfill list, the Registry of Waste Disposal Sites, is compiled by the WDNR and includes an inventory of solid waste disposal facilities or landfills. EDR did not identify the subject property as a state landfill or waste disposal site, nor were state landfill or waste disposal sites identified within a 0.50-mile radius of the subject property.

#### 4.1.8 Leaking Underground Storage Tank (LUST)

The LUST list is compiled by the WDNR and contains an inventory of reported LUST incidents. EDR identified the 1326 Washington Avenue subject property parcel as a LUST site. In addition on the Deed Restriction and Close Out (AUL) and Closed Remediation Sites (CRS) databases for the closure activities related to the LUST release. Review of the LUST listing (BRRTS #03-13-000521) indicates that a petroleum-related to soil and groundwater at the property was identified during the removal of a 1,000-gallon leaded gasoline UST formerly located along the northeast property boundary in 1990. A remedial excavation of the impacted soils surrounding the former UST was conducted in 1995 and the WDNR granted case closure for the release in 1999. Residual soil and groundwater impacts were reported at the 1326 Washington Avenue subject property parcel therefore the property was included on the geographic information system (GIS) registry of closed remediation sites and a groundwater use restriction was recorded for the parcel. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate management in accordance with applicable state and federal regulations.

In addition, 58 LUST sites were identified within a 0.50-mile radius of the subject property. Based on the relative distance between the reported site and the subject property and the closed status, the LUST sites are not expected to impact the subject property.

#### 4.1.9 Underground Storage Tanks (USTs)

The list of registered USTs is compiled by the State of Wisconsin and contains information on the site name, location, and number of tanks. EDR identified the 1326 Washington Avenue subject property parcel as a registered UST site. Review of the UST listing indicates that a 1,000-gallon leaded gasoline UST was closed and removed from the parcel in 1990. As indicated in Section 4.1.8, a LUST release was identified at the time of the UST removal. The LUST release received case closure in 1999 contingent upon filling GIS registry and groundwater use restriction to address the residual soil and groundwater impacts remaining at the time of closure. Given the status, the LUST release is considered a controlled REC.

In addition 25 registered UST sites were identified within a 0.25-mile radius of the subject property. Based on the relative distance between the reported site and the subject property and the status, the UST sites are not expected to impact the subject property.

## **4.2 Additional Environmental Record Sources**

Sigma utilized EDR's services to provide regulatory data, exceeding the ASTM Standard E 1527-13, from Federal and State agencies. During review of the data provided by EDR, Sigma focused on sites within a 1.0 mile radius or less of the property.

### **4.2.1 Wisconsin Environmental Repair Program (ERP)**

The ERP program database is compiled by the WDNR and generally includes non-UST related spills. EDR did not identify the subject property as an ERP site; however, 32 ERP sites were identified within a 1-mile radius of the subject property. Based on the relative distance between the reported sites and the subject property and/or the closed status, the ERP sites are not expected to impact the subject property.

### **4.2.2 Lists of Registered Aboveground Storage Tanks**

The list of registered ASTs is compiled by the State of Wisconsin and contains information on the site name, location, and number of tanks. EDR did not identify the subject property as having a registered AST.

### **4.2.3 Local Land Records**

The Dane County Assessor's office was used to verify current recorded ownership information on the subject property. According to the City of Madison Sally Holdings, LLC. owns the 1316/1318 East Washington Avenue parcel and 1326 Holdings, LLC. owns the 1326 East Washington Avenue parcel.

### **4.2.4 Emergency Release Reports**

The WDNR spills inventory was checked by EDR. EDR did not identify the subject property in the Spills database.

### **4.2.5 RCRA Administration Action Tracking System (RAATS)**

RAATS contains records based on the enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. EDR did not identify the subject property in the RAATS database.

### **4.2.6 Hazardous Materials Incident Report System (HMIRS)**

HMIRS contains a log of hazardous material spill incidents, which have been reported to the United States Department of Transportation. EDR did not identify the subject property in the HMIRS database.

### **4.2.7 PCB Activity Database (PADS)**

PADS identifies generators, transporters, commercial storers and/or brokers, and disposers of polychlorinated biphenyls (PCBs) who are required to notify the EPA of such activities. EDR did not identify the subject property in the PADS database.

### **4.2.8 Facility Index System (FINDS)**

The FINDS list contains facility information related to various environmental registrations and regulatory submissions performed by facilities including obtaining a hazardous waste

generator number, annual reporting, etc. The subject property was not identified in the FINDS database.

#### 4.2.9 Toxic Release Inventory System (TRIS)

TRIS identifies facilities, which release toxic chemicals to the air, water, and land in “reportable quantities” under Title III of SARA. EDR did not identify the subject property in the TRIS database.

#### 4.2.10 Toxic Substance Control Act (TSCA)

TSCA identifies manufacturers or importers of chemical substances included on the TSCA Chemical Substance Inventory list. Reported sites of import may not be the site where the TSCA substance is actually manufactured, stored or processed. EDR did not identify the subject property in the TSCA database.

#### 4.2.11 Historical Auto Stations

The EDR Historical Auto Stations list includes listings of potential gas station/filling station/service station establishments. EDR did not identify the subject property as a historical auto station site.

#### 4.2.12 Tier 2 Facility Listings (Tier 2)

The Tier 2 database includes listings of facilities which store or manufacture hazardous materials that submit an annual chemical inventory report. The subject property was not identified in the Tier 2 database.

#### 4.2.13 Orphan Summary

Orphan sites are sites with incomplete addresses that could not be plotted on the EDR Radius Map. EDR reported three orphan sites in its Radius Map report. The orphan sites had some address information available. Based on a review of the available address information, the sites are not located at the subject property and are not expected to impact the subject property.

#### 4.2.14 Tier I Vapor Encroachment Screen

Sigma conducted a Tier I Vapor Encroachment Screen (VES) in general conformance with the *ASTM Standard 2600-10, Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions, dated June 1, 2010*.

The purpose of the Tier I VES is to conduct an initial screening to identify a potential vapor encroachment condition (VEC) in the area of concern (AOC). A VEC is defined as the presence or likely presence of chemical(s) of concern vapors in the subsurface of the subject property, caused by the release of vapors from contaminated soil or groundwater either on or near the subject property.

The Tier I VES is based on a review of regulatory databases, including but not limited to Federal, State, local, and tribal government records, as reported in the regulatory database report and based upon information obtained regarding historic and current use of the property. In addition, geographic location, distance, topography and hydrogeology, groundwater depth and flow information, local geology, and preferential migration pathways are reviewed and evaluated relative to the VES. Additionally, the Tier I VES was completed in general conformance with “Addressing Vapor Intrusion at Remediation & Redevelopment Sites Wisconsin” (RR-800) guidance published by the WDNR.

Given the current conditions of the property, potential VECs were not identified with the at the subject property. However, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated. It should be noted that the Tier I Vapor Encroachment Screen is not a formal assessment of indoor air quality and did not include testing or sampling.

### **4.3 Physical Setting Sources**

#### **4.3.1 United States Geologic Survey Topographic Map**

The subject property, which is located at an elevation of approximately 857 feet above mean sea level (MSL), is characterized by a topography that is generally flat. The topography in the general vicinity of the subject property is also flat.

A United States Geological Survey (USGS) 7.5 Minute topographic map, designated as the Madison East, Wisconsin Quadrangle, was reviewed as part of this assessment. The map, completed in 1983, depicts the subject property as vacant but within an area of Madison where only landmark buildings are depicted (**Figure 1**).

#### **4.3.2 Regional Geology and Hydrogeology**

Sigma reviewed geologic information provided by EDR, which obtained information concerning the geology and hydrogeology beneath the subject property from the United States Department of Agriculture's (USDA) Soil Conservation Service (SCS).

The dominant soil in the area of the subject property is considered to be Colwood silt loam. Colwood silt loam is included in the drained/undrained hydrology class of soils that can be drained and are classified. Specifically, the Colwood silt loam is described as poorly drained and is considered hydric.

### **4.4 Historical Use Information on the Subject Property**

#### **4.4.1 Occupancy History**

Originally a list of residents, city directories provide the name of resident or business and the type of business (if unclear) in a business index, a resident index and a street index. Available city directories, dating from 1958 to 2013, were reviewed in approximately five-year increments by Environmental Data Resources (EDR) for the subject property. Review of the city directory listings indicates that the following occupants of the subject property: Refrigeration Equipment Company (1958, 1326 parcel), Twentieth Century Wholesale-air conditioning (1962-1977, 1326 parcel), Messner-refrigerators/Messner, Inc. (1962-2013, 1326 parcel), Kidder's Radio Shop (1958-1967, 1318 parcel), Commonwealth credit union (1972, 1318 parcel), and Messner Inc-service department (1977-1982, 1318 parcel). A copy of the city directory report is included in **Appendix D**.

#### **4.4.2 Aerial Photographs**

Sigma reviewed aerial photographs for the subject property. Available photographs, obtained from EDR, were dated 1937, 1949, 1955, 1962, 1968, 1976, 1980, 1986, 1993, 2000, 2005, 2006, 2008 and 2010. Based on the scale and general nature of the historical photographs, only major development or construction projects could be confirmed.

The 1937 photograph depicts the subject property as developed with two structures, primarily located on the south/southwest portion of the property. Building expansion of the northernmost building appears to have occurred over time. The 1955 through 2010 photographs generally depicts the subject property consistent with the configuration, with one small structure located on the 1316/1318 Washington Avenue parcel and a large structure located on the 1326 Washington Avenue parcel. Copies of the photographs are included in **Appendix E**.

#### 4.4.3 Fire Insurance Maps

Sigma contacted EDR for available Sanborn Fire Insurance maps depicting the subject property. Developed in the late 1800's, the maps were used until approximately the mid-1900s. EDR reported that Sanborn map coverage in the area of the subject property was available in 1892, 1898, 1902, 1908, 1942, 1950, and 1986.

Review of the Sanborn maps indicates that the subject property was vacant in 1892 through 1908. The 1942 through 1982 map depicts the 1326 Washington Avenue parcel to be developed with a large building which was occupied by Coca-Cola Bottling Company (1942) and a refrigeration equipment sales business (1950) and a small private garage while the 1316/1318 Washington Avenue parcel was developed with a building which was utilized for radio repair (1942 and 1950). A copy of the Sanborn Map report is presented in **Appendix F**.

### **4.5 Historical Use Information on Adjoining Properties**

#### 4.5.1 Occupancy History

Originally a list of residents, city directories provide the name of resident or business and the type of business (if unclear) in a business index, a resident index and a street index. Available city directories, dating from 1958 to 2013, were reviewed in approximately five-year increments by Environmental Data Resources (EDR) for the adjoining properties. Occupants of East Washington Avenue and East Mifflin Street in the vicinity of the subject property primarily included residences, a general contractor, chemical and surgical equipment storage, restaurant, a cab company, and a school/community center. A copy of the city directory report is included in **Appendix D**.

#### 4.5.2 Aerial Photographs

Sigma reviewed aerial photographs for the adjoining properties. Available photographs, obtained from EDR, were dated 1937, 1949, 1955, 1962, 1968, 1976, 1980, 1986, 1993, 2000, 2005, 2006, 2008 and 2010. Based on the scale and general nature of the historical photographs, only major development or construction projects could be confirmed.

Review of the aerial photographs indicates that the subject property was historically located in an area of Madison that was primarily comprised of industrial concerns to the north, south, and east and generally residential and/or commercial concerns to the west. Although the building surrounding the subject property generally remained consistent in the 1937 through 2010 photographs, based on the recent site reconnaissance, the industrial property uses have generally been replaced by commercial uses. Copies of the photographs are included in **Appendix E**.

#### 4.5.3 Fire Insurance Maps

Sigma contacted EDR for available Sanborn Fire Insurance maps depicting the adjoining properties. Developed in the late 1800's, the maps were used until approximately the mid-1900s. EDR reported that Sanborn map coverage in the area of the subject property was available in 1892, 1898, 1902, 1908, 1942, 1950, and 1986.

Review of the Sanborn maps indicates that the subject property was historically located in an area of Madison that was primarily developed with industrial concerns to the north, south, and east of the subject property and residential concerns to the west. Specifically a lumber yard, motor parts storage with coal storage, a construction contractor, and/or carriage warehouse is depicted to the north of the subject property and Gisholt Machine Company is depicted to the north and east on the 1892 through 1986 map. Given the close proximity and the exterior storage, the coal piles depicted on the 1942 and 1950 map on the north adjacent property have the potential to have negatively impacted the subject property. A copy of the Sanborn Map report is presented in **Appendix F**.

## 5.0 SITE RECONNAISSANCE

### 5.1 Methodology and Limiting Conditions

On October 15, 2015, Sigma conducted a limited inspection of the subject property to examine the site for visual signs of contamination. Observations of the subject property were made of readily accessible and visually apparent areas. Where observations were limited, Sigma renders no opinion as to the presence of hazardous substances, wastes or contamination potential. Conditions at the time of the visit included sunny skies with temperatures in the 60s (°F).

At the time of the reconnaissance, the 1326 East Washington Avenue subject property parcel was developed with a 20,117-square foot two-story building initially constructed in 1926 with multiple additions through 1961 and the 1316/1318 East Washington Avenue subject property parcel was developed with a 3,778-square foot one-story building initially constructed in 1926 with additions through 1955. Each of the buildings were vacant. Each building was constructed with a partial basement, which was generally inaccessible due to the accumulation of approximately 3 to 6 inches of water on the floor of the basement. Photographs of the subject property are included in **Appendix G**.

### 5.2 Observations

5.2.1 Hazardous Substances and Petroleum Products in Connection with Identified Uses  
Not observed.

#### 5.2.2 Storage Tanks and Drums

An approximately 550-gallon fuel oil AST was observed in the basement of the 1326 Washington Avenue building. Observations of the AST were limited due to access issues from the water accumulation on the basement floor; however, an oil-related odor was observed in the stairway and basement area. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property



### 5.2.3 Odors, Pools of Liquids, Stained Soil or Pavement, Stressed Vegetation

As indicated above, an oil odor, which is likely associated with the fuel oil AST, was observed in the stairway and basement area of the 1326 Washington Avenue building.

### 5.2.4 Hazardous Substances and Petroleum Products Not Necessarily Used in Connection with Identified Uses

Not observed.

### 5.2.5 Unidentified Substance Containers

Not observed.

### 5.2.6 Polychlorinated Biphenyls (PCBs)

A pole-mounted transformer was observed at the subject property. Staining was not observed in the area beneath the transformer.

### 5.2.7 Wastewater Pits, Ponds or Lagoons

Pits, ponds or lagoons associated with wastewater treatment were not observed.

### 5.2.8 Wastewater

Not observed.

### 5.2.9 Solid Waste

Not observed.

### 5.2.10 Heating

The property utilizes natural gas as a heat source.

### 5.2.11 Emergency Generators

Not observed.

### 5.2.12 Interior Stains or Corrosion

Not applicable.

### 5.2.13 Drains or Sumps

Floor drains were observed throughout the 1326 Washington Avenue building. Staining was not observed in the area surrounding the floor drains. In addition, a sump is located in the basement of the 1326 Washington Avenue building. The sump appeared to be non-operational and was underwater.

Additionally, from within the boundaries of the subject property, Sigma examined the adjoining properties for conditions that might indicate recognizable environmental conditions (RECs). RECs were not identified on the adjoining properties.

## **6.0 INTERVIEWS**

### **6.1 Interviews with Site Owners**

See Section 3.5 of this report.

### **6.2 Interviews with Local Government Officials**

#### **6.2.1 City of Madison Assessors Department**

Representatives from the City of Madison assessors department with intimate historical knowledge of the subject property were not identified. In lieu of interviews, on October 15, 2015, Sigma reviewed available assessor records for the subject property at the City of Madison Assessor's website and at the City of Madison Municipal building. A review of assessor records indicated that the 1326 East Washington Avenue subject property parcel is improved with a 20,117-square foot two-story building initially constructed in 1926 with multiple additions through 1961 and the 1316/1318 East Washington Avenue subject property parcel was improved with a 3,778-square foot one-story building initially constructed in 1926 with additions through 1955. Records of environmental significance were not found; however a historic assessment indicated that the 1326 Washington Avenue building was historically heated with coal.

#### **6.2.2 Village of Madison Building Inspection Department**

Representatives from the City of Madison building inspection department with intimate historical knowledge of the subject property were not identified. In lieu of interviews, on October 15, 2015, Sigma reviewed available building inspection records for the subject property at the Madison Municipal Building. Records of environmental significance were not identified. Records of historical significance indicated that the 1326 Washington Avenue building was historically occupied as a Coca Cola Bottling facility from the 1920s to the 1950s, a Refrigeration Equipment Company in the 1950s, and Messner, Inc. in the 1960s. In addition, the 1316/1318 Washington Avenue building was occupied by Kiddler Radio shop in the 1930s and 1940s and Messner, Inc. in the 1960s.

## **7.0 FINDINGS**

The subject property is comprised of two parcels, which together make up an approximate 0.9-acre parcel, located at 1316/1318 East Washington Avenue in the City of Madison, Dane County, Wisconsin. At the time of the assessment, the 1326 East Washington Avenue subject property parcel was developed with a 20,117-square foot two-story building initially constructed in 1926 with multiple additions through 1961 and the 1316/1318 East Washington Avenue subject property parcel was developed with a 3,778-square foot one-story building initially constructed in 1926 with multiple additions through 1955. The remaining subject property area was generally completed with an asphalt parking lot. The subject property has been occupied by Messner, Inc. a janitorial and restaurant equipment and supply distributor since the 1960s. Prior to the 1960s, the subject property was occupied by a Refrigeration Equipment Company, a radio repair shop, and a Coca Cola bottling operation.

During the site reconnaissance, Sigma observed an AST, which likely contained fuel oil, located in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes

were limited; however, a fuel oil odor was observed in that basement area and the associated stairway.

A search of available environmental records was conducted by Environmental Data Resources Inc. (EDR). EDR identified the 1326 Washington Avenue subject property parcel on the leaking underground storage tank (LUST), underground storage tank (UST), Restriction at Closeout Sites (AUL), Closed Remediation Sites (CRS) databases. The 1316/1318 Washington Avenue subject property parcel was not identified on the environmental databases searched by EDR.

The LUST, UST, AUL, and CRS database listings are associated with petroleum-related release identified during the removal of a 1,000-gallon leaded gasoline UST in 1990 (BRRTS #03-13-000521). A remedial excavation of the impacted soils surrounding the former UST was conducted in 1995 and the DNR granted case closure for the release in 1999. Residual soil and groundwater impacts were documented at the time of case closure therefore the property was included on the geographic information system (GIS) registry of closed remediation sites and a groundwater use restriction was recorded for the parcel.

In addition, the EDR search identify several properties in the vicinity of the subject property on one or more of the environmental databases researched by EDR. Review of the Sanborn maps also indicates that coal piles were historically located on the immediately adjacent property located north/northwest of the subject property.

## **8.0 OPINIONS**

During the site reconnaissance, Sigma observed an AST, which likely contained fuel oil, located in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes were limited; however, a fuel oil odor was observed in that basement area and the associated stairway. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property via soil, groundwater and/or vapor migration.

A search of available environmental records was conducted by Environmental Data Resources Inc. (EDR). EDR identified the 1326 Washington Avenue subject property parcel on the leaking underground storage tank (LUST), underground storage tank (UST), Restriction at Closeout Sites (AUL), Closed Remediation Sites (CRS) databases. The 1316/1318 Washington Avenue subject property parcel was not identified on the environmental databases searched by EDR.

The LUST, UST, AUL, and CRS database listings are associated with petroleum-related release identified during the removal of a 1,000-gallon leaded gasoline UST in 1990 (BRRTS #03-13-000521). A remedial excavation of the impacted soils surrounding the former UST was conducted in 1995 and the DNR granted case closure for the release in 1999. Residual soil and groundwater impacts were documented at the time of case closure therefore the property was included on the geographic information system (GIS) registry of closed remediation sites and a groundwater use restriction was recorded for the parcel. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate management in accordance with applicable state and federal

regulations. In addition, although a vapor intrusion risk to the current structure does not appear to be present given the site conditions, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated.

In addition, the EDR search identify several properties in the vicinity of the subject property on one or more of the environmental databases researched by EDR. Based on the relative distance between the reported sites and the subject property and/or the reported site status, the identified sites are not expected to impact the subject property. However, review of the Sanborn maps indicates that coal piles were historically located on the immediately adjacent property located north/northwest of the subject property. Given the close proximity and historic exterior storage, the coal piles historically located adjacent to the subject property have the potential to negatively impact the subject property.

## 9.0 CONCLUSIONS

Sigma has performed an environmental site assessment, in conformance with the scope and limitations of ASTM Practice E 1527-13. Any exceptions to, or deletions from, this practice are described in Section 10 of this report. This assessment has not revealed evidence of recognized environmental conditions in connection with the subject property except for the following:

- Sigma observed an AST, which likely contained fuel oil, in the basement of the 1326 Washington Avenue subject property parcel. Due to water accumulation on the basement floor, observations of the AST for integrity purposes were limited; however, a fuel oil odor was observed in that basement area and the associated stairway. Given the odor, a release from the AST is possible, therefore the fuel oil AST has the potential to negatively impact the subject property via soil, groundwater and/or vapor migration.

In addition, the following controlled REC was identified at the subject property:

- A LUST release (BRRTS # 03-13-000521) associated with a historic leaded gasoline UST was identified at the 1326 Washington Avenue subject property parcel during the UST removal activities in 1990. Remedial excavation activities were conducted and the DNR granted case closure in 1999 contingent on filing a GIS registry and groundwater use restriction due to the residual soil and groundwater impacts documented at the time of closure. Given the closed status and the reported residual contamination, the LUST release is considered a controlled REC. If encountered, contaminated soil and groundwater will require appropriate management in accordance with applicable state and federal regulations. In addition, although a vapor intrusion risk to the current structure does not appear to be present given the existing site conditions, if building expansion or redevelopment is conducted in the future the potential for vapor intrusion from the residual impacts associated with the former LUST release should be reevaluated.

A REC associated with an off-site property was also identified during the preparation of the Phase I ESA. Please note, with respect to the potential off-site issue, the State of Wisconsin created the "property affected by off-site discharges" exemption, s. 292.13, Wisconsin Statutes, which limits the responsibilities of property owners when soil or

groundwater contamination is confirmed to be migrating onto his or her property from off site. Property owners will not be responsible for taking appropriate environmental response actions if certain conditions are met. The REC is as follows:

- Coal piles were identified to have historically been on the property located immediately north/northwest adjacent to the subject property on the Sanborn maps. Given the close proximity and historic exterior storage, the coal piles historically located adjacent to the subject property have the potential to negatively impact the subject property.

The conclusions included in this assessment report should not be construed as legal advice. This practice is intended to reflect a commercially prudent and reasonable inquiry. No environmental site assessment can wholly eliminate uncertainty regarding the potential for recognized environmental conditions in connection with the subject property. Performance of the ASTM E 1527-13 practice is intended to reduce, but not eliminate that uncertainty. Finally, even a finding of no recognized environmental conditions is not a warranty or guarantee that the property is free from contamination.

## 10.0 DEVIATIONS

There were no intentional deviations from or additions to standard practices identified in the ASTM standard for Phase 1 ESAs ASTM-1527-13 except as noted within this report.

## 11.0 REFERENCES

Published referenced sources relied upon in preparing this Phase I Environmental Site Assessment are as noted in the body of the report.

## 12.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

We declare that, to the best of our professional knowledge and belief, we meet the definition of environmental professional as defined in section 312.10 of 40 CFR 312 and we have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquires in general conformance with the standards and practices set forth in 40 CFR Part 312.



Mary E. Trotta  
Project Scientist



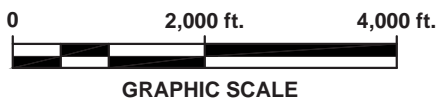
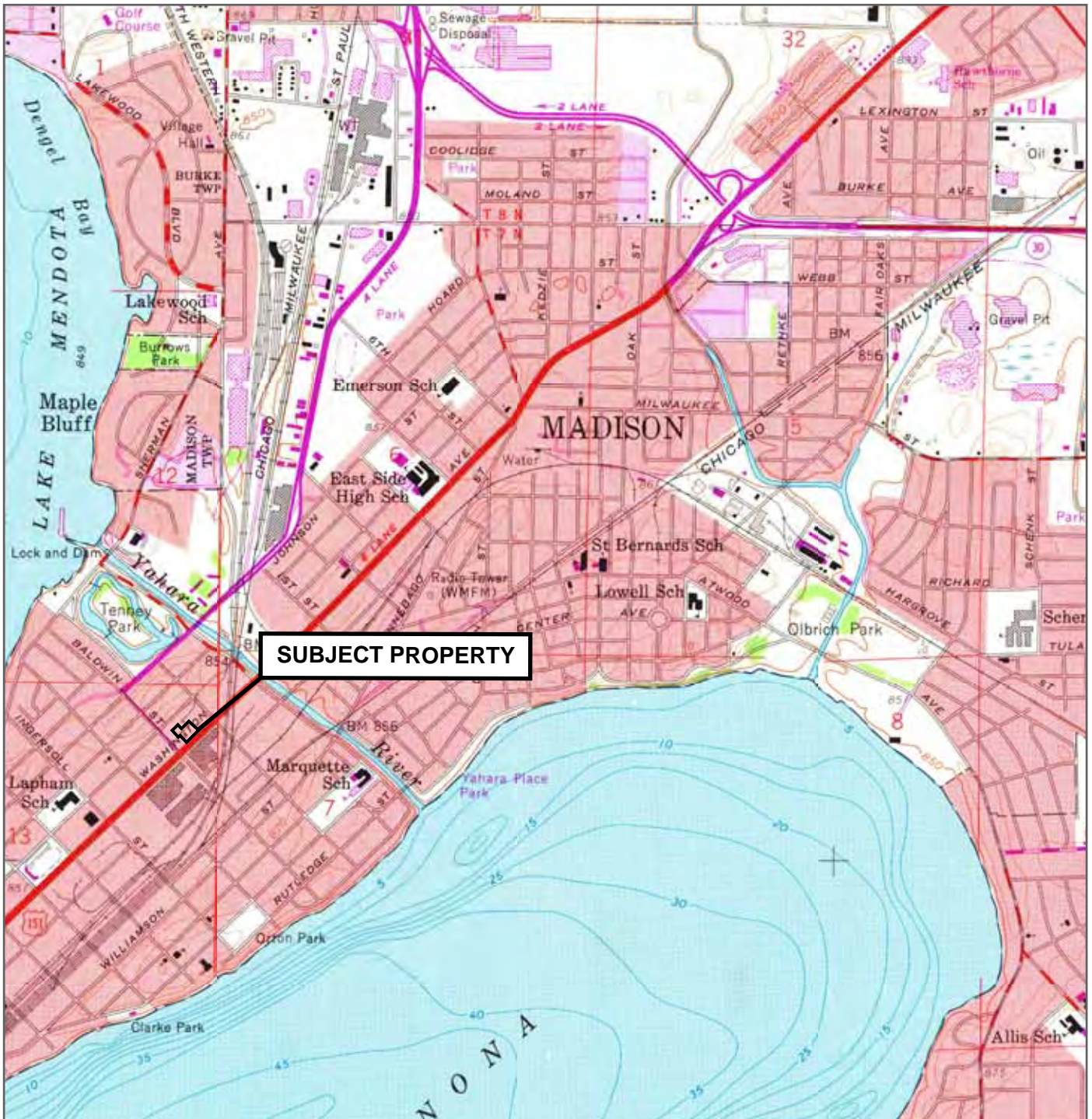
Randy E. Boness, P.G.  
Manager, Geosciences Group

## 13.0 QUALIFICATIONS OF ENVIRONMENTAL PROFESSIONALS

The Sigma Group, Inc. is a full-service environmental consulting and engineering firm located in Milwaukee, Wisconsin. Project team resumes are included in **Appendix H**.

## **FIGURES**

- 1 Site Location Map
- 2 Site Plan Map



Located in the NE 1/4 of the NE 1/4 of Section 13, Township 7N, Range 9E  
 USGS Madison East Quadrangle (1959, photorevised 1969 and 1974)  
 7.5 minute, 1 : 24,000 Topographic Map Collection





## **APPENDIX A**

### **Subject Property Description**

# Parcel Number - 251/0709-131-0211-0

Current

## Parcel Summary

Municipality Name	CITY OF MADISON
Parcel Description	ORIGINAL PLAT, AKA FARWELLS REPLAT, BLK ...
Owner Name	1326 HOLDINGS LLC
Primary Address	1326 E WASHINGTON AVE
Billing Address	7393 PAOLI RD VERONA WI 53593

## Current Year Assessment

Assessment Year	2015
Valuation Classification	G2
Assessment Acres	0.000
Land Value	\$228,000.00
Improved Value	\$605,400.00
Total Value	\$833,400.00

## Zoning Information

Contact your local city or village office for municipal zoning information.

## Parcel Map



## Current Year Taxes

Taxes:	\$19,221.14
Lottery Credit(-):	\$0.00
First Dollar Credit(-):	\$77.64
Specials(+):	\$0.00
Amount:	\$19,143.50

## Districts

Type	State Code	Description
REGULAR SCHOOL	3269	MADISON METRO SCHOOL DIST
TECHNICAL COLLEGE	0400	MADISON TECH COLLEGE

## Recorded Documents

No recorded documents found.

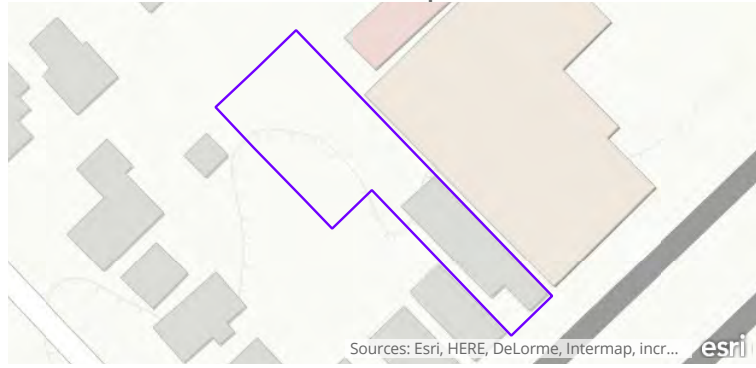
# Parcel Number - 251/0709-131-0210-2

Current

## Parcel Summary

Municipality Name	CITY OF MADISON
Parcel Description	ORIGINAL PLAT, AKA FARWELLS REPLAT, BLK ...
Owner Name	SALLY HOLDINGS LLC
Primary Address	1318 E WASHINGTON AVE
Billing Address	REED MESSNER 325 HWY MM BROOKLYN WI 53521

## Parcel Map



## Current Year Assessment

Assessment Year	2015
Valuation Classification	G2
Assessment Acres	0.000
Land Value	\$79,000.00
Improved Value	\$67,500.00
Total Value	\$146,500.00

## Current Year Taxes

Assessed Land Value	Assessed Improvement Value	Total Assessed Value
\$79,000.00	\$60,500.00	\$139,500.00
<b>Taxes:</b>		\$3,379.57
<b>Lottery Credit(-):</b>		\$0.00
<b>First Dollar Credit(-):</b>		\$77.64
<b>Specials(+):</b>		\$0.00
<b>Amount:</b>		\$3,301.93

## Zoning Information

Contact your local city or village office for municipal zoning information.

## Districts

Type	State Code	Description
REGULAR SCHOOL	3269	MADISON METRO SCHOOL DIST
TECHNICAL COLLEGE	0400	MADISON TECH COLLEGE

## Recorded Documents

No recorded documents found.

## **APPENDIX B**

### **User and Owner Questionnaire**

PHASE I ENVIRONMENTAL SITE ASSESSMENT  
USER QUESTIONNAIRE

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To: Laura Hicklin

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From: Mary Trotta

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Date: October 8, 2015

---

RE: Phase I - 1316/1318 and 1326 East Washington Avenue, Madison

---

Project Number: 15737

---

Thank you for allowing Sigma Environmental Services, Inc. (Sigma) the opportunity to provide you with environmental consulting services in relation to the contracted Phase I Environmental Site Assessment. In accordance with the ASTM 1527-05 standard and in order to provide the requisite service in the most efficient manner, we ask that the following information be provided for the property. Should the information not be available to you at this time, please disregard the question and return the completed questionnaire to my attention at Sigma.

(1) Is the complete and correct address for the property available? Is a map or other documentation available showing property location and boundaries? Please provide each, as available.

1326 E. Washington Ave, Madison, WI  
1316/1318 E. Washington Ave, Madison WI  
Map previously provided.

(2) What type of property transaction?  
Fee purchase

(3) Are you aware of any environmental cleanup liens against the *property* that are filed or recorded under federal, tribal, state or local law?

Yes. See groundwater use restriction, document #3156408.

(4) Are you aware of any AULs, such as *engineering controls*, land use restrictions or *institutional controls* that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law?

No.

(5) As the *user* of this *ESA* do you have any specialized knowledge or experience related to the *property* or nearby properties? For example, are you involved in the same line of business as the current or former *occupants* of the *property* or an adjoining *property* so that you would have specialized knowledge of the chemicals and processes used by this type of business?

No. The County of Dane is the proposed buyer. The proposed use is not consistent with our general understanding of the previous use. The County of Dane has no specific or specialized knowledge used by the current and previous owners.

(6) Does the purchase price being paid for this *property* reasonably reflect the fair market value of the *property*? If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the *property*?

**The purchase price reasonably reflects fair market value of the property.**

(7) Are you aware of commonly known or *reasonably ascertainable* information about the *property* that would help the *environmental professional* to identify conditions indicative of releases or threatened releases? For example, as *user*,

- (a.) Do you know the past uses of the *property*?
- (b.) Do you know of specific chemicals that are present or once were present at the *property*?
- (c.) Do you know of spills or other chemical releases that have taken place at the *property*?
- (d.) Do you know of any environmental cleanups that have taken place at the *property*?

- a. **No**
- b. **Not sure. See documentation from BT2 Inc.**
- c. **Not sure. See documentation from BT2 Inc.**
- d. **Yes, see groundwater use restriction and DNR closure letter.**

(8) As the *user* of this *ESA*, based on your knowledge and experience related to the *property* are there any *obvious* indicators that point to the presence or likely presence of contamination at the *property*?

**Documentation provided by Seller indicates past presence of contamination that resulted in remediation and site closure letter. Indicators of current contamination are not clear.**

(9) Are you aware of 1) any pending, threatened or past litigation relevant to hazardous substances or petroleum products in, on or from the property; 2) any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on or from the property; and 3) any notices from any governmental entity regarding any possible violation or environmental laws or possible liability relating to hazardous substances or petroleum products?

**Yes. See documentation mentioned above.**

(10) Do you know if any of the following documents exist and, if so, can you provide copies of the documents: 1) environmental site assessment reports; 2) environmental compliance audit reports; 3) environmental permits (for example, solid waste disposal permits, hazardous waste disposal permits, wastewater permits, NPDES permits, underground injection permits); 4) registrations for underground and aboveground storage tanks; 5) registrations for underground injection systems; 6) material safety data sheets; 7) community right-to-know plan; 8) safety plans; preparedness and prevention plans; spill prevention, countermeasure, and control plans; etc.; 9) reports regarding hydrogeologic conditions on the property or surrounding area; 10) notices or other correspondence from any governmental agency relating to past or current violations of environmental laws with respect to the property or relating to environmental liens encumbering the property; 11) hazardous waste generator notices or reports; 12) geotechnical studies; 13) risk assessments; or 14) recorded AULs?

**All known information has been referenced above and is attached.**

(11) Please identify all of the parties who must be able to rely on the Phase I Report.

**County of Dane, as proposed purchaser of the property.**

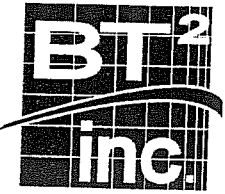
(12) Is the site contact known and how can he/she be reached?

**Kurt Messner, via the listing broker, Marty Rifken. marty@rifken.com or 575-9562**

Signature: 

Date: 10/22/15

KURT FYI



May 3, 1999

Mr. Lawrence Lester  
Wisconsin Department of Natural Resources  
3911 Fish Hatchery Road  
Madison, WI 53711

SUBJECT: Copy of Deed for Restriction Language & Borehole Abandonment Forms  
Messner, Inc., 1326 East Washington Avenue, Madison, Wisconsin  
BT² Project #1413  
WDNR File Reference #03-13-000521

Dear Mr. Lester:

Pursuant to your letter dated March 18, 1999 regarding closure, enclosed please find a copy of the most recent warranty deed for the above referenced property (as supplied to BT² by the property owner). Please use this deed, with its legal description, to prepare the groundwater use restriction language.

All monitoring wells and groundwater extraction wells associated with this site have been properly abandoned. The wells included MW4 through MW8, EXT1, and EXT2. The WDNR 3300-5B Borehole Abandonment form for each well is attached.

If you have any questions or need additional information, please call me at (608) 224-2828, ext. 240.

Sincerely,  
BT², Inc.

Thomas J. Culp, P.G.  
Project Manager

Attachments (10 pages)

cc: Mr. Gary Messner, Messner, Inc.

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776306

**This Indenture,** Made this 3rd day of January in the year of our Lord, one thousand nine hundred and Forty-nine BETWEEN the Coca Cola Bottling Company of Madison a corporation, duly organized and existing under the laws of the State of Wisconsin and having its principal office in the City of Madison and State of Wisconsin of the first part and Refrigeration Equipment Company a corporation,

**Witnesseth,** That the said party of the first part, for and in consideration of the sum of One Dollar and other valuable consideration ~~Dollars~~ to it in hand paid by the said party of the second part, the receipt whereof is hereby confessed and acknowledged, has given; granted, bargained, sold, remised, released, aliened, conveyed and confirmed and by these presents does give, grant, bargain, sell, remise, release, alien, convey and confirm unto the said party of the second part, its successors and assigns, forever, the following described real estate, situated in the County of Dane and the State of Wisconsin, to-wit:

The southwest 41 feet of Lot 13, and all of Lots 14 and 15 of Block 217, in the City of Madison according to Farwells Replat thereof.



**Together** with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining; and all the estate, right, title, interest, claim or demand whatsoever of the said party of the first part, either in law or equity, either in possession or expectancy of, in and to the above bargained premises and their hereditaments and appurtenances, **TO HAVE AND TO HOLD** the said premises as above described, with the hereditaments and appurtenances, unto the said party of the second part and to its successors and assigns forever.

**And the said** grantor, for itself and its successors doth hereby covenant, grant, bargain and agree to and with the said party of the second part, its successors and assigns, that at the time of the ensembling and delivery of these presents that the said party of the first part is well seized of the premises above, described, as of a good, sure, perfect, absolute and indefeasible estate of inheritance in the law, in fee simple, and that the same are free and clear from all incumbrances whatever, except building and other restrictions imposed by law or ordinance.

and doth further covenant that the above bargained premises, in the quiet and peaceable possession of the said party of the second part, its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof, it and they shall and will forever **WARRANT AND DEFEND.**



In Witness Whereof, The said party of the first part hath caused these presents to be signed by  
H. B. Thomson its President, countersigned by  
A. F. Copland its Secretary, and its corporate seal to be hereunto  
affixed the day any year first herein written.

Signed, Sealed and Delivered in Presence of  
As to H. B. Thomson:

H. B. Thomson, Jr.  
H. B. Thomson, Jr.  
Elizabeth A. Thomson  
Elizabeth A. Thomson

Coca Cola Bottling Company of Madison

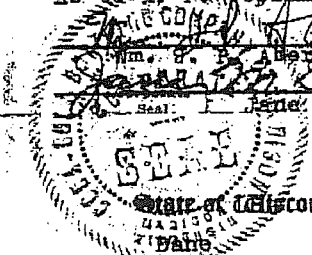
By H. B. Thomson  
H. B. Thomson President.

As to A. F. Copland:

A. F. Copland  
A. F. Copland  
Seal: Jane M. Gugel  
Jane M. Gugel

Countersigned by

A. F. Copland  
A. F. Copland Secretary.



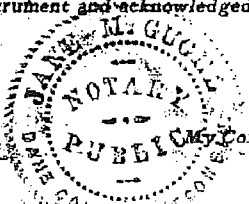
State of Wisconsin, }  
Waite County, } ss.

Personally came before me this 7th day of February, 1949, the above named

A. F. Copland

as Secretary of the Coca Cola Bottling Company of Madison, a corporation  
to me known to be the person and officer who, for and in behalf of said corporation, executed the fore-  
going instrument and acknowledged the same.

Jane M. Gugel  
Jane M. Gugel



My Commission Expires April 16, 1950  
(To be filled in if signed by a Notary Public)

STATE OF VIRGINIA )  
City of Alexandria ) ss  
COUNTY )

Personally came before me this 3rd day of January, 1949, the above named H. B. Thomson as President of the Coca Cola Bottling Company of Madison, a corporation to me known to be the person and officer who, for and in behalf of said corporation, executed the foregoing instrument and acknowledged the same.

H. P. Edmunds  
H. P. Edmunds  
Notary Public



My Commission Expires January 15, 1951

COMPANED INDEXED No. 276306	Coca Cola Bottling Company of Madison To	Refrigeration Equipment Company	2-17 City Warranty Deed	REGISTER'S OFFICE, Rowan County, Wis. Received for Record this 27th day of February, 1949, at 1:10 o'clock P.M., and recorded in Vol. 525 of Deeds on Page 29 Miller & Kelly, St. Recorder of Deeds.	NAZ2 6-0-0-12-24

# PHILIP H. HINTZE

REGISTERED CIVIL ENGINEER

MADISON, WISCONSIN

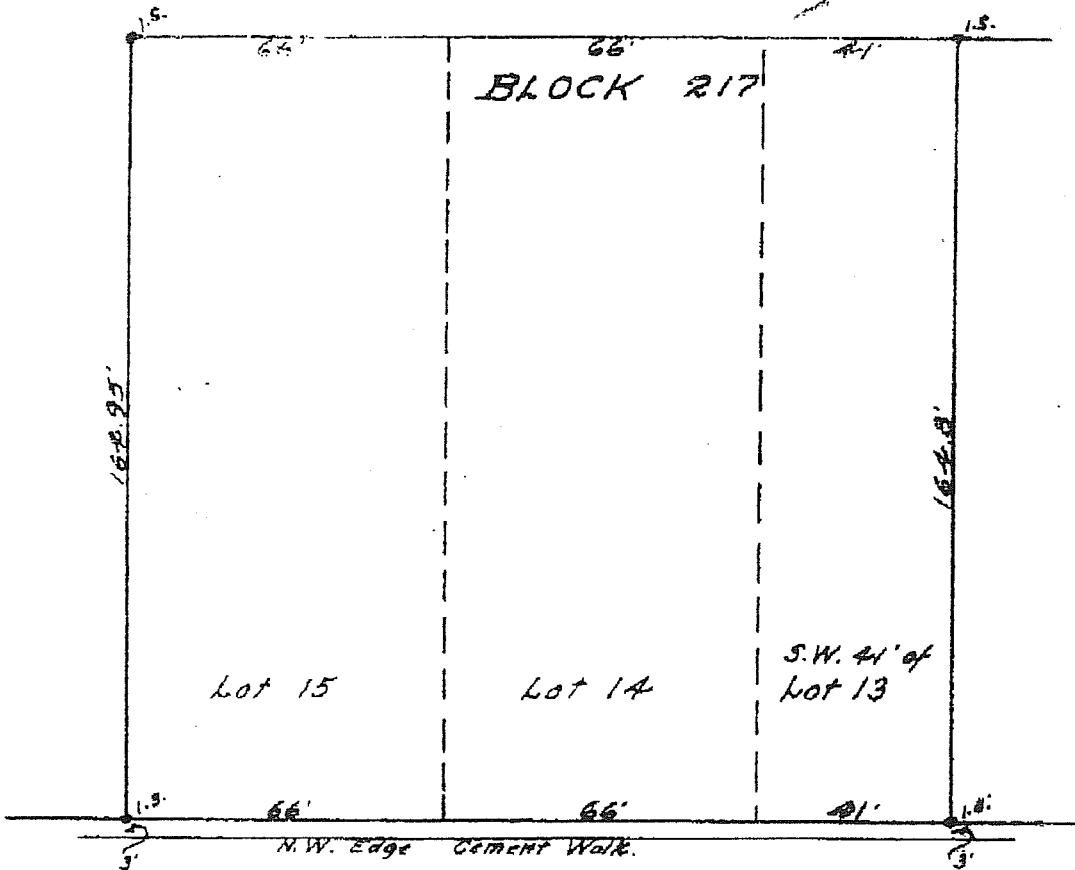
111 S. Hamilton  
103-105-107-109-111-113 S. I.

66630  
FAYATONLS-77

## PLAT OF SURVEY

DESCRIBED AS FOLLOWS: *Lots 14 & 15 & S.W. 41' of Lot 13 of BLK. N. 217, Farwell's Replat, City of Madison.*

*Scale 1"=30'*



### EAST WASHINGTON AVE.

STATE OF WISCONSIN } S.S.  
COUNTY OF DANE

I, Philip H. Hintze DO HEREBY CERTIFY THAT I HAVE MADE THE ABOVE SURVEY  
ON THE 23rd DAY OF November 19 98 AND THAT THE SURVEY OF THE LOTS  
AND THE INFORMATION RELATIVE TO ALL EXISTING BUILDINGS ON SUCH LOT ALL AS SHOWN ON SAID  
SURVEY, IS COMPLETE AND CORRECT.

SIGNED Philip H. Hintze

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location <u>NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9</u>	County <u>Dane</u>	Original Well Owner (If Known) <u>Messner's, Inc.</u>	
(If applicable) Gov't Lot _____ Grid Number _____		Present Well Owner <u>Messner's, Inc.</u>	
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		Street or Route <u>1326 E. Washington Ave.</u>	
Civil Town Name <u>Madison</u>		Facility Well No. and/or Name (If Applicable) <u>MW4</u>	WI Unique Well No. _____
Street Address of Well <u>1326 E. Washington Ave</u>		Reason For Abandonment <u>Site Closure</u>	
City, Village <u>Madison</u>		Date of Abandonment <u>03/30/1999</u>	

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

(3) Original Well/Drill/Borehole Construction Completed On  
(Date) 05/05/1993

<input checked="" type="checkbox"/> Monitoring Well	Construction Report Available? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Water Well	
<input type="checkbox"/> Drillhole	
<input type="checkbox"/> Borehole	

Construction Type:  
 Drilled  Driven (Sandpoint)  Dug  
 Other (Specify) \_\_\_\_\_

Formation Type:  
 Unconsolidated Formation  Bedrock

Total Well Depth (ft.) 10.4 Casing Diameter (ins.) 2  
(From ground surface) Casing Depth (ft.) 2.4

Lower Drillhole Diameter (in.) N.A.

Was Well Annular Space Grouted?  Yes  No  Unknown  
If Yes, To What Depth? \_\_\_\_\_ Feet

(4) Depth to Water (Feet) 9.1

Pump & Piping Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Liner(s) Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Screen Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Casing Left in Place?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable

If Yes, Explain \_\_\_\_\_

Was Casing Cut Off Below Surface?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Did Sealing Material Rise to Surface?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Did Material Settle After 24 Hours?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, Was Hole Retopped?	<input type="checkbox"/> Yes <input type="checkbox"/> No

(5) Required Method of Placing Sealing Material

<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped
<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) <u>Gravity</u>

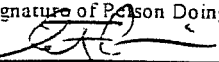
(6) Sealing Materials

<input type="checkbox"/> Neat Cement Grout	For monitoring wells and monitoring well boreholes only
<input type="checkbox"/> Sand-Cement (Concrete) Grout	
<input type="checkbox"/> Concrete	
<input type="checkbox"/> Clay-Sand Slurry	
<input type="checkbox"/> Bentonite-Sand Slurry	
<input checked="" type="checkbox"/> Chipped Bentonite	
<input type="checkbox"/> Bentonite Pellets	
<input type="checkbox"/> Granular Bentonite	
<input type="checkbox"/> Bentonite -Cement Grout	

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Topsoil	Surface	1		
3/8" Bentonite Chips	1	10.4	0.2 ft3	dry mix

(8) Comments: \_\_\_\_\_

(9) Name of Person or Firm Doing Sealing Work  
Geoff Prior BT2, Inc.

Signature of Person Doing Work 	Date Signed <u>3-31-99</u>
Street or Route <u>2830 Dairy Drive</u>	Telephone Number <u>( 608 ) 224-2830</u>
City, State, Zip Code <u>Madison, WI 53718-6751</u>	

**(10) FOR DNR OR COUNTY USE ONLY**

Date Received/Inspected	District/County
Reviewer/Inspector	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Admin. Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location	County	Original Well Owner (If Known)	
	Dane	Messner's, Inc.	
NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9 <input checked="" type="checkbox"/> E. <input type="checkbox"/> W.		Present Well Owner	
(If applicable) Gov't Lot _____ Grid Number _____		Messner's, Inc.	
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		Street or Route	
Civil Town Name		1326 E. Washington Ave.	
Madison		City, State, Zip Code	
Street Address of Well		Madison, WI 53703	
1326 E. Washington Ave		Facility Well No. and/or Name (If Applicable)	
City, Village		MW5	
Madison		WI Unique Well No.	
		Reason For Abandonment	
		Site Closure	
		Date of Abandonment	
		03/30/1999	

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

**(3) Original Well/Drill/Borehole Construction Completed On**  
(Date) 11/09/1993

<input checked="" type="checkbox"/> Monitoring Well	Construction Report Available? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Water Well	
<input type="checkbox"/> Drillhole	
<input type="checkbox"/> Borehole	

Construction Type:  
 Drilled  Driven (Sandpoint)  Dug  
 Other (Specify) \_\_\_\_\_

Formation Type:  
 Unconsolidated Formation  Bedrock

Total Well Depth (ft.) 12.5 Casing Diameter (ins.) 2  
 (From ground surface) Casing Depth (ft.) 2.5

Lower Drillhole Diameter (in.) N.A.

Was Well Annular Space Grouted?  Yes  No  Unknown  
 If Yes, To What Depth? \_\_\_\_\_ Feet

**(4) Depth to Water (Feet)** 9.0

Pump & Piping Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Liner(s) Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Screen Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Casing Left in Place?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable

If No, Explain \_\_\_\_\_

Was Casing Cut Off Below Surface?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Did Sealing Material Rise to Surface?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Did Material Settle After 24 Hours?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, Was Hole Retopped?	<input type="checkbox"/> Yes <input type="checkbox"/> No

**(5) Required Method of Placing Sealing Material**

<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped
<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) Gravity

**(6) Sealing Materials**

<input type="checkbox"/> Neat Cement Grout	For monitoring wells and monitoring well boreholes only
<input type="checkbox"/> Sand-Cement (Concrete) Grout	
<input type="checkbox"/> Concrete	
<input type="checkbox"/> Clay-Sand Slurry	
<input type="checkbox"/> Bentonite-Sand Slurry	
<input checked="" type="checkbox"/> Chipped Bentonite	

<input type="checkbox"/> Bentonite Pellets
<input type="checkbox"/> Granular Bentonite
<input type="checkbox"/> Bentonite -Cement Grout

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Topsoil	Surface	1		
3/8" Bentonite Chips	1	12.5	0.3 ft3	dry mix

(8) Comments: \_\_\_\_\_

**(9) Name of Person or Firm Doing Sealing Work**  
Geoff Prior BT2, Inc.

Signature of Person Doing Work	Date Signed
	3-31-99
Street or Route	Telephone Number
2830 Dairy Drive	( 608 ) 224-2830
City, State, Zip Code	
Madison, WI 53718-6751	

**(10) FOR DNR OR COUNTY USE ONLY**

Date Received/Inspected	District/County
Reviewer/Inspector	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location	County	Original Well Owner (If Known)	
	Dane	Messner's, Inc.	
NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9		Present Well Owner	Messner's, Inc.
(If applicable)	Gov't Lot	Street or Route	1326 E. Washington Ave.
	Grid Number	City, State, Zip Code	Madison, WI 53703
Grid Location		Facility Well No. and/or Name (If Applicable)	MW6
		WI Unique Well No.	
Civil Town Name	Madison	Reason For Abandonment	Site Closure
Street Address of Well	1326 E. Washington Ave	Date of Abandonment	03/30/1999
City, Village	Madison		

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

<b>(3) Original Well/Drill/Borehole Construction Completed On</b>		<b>(4) Depth to Water (Feet) 9.4</b>	
(Date) 03/15/1994		Pump & Piping Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	
<input checked="" type="checkbox"/> Monitoring Well	Construction Report Available?	Liner(s) Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	
<input type="checkbox"/> Water Well	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Screen Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	
<input type="checkbox"/> Drillhole		Casing Left in Place? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	
<input type="checkbox"/> Borehole		If No, Explain	
Construction Type:		Was Casing Cut Off Below Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input checked="" type="checkbox"/> Drilled	<input type="checkbox"/> Driven (Sandpoint) <input type="checkbox"/> Dug	Did Sealing Material Rise to Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<input type="checkbox"/> Other (Specify)		Did Material Settle After 24 Hours? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
		If Yes, Was Hole Retopped? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Formation Type:		<b>(5) Required Method of Placing Sealing Material</b>	
<input checked="" type="checkbox"/> Unconsolidated Formation	<input type="checkbox"/> Bedrock	<input type="checkbox"/> Conductor Pipe-Gravity <input type="checkbox"/> Conductor Pipe-Pumped	
Total Well Depth (ft.) 15.8	Casing Diameter (ins.) 2	<input type="checkbox"/> Dump Bailer <input checked="" type="checkbox"/> Other(Explain) Gravity	
(From ground surface)	Casing Depth (ft.) 5.8	<b>(6) Sealing Materials</b>	
Lower Drillhole Diameter (in.) N.A.		For monitoring wells and monitoring well boreholes only	
Was Well Annular Space Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown		<input type="checkbox"/> Neat Cement Grout	
If Yes, To What Depth? _____ Feet		<input type="checkbox"/> Sand-Cement (Concrete) Grout	
		<input type="checkbox"/> Concrete	
		<input type="checkbox"/> Clay-Sand Slurry	
		<input type="checkbox"/> Bentonite-Sand Slurry	
		<input checked="" type="checkbox"/> Chipped Bentonite	
		<input type="checkbox"/> Bentonite Pellets	
		<input type="checkbox"/> Granular Bentonite	
		<input type="checkbox"/> Bentonite -Cement Grout	

<b>(7)</b>	Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
	Concrete	Surface	1		
	3/8" Bentonite Chips	1	15.8	0.35 ft3	dry mix

**(8) Comments:** Flush mount well box left in place and filled with concrete

**(9) Name of Person or Firm Doing Sealing Work**  
Geoff Prior BT2, Inc.

Signature of Person Doing Work	Date Signed
	3-31-99
Street or Route	Telephone Number
2830 Dairy Drive	( 608 ) 224-2830
City, State, Zip Code	
Madison, WI 53718-6751	

<b>(10) FOR DNR OR COUNTY USE ONLY</b>	
Date Received/Inspected	District/County
Reviewer/Inspector	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location	County	Original Well Owner (If Known)	
NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9 <input checked="" type="checkbox"/> E. <input type="checkbox"/> W.	Dane	Messner's, Inc.	
(If applicable) Gov't Lot _____ Grid Number _____		Present Well Owner	
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		Messner's, Inc.	
Civil Town Name		Street or Route	WI Unique Well No.
Madison		1326 E. Washington Ave.	_____
Street Address of Well		Facility Well No. and/or Name (If Applicable)	
1326 E. Washington Ave		MW7	
City, Village		Reason For Abandonment Site Closure	
Madison		Date of Abandonment	
		03/30/1999	

<b>WELL/DRILLHOLE/BOREHOLE INFORMATION</b>																	
<p><b>(3) Original Well/Drill/Borehole Construction Completed On</b> (Date) <u>03/15/1994</u></p> <table style="width:100%;"> <tr> <td style="width:50%; vertical-align: top;"> <input checked="" type="checkbox"/> Monitoring Well  <input type="checkbox"/> Water Well  <input type="checkbox"/> Drillhole  <input type="checkbox"/> Borehole             </td> <td style="width:50%; vertical-align: top;"> <b>Construction Report Available?</b>  <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No             </td> </tr> </table> <p>Construction Type:  <input checked="" type="checkbox"/> Drilled <input type="checkbox"/> Driven (Sandpoint) <input type="checkbox"/> Dug  <input type="checkbox"/> Other (Specify) _____</p> <p>Formation Type:  <input checked="" type="checkbox"/> Unconsolidated Formation <input type="checkbox"/> Bedrock</p> <p>Total Well Depth (ft.) <u>15.9</u> Casing Diameter (ins.) <u>2</u>          (From ground surface) Casing Depth (ft.) <u>5.9</u></p> <p>Lower Drillhole Diameter (in.) <u>N.A.</u></p> <p>Was Well Annular Space Grouted? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown          If Yes, To What Depth? _____ Feet</p>	<input checked="" type="checkbox"/> Monitoring Well <input type="checkbox"/> Water Well <input type="checkbox"/> Drillhole <input type="checkbox"/> Borehole	<b>Construction Report Available?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p><b>(4) Depth to Water (Feet)</b> <u>9.6</u></p> <table style="width:100%;"> <tr> <td>Pump &amp; Piping Removed?</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</td> </tr> <tr> <td>Liner(s) Removed?</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</td> </tr> <tr> <td>Screen Removed?</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</td> </tr> <tr> <td>Casing Left in Place?</td> <td><input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</td> </tr> </table> <p>If No, Explain _____</p> <p>Was Casing Cut Off Below Surface? <input type="checkbox"/> Yes <input type="checkbox"/> No          Did Sealing Material Rise to Surface? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No          Did Material Settle After 24 Hours? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No          If Yes, Was Hole Retopped? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><b>(5) Required Method of Placing Sealing Material</b></p> <table style="width:100%;"> <tr> <td><input type="checkbox"/> Conductor Pipe-Gravity</td> <td><input type="checkbox"/> Conductor Pipe-Pumped</td> </tr> <tr> <td><input type="checkbox"/> Dump Bailer</td> <td><input checked="" type="checkbox"/> Other(Explain) Gravity</td> </tr> </table> <p><b>(6) Sealing Materials</b></p> <table style="width:100%;"> <tr> <td style="width:70%;"> <input type="checkbox"/> Neat Cement Grout  <input type="checkbox"/> Sand-Cement (Concrete) Grout  <input type="checkbox"/> Concrete  <input type="checkbox"/> Clay-Sand Slurry  <input type="checkbox"/> Bentonite-Sand Slurry  <input checked="" type="checkbox"/> Chipped Bentonite             </td> <td style="width:30%; vertical-align: top;">                 For monitoring wells and monitoring well boreholes only  <input type="checkbox"/> Bentonite Pellets  <input type="checkbox"/> Granular Bentonite  <input type="checkbox"/> Bentonite -Cement Grout             </td> </tr> </table>	Pump & Piping Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	Liner(s) Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	Screen Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	Casing Left in Place?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable	<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped	<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) Gravity	<input type="checkbox"/> Neat Cement Grout <input type="checkbox"/> Sand-Cement (Concrete) Grout <input type="checkbox"/> Concrete <input type="checkbox"/> Clay-Sand Slurry <input type="checkbox"/> Bentonite-Sand Slurry <input checked="" type="checkbox"/> Chipped Bentonite	For monitoring wells and monitoring well boreholes only <input type="checkbox"/> Bentonite Pellets <input type="checkbox"/> Granular Bentonite <input type="checkbox"/> Bentonite -Cement Grout
<input checked="" type="checkbox"/> Monitoring Well <input type="checkbox"/> Water Well <input type="checkbox"/> Drillhole <input type="checkbox"/> Borehole	<b>Construction Report Available?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																
Pump & Piping Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable																
Liner(s) Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable																
Screen Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable																
Casing Left in Place?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable																
<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped																
<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) Gravity																
<input type="checkbox"/> Neat Cement Grout <input type="checkbox"/> Sand-Cement (Concrete) Grout <input type="checkbox"/> Concrete <input type="checkbox"/> Clay-Sand Slurry <input type="checkbox"/> Bentonite-Sand Slurry <input checked="" type="checkbox"/> Chipped Bentonite	For monitoring wells and monitoring well boreholes only <input type="checkbox"/> Bentonite Pellets <input type="checkbox"/> Granular Bentonite <input type="checkbox"/> Bentonite -Cement Grout																

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Topsoil	Surface	1		
3/8" Bentonite Chips	1	15.9	0.35 ft3	dry mix

**(8) Comments:** \_\_\_\_\_

**(9) Name of Person or Firm Doing Sealing Work**  
Geoff Prior BT2, Inc.

Signature of Person Doing Work	Date Signed
	3-31-99
Street or Route	Telephone Number
2830 Dairy Drive	( 608 ) 224-2830
City, State, Zip Code	
Madison, WI 53718-6751	

(10) FOR DNR OR COUNTY USE ONLY	
Date Received/Inspected	District/County
Reviewer/Inspector	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wisconsin Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location <u>NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9</u>	County <u>Dane</u>	Original Well Owner (If Known) <u>Messner's, Inc.</u>	
(If applicable) Gov't Lot _____ Grid Number _____		Present Well Owner <u>Messner's, Inc.</u>	
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		Street or Route <u>1326 E. Washington Ave.</u>	
Civil Town Name <u>Madison</u>		City, State, Zip Code <u>Madison, WI 53703</u>	
Street Address of Well <u>1326 E. Washington Ave</u>		Facility Well No. and/or Name (If Applicable) <u>MW8</u>	WI Unique Well No. _____
City, Village <u>Madison</u>		Reason For Abandonment Site Closure	
		Date of Abandonment <u>03/30/1999</u>	

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

(3) Original Well/Drill/Borehole Construction Completed On  
(Date) 08/05/1994

Monitoring Well  
 Water Well  
 Drillhole  
 Borehole

Construction Report Available?  
 Yes  No

Construction Type:  
 Drilled  Driven (Sandpoint)  Dug  
 Other (Specify) \_\_\_\_\_

Formation Type:  
 Unconsolidated Formation  Bedrock

Total Well Depth (ft.) 16.7 Casing Diameter (ins.) 2  
(From ground surface) Casing Depth (ft.) 6.7

Lower Drillhole Diameter (in.) N.A.

Was Well Annular Space Grouted?  Yes  No  Unknown  
If Yes, To What Depth? \_\_\_\_\_ Feet

(4) Depth to Water (Feet) 8.8

Pump & Piping Removed?  Yes  No  Not Applicable  
Liner(s) Removed?  Yes  No  Not Applicable  
Screen Removed?  Yes  No  Not Applicable  
Casing Left in Place?  Yes  No  Not Applicable  
If No, Explain \_\_\_\_\_

Was Casing Cut Off Below Surface?  Yes  No  
Did Sealing Material Rise to Surface?  Yes  No  
Did Material Settle After 24 Hours?  Yes  No  
If Yes, Was Hole Retopped?  Yes  No

(5) Required Method of Placing Sealing Material  
 Conductor Pipe-Gravity  Conductor Pipe-Pumped  
 Dump Bailer  Other(Explain) Gravity

(6) Sealing Materials

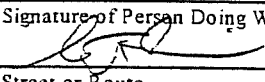
<input type="checkbox"/> Neat Cement Grout	For monitoring wells and monitoring well boreholes only
<input type="checkbox"/> Sand-Cement (Concrete) Grout	
<input type="checkbox"/> Concrete	
<input type="checkbox"/> Clay-Sand Slurry	
<input type="checkbox"/> Bentonite-Sand Slurry	
<input checked="" type="checkbox"/> Chipped Bentonite	

\_\_\_\_\_ Bentonite Pellets  
\_\_\_\_\_ Granular Bentonite  
\_\_\_\_\_ Bentonite -Cement Grout

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Asphalt	Surface	1		
3/8" Bentonite Chips	1	16.7	0.35 ft3	dry mix

(8) Comments: Flush mount well box filled with asphalt and left in place

(9) Name of Person or Firm Doing Sealing Work  
Geoff Prior BT2, Inc.

Signature of Person Doing Work 	Date Signed <u>3-31-99</u>
Street or Route <u>2830 Dairy Drive</u>	Telephone Number <u>( 608 ) 224-2830</u>
City, State, Zip Code <u>Madison, WI 53718-6751</u>	

**(10) FOR DNR OR COUNTY USE ONLY**

Date Received/Inspected	District/County
Reviewer/Inspector	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	

Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Admin. Code, whichever is applicable. Also, see instructions included with this form.

(1) GENERAL INFORMATION		(2) FACILITY NAME	
Well/Drillhole/Borehole Location	County Dane	Original Well Owner (If Known) Messner's, Inc.	
NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N; R. 9 <input checked="" type="checkbox"/> E. <input type="checkbox"/> W.		Present Well Owner Messner's, Inc.	
(If applicable) Gov't Lot _____ Grid Number _____		Street or Route 1326 E. Washington Ave.	
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.		City, State, Zip Code Madison, WI 53703	
Civil Town Name Madison		Facility Well No. and/or Name (If Applicable) EXT1	WI Unique Well No. _____
Street Address of Well 1326 E. Washington Ave		Reason For Abandonment Site Closure	
City, Village Madison		Date of Abandonment 03/30/1999	

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

(3) Original Well/Drill/Borehole Construction Completed On  
(Date) 08/23/1995

<input checked="" type="checkbox"/> Monitoring Well <input type="checkbox"/> Water Well <input type="checkbox"/> Drillhole <input type="checkbox"/> Borehole  Construction Type: <input checked="" type="checkbox"/> Drilled <input type="checkbox"/> Driven (Sandpoint) <input type="checkbox"/> Dug <input type="checkbox"/> Other (Specify) _____	Construction Report Available? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
---	---

Formation Type:  
 Unconsolidated Formation     Bedrock

Total Well Depth (ft.) 25.0    Casing Diameter (ins.) 6  
 (From ground surface)    Casing Depth (ft.) 10.0

Lower Drillhole Diameter (in.) N.A.

Was Well Annular Space Grouted?     Yes     No     Unknown  
 If Yes, To What Depth? \_\_\_\_\_ Feet

(4) Depth to Water (Feet) 9.5

Pump & Piping Removed?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Not Applicable
Liner(s) Removed?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Not Applicable
Screen Removed?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Not Applicable
Casing Left in Place?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Not Applicable

If No, Explain \_\_\_\_\_

Was Casing Cut Off Below Surface?     Yes     No  
 Did Sealing Material Rise to Surface?     Yes     No  
 Did Material Settle After 24 Hours?     Yes     No  
 If Yes, Was Hole Retopped?     Yes     No

(5) Required Method of Placing Sealing Material

<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped
<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) Gravity

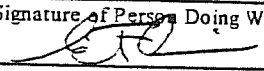
(6) Sealing Materials

<input type="checkbox"/> Neat Cement Grout <input type="checkbox"/> Sand-Cement (Concrete) Grout <input type="checkbox"/> Concrete <input type="checkbox"/> Clay-Sand Slurry <input type="checkbox"/> Bentonite-Sand Slurry <input checked="" type="checkbox"/> Chipped Bentonite	For monitoring wells and monitoring well boreholes only  <input type="checkbox"/> Bentonite Pellets <input type="checkbox"/> Granular Bentonite <input type="checkbox"/> Bentonite -Cement Grout
--	--

(7) Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Concrete	Surface	1		
3/8" Bentonite Chips	1	25.0	4.5 ft3	dry mix

(8) Comments: Flush mount well box left in place and filled with concrete

(9) Name of Person or Firm Doing Sealing Work  
Geoff Prior BT2, Inc.

Signature of Person Doing Work 	Date Signed 3-31-99
Street or Route 2830 Dairy Drive	Telephone Number ( 608 ) 224-2830
City, State, Zip Code Madison, WI 53718-6751	

(10) FOR DNR OR COUNTY USE ONLY

Date Received/Inspected	District/County
Reviewer/Inspector:	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary	



Abandonment work shall be performed in accordance with the provisions of Chapters NR 111, NR 112, or NR 141, Wis. Code, whichever is applicable. Also, see instructions included with this form.

<b>(1) GENERAL INFORMATION</b>		<b>(2) FACILITY NAME</b>	
Well/Drillhole/Borehole Location <u>NE 1/4 of NE 1/4 of Sec. 13 ; T. 7 N:R 9</u> <input checked="" type="checkbox"/> E. <input type="checkbox"/> W. (If applicable) Gov't Lot _____ Grid Number _____	County <u>Dane</u>	Original Well Owner (If Known) <u>Messner's, Inc.</u>	Present Well Owner <u>Messner's, Inc.</u>
Grid Location _____ ft. <input type="checkbox"/> N. <input type="checkbox"/> S. _____ ft. <input type="checkbox"/> E. <input type="checkbox"/> W.	Civil Town Name <u>Madison</u>	Street or Route <u>1326 E. Washington Ave.</u>	City, State, Zip Code <u>Madison, WI 53703</u>
Street Address of Well <u>1326 E. Washington Ave</u>	Facility Well No. and/or Name (If Applicable) <u>EXT2</u>	WI Unique Well No. _____	
City, Village <u>Madison</u>	Reason For Abandonment <u>Site Closure</u>	Date of Abandonment <u>03/30/1999</u>	

**WELL/DRILLHOLE/BOREHOLE INFORMATION**

(3) Original Well/Drill/Borehole Construction Completed On (Date) 08/23/1995

<input checked="" type="checkbox"/> Monitoring Well	Construction Report Available? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Water Well	
<input type="checkbox"/> Drillhole	
<input type="checkbox"/> Borehole	

Construction Type:  
 Drilled  Driven (Sandpoint)  Dug  
 Other (Specify) \_\_\_\_\_

Formation Type:  
 Unconsolidated Formation  Bedrock

Total Well Depth (ft.) 22.6 Casing Diameter (ins.) 6  
 (From ground surface) Casing Depth (ft.) 10.0

Lower Drillhole Diameter (in.) N.A.

Was Well Annular Space Grouted?  Yes  No  Unknown  
 If Yes, To What Depth? \_\_\_\_\_ Feet

(4) Depth to Water (Feet) 8.9

Pump & Piping Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Liner(s) Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Screen Removed?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Casing Left in Place? If No, Explain _____	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable

Was Casing Cut Off Below Surface?  Yes  No  
 Did Sealing Material Rise to Surface?  Yes  No  
 Did Material Settle After 24 Hours?  Yes  No  
 If Yes, Was Hole Retopped?  Yes  No

(5) Required Method of Placing Sealing Material

<input type="checkbox"/> Conductor Pipe-Gravity	<input type="checkbox"/> Conductor Pipe-Pumped
<input type="checkbox"/> Dump Bailer	<input checked="" type="checkbox"/> Other(Explain) _____ Gravity

(6) Sealing Materials

<input type="checkbox"/> Near Cement Grout	For monitoring wells and monitoring well boreholes only
<input type="checkbox"/> Sand-Cement (Concrete) Grout	
<input type="checkbox"/> Concrete	
<input type="checkbox"/> Clay-Sand Slurry	
<input type="checkbox"/> Bentonite-Sand Slurry	
<input checked="" type="checkbox"/> Chipped Bentonite	
<input type="checkbox"/> Bentonite Pellets	
<input type="checkbox"/> Granular Bentonite	
<input type="checkbox"/> Bentonite -Cement Grout	

Sealing Material Used	From (Ft.)	To (Ft.)	No. Yards, Sacks Sealant or Volume	Mix Ratio or Mud Weight
Concrete	Surface	1		
1/8" Bentonite Chips	1	22.6	3.5 ft3	dry mix

Comments: Flush mount well box left in place and filled with concrete

Name of Person or Firm Doing Sealing Work  
Geoff Prior BT2, Inc.

Signature of Person Doing Work  
[Signature] Date Signed 3-31-99 || Street or Route 30 Dairy Drive | Telephone Number ( 608 ) 224-2830 |
| City, State, Zip Code Madison, WI 53718-6751 |  |

(10) FOR DNR OR COUNTY USE ONLY

Date Received/Inspected: _____	District/County: _____
Reviewer/Inspector: _____	<input type="checkbox"/> Complying Work <input type="checkbox"/> Non-complying Work
Follow-up Necessary: _____	

Document Number

GROUNDWATER USE RESTRICTION

DANE COUNTY  
REGISTER OF DEEDS

3156408

09-17-1999 4:59 PM

Trans. Fee

Rec. Fee 22.00  
Pages 7

In Re: See attached warranty deed on "Exhibit A", which is attached and incorporated by reference.

000851

Recording Area

Name and Return Address

MESSNER INC  
ATTN: KURT MESSNER  
1326 E. WASHINGTON AVE  
MADISON WI 53703

Parcel ID Number

60-0709-131-0211-0

Declaration of Restrictions

STATE OF WISCONSIN )  
                                  ) SS  
COUNTY OF DANE )

*Kurt Messner 9-13-99  
FD ID. # 39-0562578*

MESSNER INC.

WHEREAS, ~~Mr. Gary Messner~~ is the owner of the above described property.

*Barbara J. Ness 9-13-99*

WHEREAS, one or more petroleum discharges have occurred at this property. Benzene, Ethylbenzene, Toluene and Xylene contaminated groundwater above ch. NR 140, Wis. Adm. Code enforcement standards exists on this property at groundwater quality monitoring well MW3. Benzene contaminated groundwater above ch. NR 140, Wis. Adm. Code enforcement standards exists on this property at geoprobe (GP)1. Benzene, Toluene, Ethylbenzene and Xylene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at GP4. Benzene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at GP10. Benzene and Toluene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at soil remediation sample location (S)4. Benzene, Toluene and Xylene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at S8. Benzene and Xylene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at S9. Benzene contaminated soil above ch. NR 720 Wis. Adm. Code soil clean up standards exists on this property at S29 and S40. The locations of the monitoring wells, geoprobes and soil remediation sample locations are depicted in "Exhibit B" which is attached and incorporated by reference.

WHEREAS, it is the desire and intention of the property owner to impose on the property restrictions which will make it unnecessary to conduct additional groundwater or soil remediation activities on the property at the present time.

WHEREAS, natural attenuation has been approved by the Department of Natural Resources to remediate groundwater exceeding ch. NR 140, Wis. Adm. Code groundwater standards within the boundaries of this property.

WHEREAS, construction of wells where the water quality exceeds the drinking water standards in ch. 809, Wis. Adm. Code is restricted by ch. NR 811, Wis. Adm. Code and ch. NR 812, Wis. Adm. Code. Special well construction standards or water treatment requirements, or both, or well construction prohibitions may apply.

NOW THEREFORE, the owner hereby declares that all of the property described above is held and shall be held, conveyed or encumbered, leased,

rented, used, occupied and improved subject to the following limitation and restrictions:

Anyone who proposes to construct or reconstruct a well on this property is required to contact the Department of Natural Resources, Bureau of Drinking Water and Groundwater, or its successor agency, to determine what specific prohibitions or requirements are applicable and to obtain Department approval, prior to constructing or reconstructing a well on this property. No well may be constructed or reconstructed on this property unless applicable requirements are met.

This restriction is hereby declared to be a covenant running with the land and shall be fully binding upon all persons acquiring the above-described property whether by descent, devise, purchase or otherwise. This restriction benefits and is enforceable by, the Wisconsin Department of Natural Resources, its successors and assigns. The Department, its successors or assigns, may initiate proceedings at law or in equity against any person or persons who violate or are proposing to violate this covenant, to prevent the proposed violation or to recover damages for such violation.

Any person who is or becomes owner of the property described above may request that the Wisconsin Department of Natural Resources or its successor issue a determination that the restrictions set forth in this covenant are no longer required. Upon receipt of such a request, the Wisconsin Department of Natural Resources shall determine whether or not the restrictions contained herein can be extinguished. If the Department determines that the restrictions can be extinguished, an affidavit can be recorded to give notice that this groundwater use restriction is no longer binding.

IN WITNESS WHEREOF, the owner of the property has executed this Declaration of Restrictions, this 13 day of SEPTEMBER, 1999.

Signature: Messner Inc. by Kurt Messner President

Printed Name: MESSNER INC BY KURT MESSNER PRESIDENT FED. ID. # 39-0562578

Subscribed and sworn to before me

000852

this 13<sup>th</sup> day of Sept., 1999.

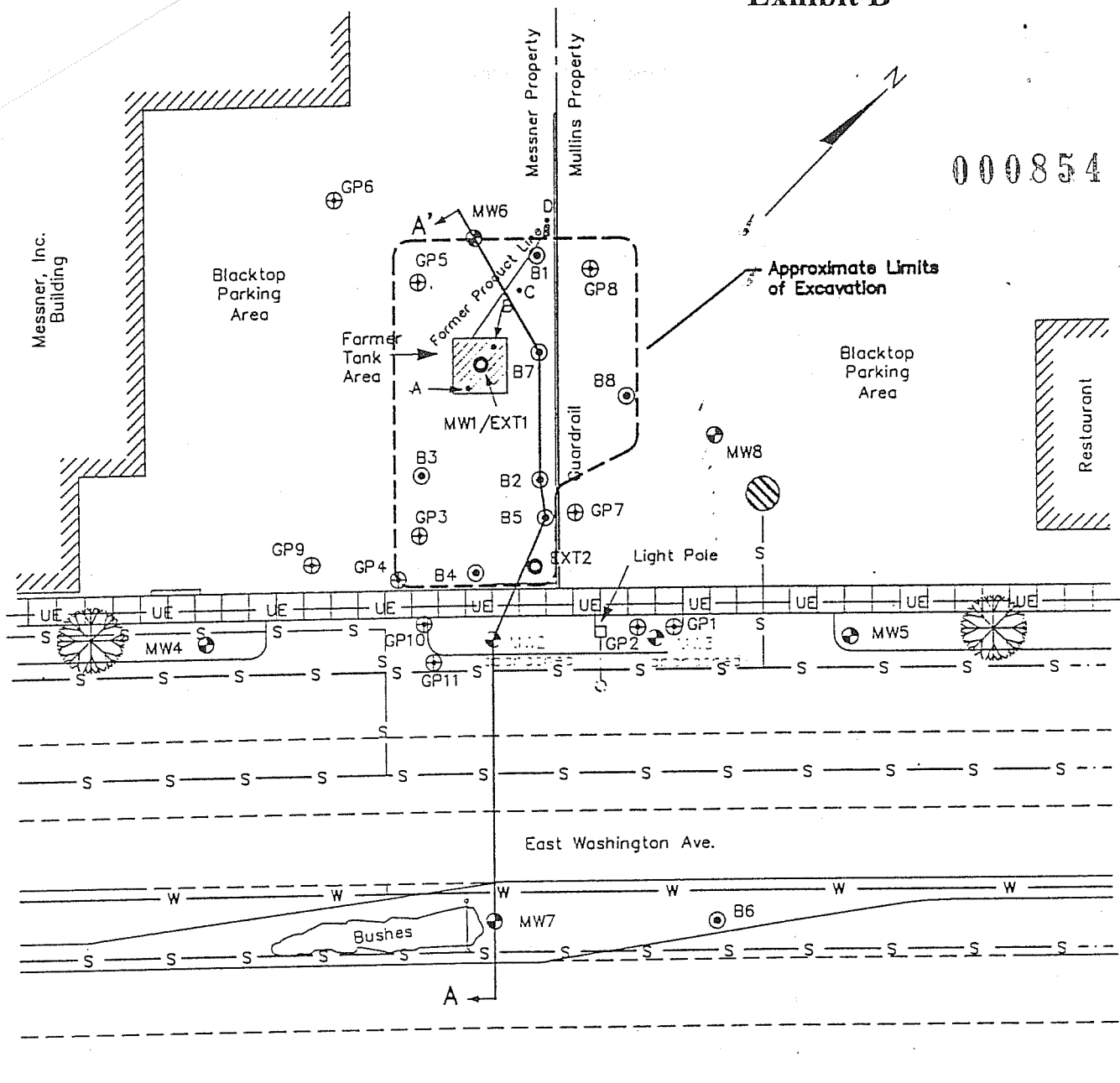
Barbara J. Hess

Notary Public, State of Wisconsin

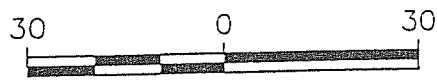
My commission Feb. 11, 2001

This document was drafted by the Wisconsin Department of Natural Resources

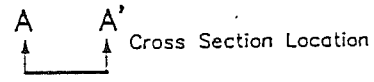
000854



- Legend
- |  |                            |  |                      |
|--|----------------------------|--|----------------------|
|  | Monitoring Well            |  | Tree                 |
|  | Extraction Well            |  | Water                |
|  | Soil Boring                |  | Sewer                |
|  | Geoprobe Boring            |  | Underground Electric |
|  | UST Excavation Soil Sample |  |                      |

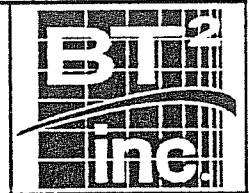


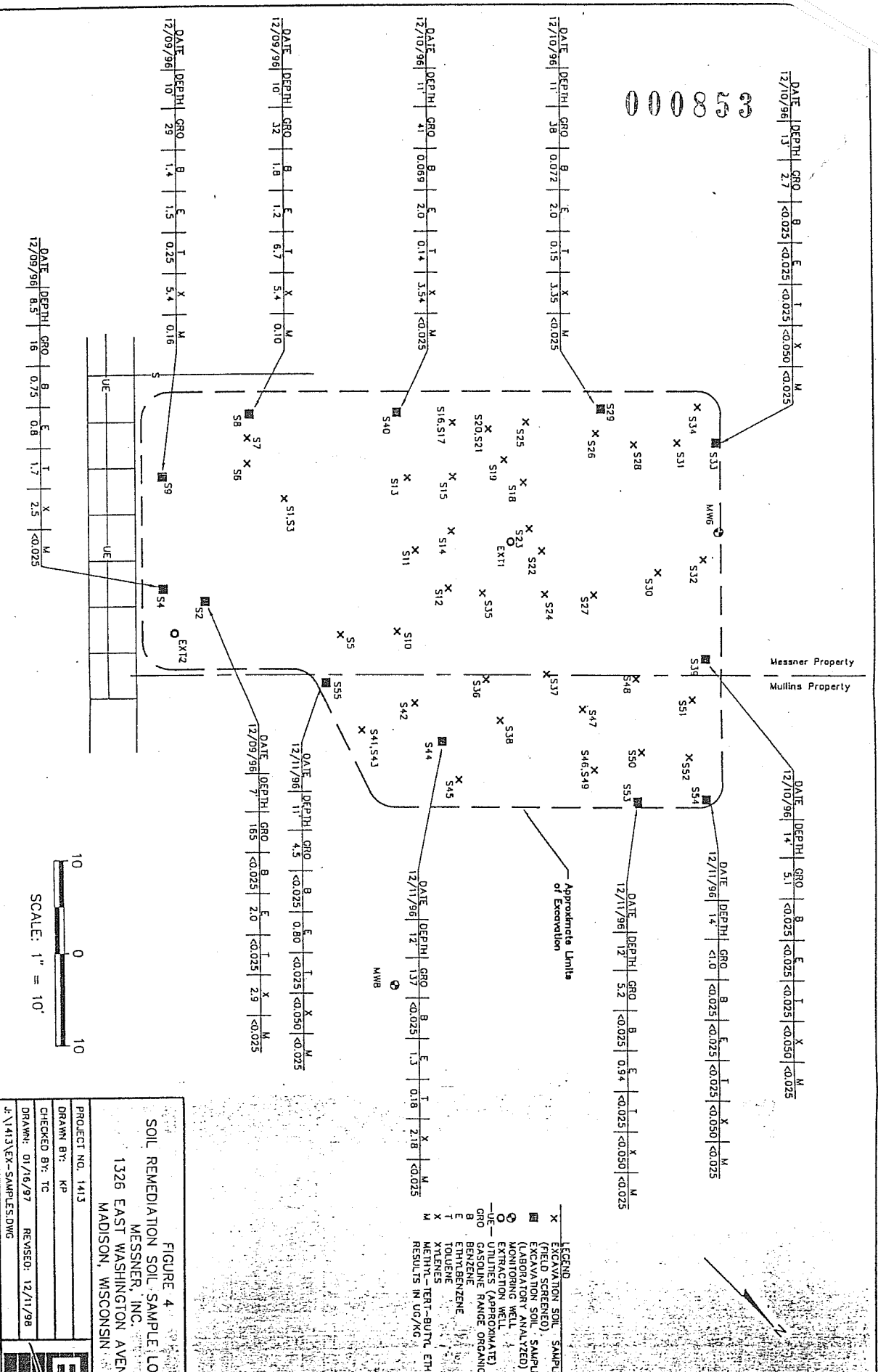
SCALE: 1" = 30'



PROJECT NO. 1413
DRAWN BY: TC
CHECKED BY: PG
DRAWN: 02/16/93
REVISED: 12/11/98

FIGURE 2  
SITE LAYOUT  
MESSNER, INC.  
1326 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN





**FIGURE 4**  
**SOIL REMEDIATION SOIL SAMPLE LOCATIONS**  
 1326 EAST WASHINGTON AVENUE  
 MADISON, WISCONSIN  
 MESSNER, INC.

PROJECT NO.	1413
DRAWN BY:	KP
CHECKED BY:	TC
DRAWN:	01/16/97
REVISION:	12/11/98
J:\1413\EX-SAMPLES.DWG	



In Witness Whereof, The said party of the first part hath caused these presents to be signed by  
H. B. Thomson  
A. F. Copland  
affixed the day any year first herein written.

its President, countersigned by  
its Secretary, and its corporate seal to be hereunto

Signed, Sealed and Delivered in Presence of  
As to H. B. Thomson:

*H. B. Thomson, Jr.*  
H. B. Thomson, Jr.  
*Elizabeth R. Thomson*  
Elizabeth R. Thomson

COCA COLA BOTTLING COMPANY OF MADISON

By *H. B. Thomson*  
H. B. Thomson President.

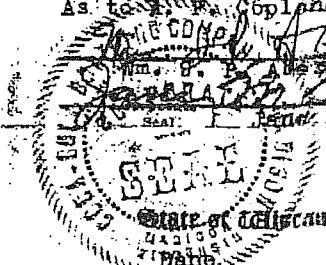
As to A. F. Copland:

Countersigned by

*Jane M. Gugel*  
Jane M. Gugel  
SEAT: *Jane M. Gugel*  
Jane M. Gugel

*A. F. Copland*  
A. F. Copland Secretary.

000856



State of Wisconsin, }  
Madison, }  
County. } ss.

Personally came before me this 7th day of February, 1949, the above named  
A. F. Copland ~~EX PRESIDENT~~  
as Secretary of the Coca Cola Bottling Company of Madison, a corporation  
to me known to be the person and officer who, for and in behalf of said corporation, executed the fore-  
going instrument and acknowledged the same.

*Jane M. Gugel*  
Jane M. Gugel

My Commission expires April 16, 1950  
(To be filled in if signed by a Notary Public)

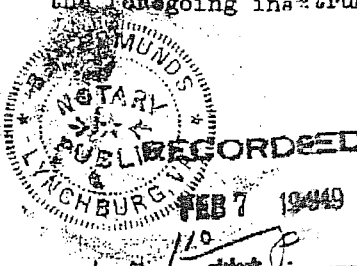
STATE OF VIRGINIA }  
City of Lynchburg } ss

Personally came before me this 3rd day of January, 1949, the above named H. B. Thomson as President of the Coca Cola Bottling Company of Madison, a corporation to me known to be the person and officer who, for and in behalf of said corporation, executed the foregoing instrument and acknowledged the same.

*R. P. Edmunds*  
R. P. Edmunds

*Notary Public*

My Commission Expires January 15, 1951



COMPANED INDEXED No. 246306	Coca Cola Bottling Company of Madison To	Refrigeration Equipment Company	6 217 City Warrant Deed	REGISTERS OFFICE, Boone County, Wis. Received for Record this 2nd day of February, 1949, at 1:10 o'clock P. M., and recorded in Vol. 525 of Deeds on Page 28 <i>Miles O'Leary</i> Register of Deeds.	NAZZ GUARD, Ltd.
	PAGE 04 MESSNER INC 6882567894 04/29/1959 11:08 AM				

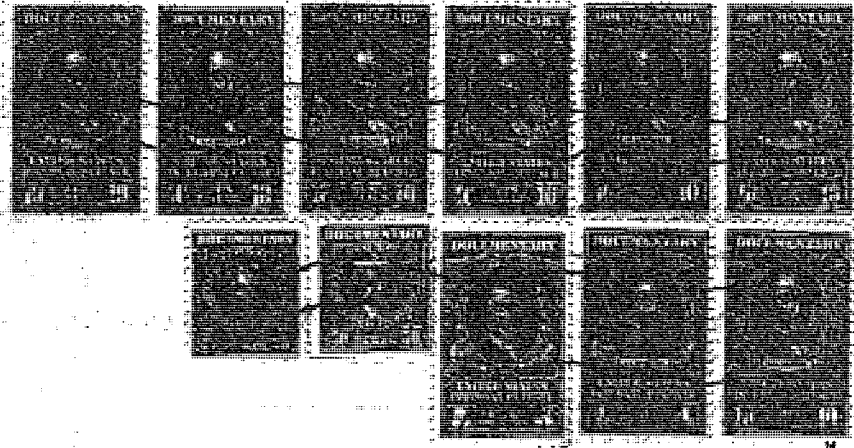
776306

This Indenture, Made this 3rd day of January  
 in the year of our Lord, one thousand nine hundred and Forty-nine  
 . Coca Cola Bottling Company of Madison a corporation,  
 duly organized and existing under the laws of the State of Wisconsin and having its principal  
 office in the City of Madison and State of Wisconsin of the first part and  
 Refrigeration Equipment Company a corporation,

000855

Witnesseth, That the said party of the first part, for and in consideration of the sum of  
 One Dollar and other valuable consideration ~~Dollars~~  
 to it in hand paid by the said party of the second part, the receipt whereof is hereby confessed and ac-  
 knowledged, has given, granted, bargained, sold, remised, released, aliened, conveyed and confirmed  
 and by these presents does give, grant, bargain, sell, remise, release, alien, convey and confirm unto the  
 said party of the second part, its successors and assigns, forever, the following described real estate, situ-  
 ated in the County of Dane and the State of Wisconsin, to-wit:

The southwest 41 feet of Lot 13, and all of  
 Lots 14 and 15 of Block 217, in the City of Madison  
 according to Farwells Replat thereof.



Together with all and singular the hereditaments and appurtenances thereunto belonging, or in any-  
 wise appertaining; and all the estate, right, title, interest, claim or demand whatsoever of the said  
 party of the first part either in law or equity, either in possession or expectancy of, in and to the above  
 bargained premises and their hereditaments and appurtenances, TO HAVE AND TO HOLD the said  
 premises as above described, with the hereditaments and appurtenances, unto the said party of the second  
 part and to its successors and assigns forever.

And the said grantor, for itself and its successors doth hereby covenant, grant, bargain and agree to  
 and with the said party of the second part, its successors and assigns, that at the time of the sealing  
 and delivery of these presents that the said party of the first part is well seized of the premises above,  
 described, as of a good, sure, perfect, absolute and indefeasible estate of inheritance in the law, in  
 fee simple, and that the same are free and clear from all incumbrances whatever. except  
 building and other restrictions imposed by law or ordinance.

and doth  
 further covenant that the above bargained premises, in the quiet and peaceable possession of the said  
 party of the second part, its successors and assigns, against all and every person or persons lawfully  
 claiming the whole or any part thereof, it and they shall and will forever WARRANT AND DEFEND.

PHILIP H. HINTZE

REGISTERED CIVIL ENGINEER

MADISON, WISCONSIN

111 S. Hamilton  
103-107-111-1111N ST.

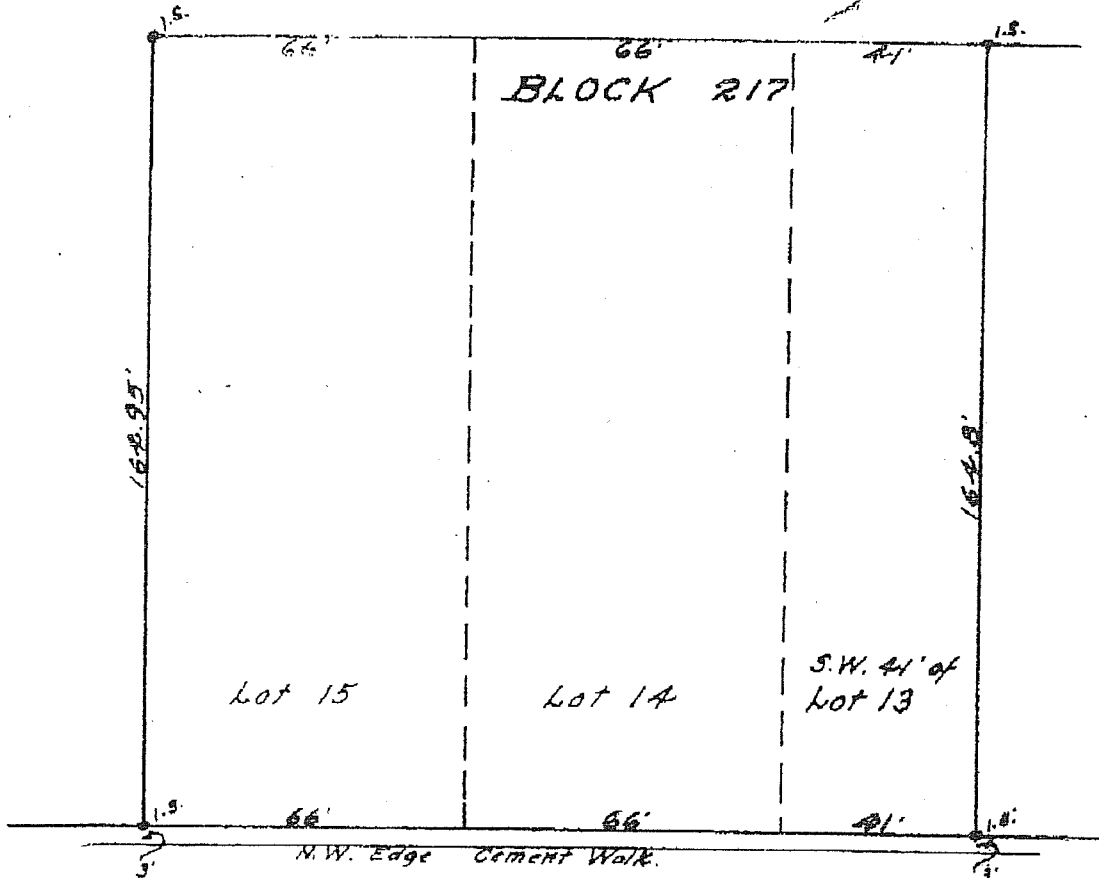
56698

000857

PLAT OF SURVEY

DESCRIBED AS FOLLOWS: Lots 14 & 15 & S.W. 41' of Lot 13 of BLK. A  
217, Farwell's Replot, City of Madison.

Scale 1"=50'



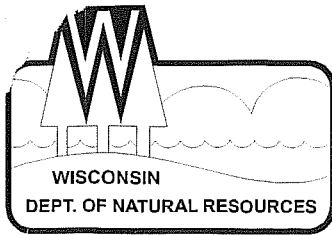
EAST WASHINGTON AVE.

STATE OF WISCONSIN } S.S.  
COUNTY OF DANE

I, Philip H. Hintze DO HEREBY CERTIFY THAT I HAVE MADE THE ABOVE SURVEY  
ON THE 23rd DAY OF November 1948 AND THAT THE SURVEY OF THE LOTS  
AND THE INFORMATION RELATIVE TO ALL EXISTING BUILDINGS ON EACH LOT ALL AS SHOWN ON SAID  
SURVEY, IS COMPLETE AND CORRECT.

SIGNED Philip H. Hintze





State of Wisconsin \ DEPARTMENT OF NATURAL RESOURCES

Tommy G. Thompson, Governor  
George E. Meyer, Secretary  
Ruthe E. Badger, Regional Director

South Central Region Headquarters  
3911 Fish Hatchery Road  
Fitchburg, Wisconsin 53711-5397  
Telephone 608-275-3266  
FAX 608-275-3338  
TDD 608-275-3231

October 28, 1999

File Ref.: 03-13-000521

Mr Gary Messner  
Messners Inc  
1326 East Washington Avenue  
Madison, WI 53703

Subject: Closure Request, Messners Inc., 1326 East Washington Avenue, Madison

Dear Mr. Messner:

On March 5, 1999 your site was reviewed for closure by the South Central Region Closure Committee. This committee reviews environmental remediation cases for compliance with state laws and standards to maintain consistency in the closure of these cases. On September 2, 1999, you were notified that the Closure Committee had granted conditional closure to this case.

On September 22, 1999 the Department received copies of the recorded groundwater use restriction indicating that you have complied with the conditions of closure. Based on the correspondence and data provided, it appears that your site has been remediated to Department standards in accordance with s. NR 726.05, Wis. Adm. Code. The Department considers this case closed and no further investigation, remediation or other action is required at this time. However, please be aware that this case may be reopened pursuant to s. NR 726.09, Wis. Adm. Code, if additional information regarding site conditions indicates that contamination on or migrating from the site poses a threat to public health, safety, welfare or the environment.

The Department appreciates your efforts in the restoration and protection of the environment. If you have any questions regarding this letter, please contact me at the above address or by telephone at 608-275-3465.

Sincerely,

Lawrence J. Lester  
Remediation & Redevelopment Hydrogeologist

cc: Culp, BT Squared

**PHASE I ENVIRONMENTAL SITE ASSESSMENT  
 QUESTIONNAIRE**

This questionnaire has been adopted from the ASTM Standard for Environmental Site Assessments E1527-00 and E1528-00. Sigma Environmental Services, Inc. (Sigma) asks that each of the following questions be answered to the best of your knowledge and in good faith.

**Description of Property**

Address: 1316/1318 and 1326 East Washington Avenue, Madison, Wisconsin

Property Size: \_\_\_\_\_ Acres \_\_\_\_\_ Square Feet

1. Is/was the property used for industrial purposes? Is/was any adjoining property used for an industrial purpose? If yes, please specify industry/processes and location on or adjacent to the subject property.

YES, 1318 - SERVICE DEPT. TO REPAIR JANITORIAL EQUIPMENT AND PREVIOUS TO THAT WAS THE SERVICE DEPT. TO REPAIR RESTAURANT EQUIPMENT. YES, 1326 TO SELL JANITORIAL AND RESTAURANT EQUIPMENT & SUPPLIES. NO - 1314

2. Is/was the property used for gasoline stations, motor repair facilities, commercial printing facilities, dry cleaners, photo developing laboratories, junkyards, landfills, waste treatment, storage and disposal facilities, or recycling facilities? Is/was any adjoining property used for the purposes noted above? If yes, please specify use and site location.

NO

3. Are there any damaged or discarded automobiles, industrial batteries, pesticides, paints, or other chemicals in individual containers of greater than five (5) gallons or fifty (50) gallons in aggregate, stored or used on the property? Have they been used or stored on the property in the past? If yes, please specify material/chemical, storage and use location.

YES 1318, 1326 SOME OF THE JANITORIAL EQUIPMENT WAS BATTERY POWERED SO THEY WERE IN THE MACHINES AND WE STOCKED REPLACEMENTS.

YES, WE SOLD A VARIETY OF CLEANING AND JANITORIAL PRODUCTS FROM ~~ONE~~ PINT SIZE UP TO 55 GALLONS, IT WAS PART OF OUR NORMAL INVENTORY ON A DAILY BASIS ALL ON THE FIRST FLOOR OF 1326

4. Are there any industrial drums or sacks of chemicals stored on the property? Have any been stored in the past? If yes, please list chemicals stored and their storage location.

NO CURRENTLY

YES, WE SOLD A VARIETY OF JANITORIAL PRODUCTS BY 55 GALLON DRUM OR SMALLER ALL ON 1<sup>ST</sup> FLOOR,

JANITORIAL PRODUCTS CAN BE CLEANERS, DISINFECTANTS, FLOOR FINISH, ICE MELTER, FLOOR STRIPPER ETC.

5. Are there any registered or unregistered storage tanks (above or under ground) located on the property? Were any located on the property in the past? If yes, please indicate location, size, contents and status. Also, indicate the method for filling and emptying the tank(s).

NO CURRENTLY

YES, THERE WAS A <sup>GASOLINE</sup> 500 GALLON TANK THAT STRADDLED THE PROPERTY LINE TOWARDS THE YAHARA RIVER / MULLINS PROPERTY, HALF WAY FROM E WASH TO THE NORTH, TANK HAS BEEN REMOVED & SOIL REMEDIATED

6. Has any fill material been placed on the property? Did the fill material originated from a contaminated or unknown site? Has foundry sand been brought onto the property? If yes, please indicate type of fill and location on property.

NO OTHER THAN FILL TO FILL IN HOLE OF REMOVED GAS TANK DONE BY BT<sup>2</sup>

7. Are there any pits, ponds, or lagoons located on the property in connection with waste treatment or waste disposal? Were any previously located on the property? If yes, please specify treatment or disposal and location on-site.

NO, NO

8. Is there currently any stained soil on the property? Was there in the past? If yes, please identify location, source and remedial efforts performed, if any.

GAS TANK SOIL WAS REMEDIATED BY BT<sup>2</sup> IN 1980'S / 90'S ? DNR HAS CLOSED THE FILE

9. Are there any vent pipes, fill pipes or access ways indicating a fill pipe protruding from the ground on the property or any adjacent properties? Were there any in the past? If yes, please indicate location and source, if known.

NO, YES OLD GAS TANK, MID WAY ON PROPERTY LINE TOWARDS  
YANNA RIVER / MULLINS PROPERTY

10. Is there currently any evidence of leaks, spills or stains by substances other than water, or foul odors, associated with any flooring, drains, walls ceilings or exposed grounds on the property? Were there any in the past? If yes, please note location and any potential source.

NO

11. Is/was the property serviced by a private or public well? Have/were contaminants been identified in the well or system which exceed applicable water guidelines or has the well been designated as contaminated by any governmental/health agency? If yes, please identify regulatory agency and known contaminants.

CITY WATER

12. Do you, the owner or occupant, have knowledge of any past or present environmental liens or governmental notifications relating to past or recurrent violations of environmental law? If yes, please specify liens, notifications, or violations.

NO

13. Do you, the owner or occupant, have knowledge of the past or current existence of hazardous substances or petroleum products on the property or of any environmental violations with respects to these substances? If yes, please specify substance, products, locations or violations.

YES, HAD AN OLD GAS TANK THAT WAS REMOVED, NO VIOLATIONS  
YES - SOME OF THE PRODUCTS WE SOLD MAY HAVE BEEN LISTED HAZARDOUS / CORROSIVE  
BUT NO VIOLATIONS, ALL ON FIRST FLOOR

- 14. Do you, the owner or occupant, have any knowledge of any past environmental site assessments that indicated the presence of hazardous substances or petroleum products on the property, or the contamination of the property, which recommended a further assessment? Please provide copies of all previous environmental site assessment reports.

NO ALL ISSUES HAVE BEEN REMEDIATED, SEE DNR CLOSURE REPORT  
& BT<sup>2</sup> DATA ALREADY SUPPLIED

- 15. Do you, the owner or occupant, have any knowledge of past, present, or threatened lawsuits or administrative proceedings concerning a release or threatened release of any hazardous substance or petroleum product on or involving the property? If yes, please identify lawsuit plaintiff/defendant or administrative agency in addition to date of release and release material.

NO

- 16. If applicable, do you the owner or occupant, have any knowledge that the actual purchase price of the property is significantly less than comparable properties. If yes, please provide an explanation of the lower price.

NO

- 17. Does/did the property discharge waste water, other than sanitary waste or storm water, onto or adjacent to the property? To a storm water system? To a sanitary sewer? If yes, please identify water source and discharge location.

NO

18. Are/were any hazardous substances, petroleum products, unidentified waste materials, tires, automotive or industrial batteries, or any other waste materials dumped above grade, buried, and/or burned on the property? If yes, please indicate type of substance, material, or waste, and location on property.

NO

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19. Is/were there any transformers, capacitors, or any hydraulic equipment for which there are any records indicating the presence of PCBs? If yes, please indicate location of unit, level of PCBs, and status.

NO

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20. Has asbestos or asbestos-containing building materials been identified on the property? If yes, please indicate type, amount, and location of asbestos or asbestos-containing building material. If removed, please provide abatement contractor name, amount and type removed, and disposal location.

NO

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---

---

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21. If the property is agricultural, please identify all pesticide and/or herbicide products used on the property in addition to their storage, mixing, and use locations.

NO

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---

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22. Do you have any knowledge of the property being included on any of the following lists? NO

- National Priorities List (Superfund)
- CERCLIS List
- CERCLIS – NFRAP List
- RCRA TSD Facilities
- RCRIS CORRACTS LIST
- Federal ERNS List

- State Hazardous Waste Site Lists
- State CERCLIS
- State Solid Waste Facility/Landfill
- Registered Underground Storage Tank List
- Leaking Underground Storage Tank List

This questionnaire was completed by:

Name: KURT MESSNER

Title: PRESIDENT

Firm: 1326 HOLDINGS INC

Address: 7393 MAOLI RD  
VERONA WI 53593

Phone Number: 608-444-7731 Date: 10-13-15

Relationship to site: ~~OWNER~~ PART OWNER 1326 Years on site: 1979  
MANAGER OF 1314, 1318

Preparer represents that, to the best of the preparer's knowledge, the above statements and facts are true and correct. In addition, to the best of the preparer's knowledge, no material facts have been suppressed or misstated.

KURT MESSNER  
Print Name

PRESIDENT  
Title

Kurt M  
Signature

10-13-15  
Date

## **APPENDIX C**

**Environmental Data Resources, Inc., Radius Map™ Report**



**1316-1318 East Washington Avenue**

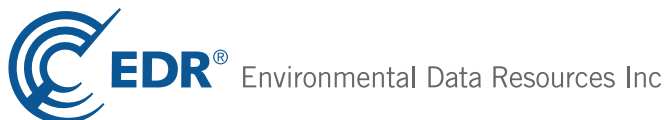
1316 East Washington Avenue

Madison, WI 53703

Inquiry Number: 4432027.2s

October 07, 2015

## EDR Summary Radius Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

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***Thank you for your business.***  
 Please contact EDR at 1-800-352-0050  
 with any questions or comments.

### Disclaimer - Copyright and Trademark Notice

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## EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### TARGET PROPERTY INFORMATION

#### ADDRESS

1316 EAST WASHINGTON AVENUE  
MADISON, WI 53703

#### COORDINATES

Latitude (North): 43.0881000 - 43° 5' 17.16"  
Longitude (West): 89.3658000 - 89° 21' 56.88"  
Universal Transverse Mercator: Zone 16  
UTM X (Meters): 307434.1  
UTM Y (Meters): 4773100.0  
Elevation: 857 ft. above sea level

#### USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property: TP  
Source: U.S. Geological Survey

Target Property: SW  
Source: U.S. Geological Survey

#### AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20100702  
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:  
1316 EAST WASHINGTON AVENUE  
MADISON, WI 53703

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
A1		1326 E WASHINGTON AV	WI LUST, WI UST, WI CRS, WI AUL, WI BRRTS	Lower	37, 0.007, South
2		1321 E MIFFLIN ST	WI UST	Higher	147, 0.028, WNW
A3	ENVIRONMENTAL CONSTR	10 S BALDWIN ST	WI SHWIMS	Lower	244, 0.046, South
B4		1401 E WASHINGTON AV	WI UST	Lower	279, 0.053, ENE
B5	1401 E WASHINGTON AV	1401 E WASHINGTON AV	WI LUST	Lower	279, 0.053, ENE
B6	WEHR CORP CARNES DIV	24 S DICKENSON	RCRA NonGen / NLR, FINDS	Lower	283, 0.054, East
C7	CONVEREX INC	40 S BALDWIN	WI SHWIMS, RCRA NonGen / NLR, FINDS	Lower	320, 0.061, South
8	TRACHTE BUILDING SYS	102 N DICKINSON ST	WI SHWIMS, RCRA NonGen / NLR	Higher	330, 0.062, North
B9	WEHR CORP CARNES DIV	24 S DICKINSON	WI SHWIMS	Lower	350, 0.066, East
B10	RMT INC	1406 E WASHINGTON AV	WI SHWIMS, WI SPILLS, RCRA NonGen / NLR, FINDS	Lower	388, 0.073, ENE
11		1305 E DAYTON ST	WI UST	Higher	494, 0.094, WNW
C12		99 S BALDWIN ST	WI UST	Lower	500, 0.095, SSE
C13	MARQUIP INC	99 S BALDWIN ST	WI LUST, WI CRS, WI AUL, WI BROWNFIELDS, WI BRRTS	Lower	500, 0.095, SSE
C14		101 S BALDWIN ST	WI UST	Lower	507, 0.096, SSE
C15	MAGAEL 100 S BALDWIN	100 S BALDWIN ST	RCRA NonGen / NLR, FINDS	Lower	508, 0.096, SSE
C16	MAGAEL	100 S BALDWIN ST	WI ERP, WI SHWIMS, WI CRS, WI AUL	Lower	508, 0.096, SSE
C17		100 S BALDWIN	WI UST, WI AST	Lower	508, 0.096, SSE
D18		1245 E WASHINGTON AV	WI UST	Lower	561, 0.106, SSW
D19	MARQUIP INC	1245 E WASHINGTON AV	WI ERP, WI SHWIMS, WI LUST, RCRA NonGen / NLR,...	Lower	561, 0.106, SSW
E20	BADGER WELDING SUPPL	101 S DICKINSON ST	RCRA NonGen / NLR, FINDS	Lower	563, 0.107, ESE
E21		101 S DICKINSON ST	WI UST	Lower	563, 0.107, ESE
E22		101 S DICKINSON ST	EDR US Hist Auto Stat	Lower	563, 0.107, ESE
E23	BADGER WELDING SUPPL	101 S DICKINSON ST	WI SHWIMS, WI LUST	Lower	563, 0.107, ESE
F24		120 S BALDWIN	WI AST	Lower	576, 0.109, SSE
F25	MADISON GAS & ELECTR	120 S BALDWIN ST	RCRA-SQG, WI SHWIMS, FINDS, WI MANIFEST	Lower	576, 0.109, SSE
D26	QUALITY AUTO PAINTIN	1240 E WASHINGTON AV	RCRA-CESQG, WI SHWIMS, WI BROWNFIELDS, FINDS, WI...	Lower	585, 0.111, SW
D27		1240 E WASHINGTON AV	EDR US Hist Auto Stat	Lower	585, 0.111, SW
D28	MADISON FIRE DEPT MA	1234 E WASHINGTON AV	WI LUST	Lower	625, 0.118, SW
D29		1234 E WASHINGTON AV	WI UST, WI AST	Lower	631, 0.120, SW
30		1427 E DAYTON ST	WI UST	Higher	690, 0.131, North
E31		110 S DICKINSON ST	WI UST, WI AST	Lower	737, 0.140, ESE
E32	BOCK WATER HEATERS I	110 S DICKENSON	RCRA-CESQG	Lower	737, 0.140, ESE
E33	BOCK WATER HEATERS I	110 S DICKINSON ST	WI SHWIMS, WI NPDES	Lower	737, 0.140, ESE
E34	NORTHERN PLATING INC	1401 NORTHERN CT	WI SHWIMS, RCRA NonGen / NLR, WI MANIFEST	Lower	743, 0.141, ESE
G35	HEALTHY PET VETERINA	1440 E WASHINGTON AV	WI SHWIMS	Lower	767, 0.145, NE
D36		1212 E WASHINGTON AV	WI UST	Lower	772, 0.146, SW
G37	GREAT BIG PICTURES	1444 E WASHINGTON AV	WI ERP	Lower	782, 0.148, NE
38		1319 E JOHNSON ST	WI UST	Higher	795, 0.151, NW
H39		1433 E MAIN ST	WI UST	Lower	846, 0.160, East

MAPPED SITES SUMMARY

Target Property Address:  
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MADISON, WI 53703

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MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
I40		1200 E WASHINGTON AV	EDR US Hist Auto Stat	Lower	851, 0.161, SW
I41		1200 E WASHINGTON AV	WI UST	Lower	851, 0.161, SW
I42	ROADWAY TRANSMISSION	1200 E WASHINGTON AV	WI LUST	Lower	851, 0.161, SW
G43		1462 E WASHINGTON	WI UST	Lower	853, 0.162, NE
G44	WALLER PROPERTY	1462 E WASHINGTON AV	WI LAST, WI LUST, WI AUL, WI BRRTS, WI WRRSER	Lower	853, 0.162, NE
G45		1464 E WASHINGTON AV	EDR US Hist Auto Stat	Lower	860, 0.163, NE
G46		1464 E WASHINGTON AV	WI UST	Lower	860, 0.163, NE
I47		12 N FEW ST	WI UST, WI AST, WI WRRSER	Lower	864, 0.164, SW
I48	BADGER CAB CO	12 N FEW ST	WI SHWIMS, WI LAST, WI LUST, RCRA NonGen / NLR,...	Lower	864, 0.164, SW
J49	WI STATE FEDERAL PRO	201 S DICKINSON ST	WI SHWIMS	Lower	871, 0.165, ESE
J50	WISC STATE OF FEDERA	201 S DICKINSON ST	RCRA NonGen / NLR, FINDS	Lower	871, 0.165, ESE
J51		201 S DICKINSON ST	WI UST, WI AST, WI Financial Assurance	Lower	871, 0.165, ESE
52	KASPER PROPERTY	1217 E DAYTON ST	WI ERP	Higher	873, 0.165, West
H53		1449 E MAIN ST	WI UST	Lower	896, 0.170, ENE
H54	US ARMY RESERVE 633R	1450 MAIN ST	WI SHWIMS	Lower	899, 0.170, ENE
H55	US ARMY RESERVE 633R	1450 MAIN ST	RCRA NonGen / NLR, FINDS	Lower	899, 0.170, ENE
H56		1450 E MAIN ST	WI UST	Lower	899, 0.170, ENE
H57	KIMPORT INVESTMENT C	1459 E MAIN ST	WI ERP, WI SHWIMS, WI CRS, WI AUL	Lower	904, 0.171, ENE
G58		1455 E WASHINGTON AV	WI LUST, WI UST, WI CRS, WI AUL, WI WRRSER	Lower	923, 0.175, NE
G59		1 SPARKLE CT	EDR US Hist Auto Stat	Lower	947, 0.179, NE
J60	PHILCORE BUILDERS IN	206 S DICKINSON ST	WI SHWIMS	Lower	1005, 0.190, ESE
K61		18 N THORNTON AVE	EDR US Hist Auto Stat	Lower	1011, 0.191, NE
K62		20 N THORNTON AVE	EDR US Hist Auto Stat	Lower	1012, 0.192, NE
K63	SPARKLE AUTO BODY	20 N THORNTON AVE	RCRA-CESQG, WI SHWIMS, FINDS, WI MANIFEST	Lower	1012, 0.192, NE
K64		22 N THORNTON AVE	EDR US Hist Auto Stat	Lower	1013, 0.192, NE
65		110 N THORNTON AVE	WI UST	Lower	1019, 0.193, NNE
K66		1860/1880 E WASHINGT	WI UST	Lower	1134, 0.215, NE
67		305 S DICKINSON ST	EDR US Hist Auto Stat	Higher	1212, 0.230, ESE
L68		1136 E WASHINGTON AV	WI UST	Lower	1269, 0.240, SW
69	WI DOA	202 S THORNTON	WI ERP, WI SHWIMS, WI LUST, WI CRS, WI AUL, WI...	Lower	1377, 0.261, East
L70	MADISON METRO TRANSI	1101 E WASHINGTON AV	RCRA-CESQG, WI SHWIMS, WI LUST, WI SPILLS, FINDS,...	Lower	1496, 0.283, SW
M71	SUNRISE OIL CO	1252 WILLIAMSON ST	WI SHWIMS, WI LUST, WI CRS, WI AUL, WI SPILLS,...	Higher	1569, 0.297, SSE
M72	SHAFFER PHARMACY	1255 WILLIAMSON ST	WI SHWIMS	Higher	1574, 0.298, SSE
N73	MARLING LUMBER	1801 E WASHINGTON AV	WI ERP, WI LAST, WI LUST, WI CRS, WI AUL, WI...	Lower	1620, 0.307, NE
O74	RESEARCH PRODUCTS CO	130 S INGERSOLL	WI SHWIMS, RCRA NonGen / NLR, FINDS, WI MANIFEST	Lower	1634, 0.309, SSW
75	OCTOPUS CAR WASH	1039 E WASHINGTON AV	WI SHWIMS, WI LUST, WI CRS, WI AUL, RCRA NonGen /...	Lower	1658, 0.314, SW
N76	AUTOMOTIVE REPAIR &	1831 E WASHINGTON AV	WI SHWIMS, WI LUST, WI CRS, WI AUL	Lower	1691, 0.320, NE
O77	JOHNSON PROPERTY	201 S INGERSOLL ST	WI ERP, WI LUST, WI LAST, WI CRS, WI AUL, WI...	Lower	1729, 0.327, SSW
78	MADISON GAS & ELECTR	303 S INGERSOLL ST	WI LUST, WI CRS, WI AUL	Lower	1916, 0.363, South

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MADISON, WI 53703

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MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
P79	WASHINGTON PLAZA	1860 - 1880 E WASHIN	WI LUST, WI CRS, WI AUL	Higher	1925, 0.365, NE
80	MADISON METROPOLITAN	104 FIRST ST	WI LUST, WI CRS, WI AUL	Higher	1952, 0.370, NE
81	SPEEDWAY/SUPERAMERIC	1130 WILLIAMSON	WI SHWIMS, WI LUST	Higher	1978, 0.375, South
Q82	SUTTLE STRAUS (FORME	1028 E WASHINGTON AV	WI ERP, WI SHWIMS, WI CRS, WI AUL, WI BRRTS	Lower	1984, 0.376, SW
P83	SHERWIN-WILLIAMS #35	1884 E WASHINGTON AV	WI SHWIMS, WI MANIFEST	Higher	2076, 0.393, NE
R84	RESEARCH PRODUCTS PR	1023 E MAIN ST	WI ERP, WI CRS, WI AUL	Lower	2078, 0.394, SSW
85	DEAN MEDICAL CENTER	1882 E MAIN ST	WI SHWIMS	Higher	2084, 0.395, ENE
R86	RESEARCH PRODUCTS CO	1015 E MAIN ST	RCRA-CESQG, WI SHWIMS, FINDS	Lower	2127, 0.403, SSW
P87	CAR CARE CLINIC	1894 E WASHINGTON AV	WI LUST, WI CRS, WI AUL, WI WRRSER	Higher	2139, 0.405, NE
Q88		1002 E WASHINGTON AV	WI LUST, WI UST, WI SPILLS, WI WRRSER	Lower	2155, 0.408, SW
89	MADISON WASTE OIL RE	120 N FIRST ST	WI ERP	Higher	2158, 0.409, NE
Q90	WASHINGTON CENTER AS	1001 E WASHINGTON AV	WI SHWIMS	Lower	2170, 0.411, SW
S91	MADISON CITY OF MOTO	200 N FIRST ST	RCRA-CESQG, WI SHWIMS, WI LUST, WI CRS, WI AUL, WI...	Lower	2196, 0.416, NNE
S92	MADISON CTY MUNICIPA	212 N 1ST ST	WI SHWIMS	Lower	2202, 0.417, NNE
S93	MADISON CTY MUNICIPA	212 N 1ST ST	WI ERP	Lower	2202, 0.417, NNE
T94	MADISON GAS & ELECTR	1043 EAST WILSON STR	WI ERP, WI SHWIMS, WI SPILLS, RCRA NonGen / NLR,...	Lower	2217, 0.420, SSW
U95	CURRAN PROPERTY	1223 SHERMAN AVE	WI LUST, WI CRS, WI AUL, WI WRRSER	Lower	2217, 0.420, WNW
V96	SHERMAN TERRACE SITE	35 SHERMAN TERRACE	WI LUST	Higher	2250, 0.426, NNW
V97	SHERMAN TERRACE SITE	36 SHERMAN TERRACE	WI LUST	Higher	2250, 0.426, NNW
U98	HART PROPERTY	1220 SHERMAN AVE	WI LUST, WI CRS, WI AUL	Lower	2251, 0.426, WNW
V99	SHERMAN TERRACE SITE	34 SHERMAN TERRACE	WI LUST	Higher	2264, 0.429, NNW
W100	MADISON RAILYARD	1890 E JOHNSON	WI SHWIMS, WI LUST, RCRA NonGen / NLR, FINDS	Lower	2286, 0.433, NNE
W101	LINDSAY FINISHES INC	1898 E JOHNSON ST	WI ERP, WI SHWIMS, WI UST, WI CRS, WI AUL, RCRA...	Lower	2291, 0.434, NNE
V102	SHERMAN TERRACE SITE	29 SHERMAN TERRACE	WI LUST	Higher	2292, 0.434, NNW
T103	BYRNS PROPERTIES LTD	211 S BREARLY ST	WI LUST, WI LAST, WI CRS, WI AUL, WI WRRSER	Lower	2296, 0.435, SSW
V104	SHERMAN TERRACE SITE	28 SHERMAN TERRACE	WI LUST	Higher	2308, 0.437, NNW
W105	1902 EAST JOHNSON ST	1902 E. JOHNSON STRE	CERCLIS	Lower	2317, 0.439, NNE
V106	SHERMAN TERRACE SITE	26 SHERMAN TERRACE	WI LUST	Higher	2322, 0.440, NNW
V107	SHERMAN TERRACE SITE	23 SHERMAN TERRACE	WI LUST	Higher	2335, 0.442, NNW
V108	SHERMAN TERRACE SITE	24 SHERMAN TERRACE	WI LUST	Higher	2337, 0.443, NNW
V109	SHERMAN TERRACE SITE	19 SHERMAN TERRACE	WI LUST	Higher	2363, 0.448, NNW
V110	SHERMAN TERRACE SITE	20 SHERMAN TERRACE	WI LUST	Higher	2366, 0.448, NNW
V111	SHERMAN TERRACE SITE	17 SHERMAN TERRACE	WI LUST	Lower	2380, 0.451, NNW
V112	SHERMAN TERRACE SITE	15 SHERMAN TERRACE	WI LUST	Lower	2396, 0.454, NNW
V113	SHERMAN TERRACE SITE	16 SHERMAN TERRACE	WI LUST	Higher	2397, 0.454, NNW
V114	SHERMAN TERRACE SITE	13 SHERMAN TERRACE	WI LUST	Lower	2413, 0.457, NNW
V115	SHERMAN TERRACE SITE	14 SHERMAN TERRACE	WI LUST	Higher	2413, 0.457, NNW
116	TENNY PARK LOCKS	1500 SHERMAN AVE	WI LUST	Lower	2423, 0.459, NNW
V117	SHERMAN TERRACE SITE	11 SHERMAN TERRACE	WI LUST	Lower	2430, 0.460, NNW

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MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
V118	SHERMAN TERRACE SITE	10 SHERMAN TERRACE	WI LUST	Higher	2447, 0.463, NNW
V119	SHERMAN TERRACE SITE	7 SHERMAN TERRACE	WI LUST	Lower	2463, 0.466, NNW
X120	EAST MADISON CLINIC	1912 ATWOOD AVE	WI SHWIMS	Higher	2468, 0.467, ENE
X121	1924 ATWOOD AVE LLC	1912-1924 ATWOOD AVE	WI BROWNFIELDS, WI BRRTS	Higher	2468, 0.467, ENE
122	HOLM PROPERTY	1020 SHERMAN AVE	WI LUST	Higher	2470, 0.468, West
V123	SHERMAN TERRACE SITE	5 SHERMAN TERRACE	WI LUST	Lower	2480, 0.470, NNW
V124	SHERMAN TERRACE SITE	6 SHERMAN TERRACE	WI LUST	Higher	2481, 0.470, NNW
Y125	SHERMAN TERRACE SITE	3 SHERMAN TERRACE	WI LUST	Lower	2497, 0.473, NNW
Y126	SHERMAN TERRACE SITE	4 SHERMAN TERRACE	WI LUST	Higher	2498, 0.473, NNW
Y127	SHERMAN TERRACE SITE	1 SHERMAN TERRACE	WI LUST	Lower	2513, 0.476, NNW
Y128	SHERMAN TERRACE SITE	2 SHERMAN TERRACE	WI LUST	Higher	2515, 0.476, NNW
Z129	CITY EMPLOYEES CREDI	949 E WASHINGTON AVE	WI LUST	Higher	2516, 0.477, SW
Z130	ANDRAE AUTOMOTIVE	945 E WASHINGTON AVE	WI SHWIMS, RCRA NonGen / NLR, FINDS	Higher	2543, 0.482, SW
131	MAUTZ PAINT CONTRACT	946 E MAIN ST	RCRA-CESQG, WI SHWIMS, WI MANIFEST	Lower	2574, 0.488, SW
Z132	MTC CO LLC	939 E WASHINGTON AVE	WI SHWIMS, WI LUST, WI CRS, WI AUL, WI SPILLS	Higher	2582, 0.489, SW
133	BRANDT ESTATE PROPER	620 S THORNTON AVE	WI LUST, WI AUL	Lower	2587, 0.490, ESE
Y134	WISCONSIN PHYSICIANS	1617 SHERMAN AVE	WI LUST	Higher	2588, 0.490, NNW
X135	ARATEX SERVICES	1910 WINNEBAGO ST	WI LUST, WI CRS, WI AUL, WI WRRSER	Higher	2622, 0.497, ENE
136	BREESE STEVENS FIELD	902 E WASHINGTON AVE	WI ERP	Higher	2818, 0.534, SW
137	DONDE LLP	211 S PATERSON ST	WI ERP, WI LAST, WI CRS, WI AUL	Higher	2965, 0.562, SSW
138	351 RUSSELL ST SITE	351 RUSSELL ST	WI ERP	Higher	3012, 0.570, ENE
139	BLOCK SYSTEMS INC	2017 WINNEBAGO ST	RCRA-CESQG, WI ERP, WI SHWIMS, WI BROWNFIELDS, WI..	Higher	3272, 0.620, ENE
140	DON MILLER PROPERTY	802 E WASHINGTON AVE	WI ERP, WI CRS, WI AUL, WI BRRTS	Lower	3474, 0.658, SW
AA141	HOOPER PIPE FABRICAT	2080 PENNSYLVANIA AV	WI ERP, WI LUST, WI AUL	Lower	3530, 0.669, NNE
142	MADISON GAS & ELECTR	LIVINGSTON & MAIN ST	WI ERP, WI CRS, WI AUL	Lower	3624, 0.686, SW
AB143	STRUCK & IRWIN PAVIN	826 WILLIAMSON ST	WI ERP, WI SHWIMS, WI LUST, WI CRS, WI AUL	Higher	3633, 0.688, SSW
AA144	HOOPER CORP	2098-2180 PENNSYLVAN	WI ERP	Lower	3684, 0.698, NNE
AB145	LAFEVER PROPERTY	812 WILLIAMSON ST	WI ERP, WI SPILLS	Higher	3715, 0.704, SSW
AB146	MADISON CTY	S LIVINGSTON & E WIL	WI ERP	Lower	3794, 0.719, SSW
147	SEARS ROEBUCK AND CO	2102 FORDEM AVE	RCRA-CESQG, WI ERP, WI SHWIMS, WI CRS, WI AUL,...	Lower	3897, 0.738, North
148	CAPITAL WATER SOFTEN	2096 HELENA ST	WI ERP, WI LAST, WI CRS, WI AUL	Higher	3991, 0.756, ENE
AC149	MADISON GAS & ELECTR	717 E MAIN ST	RCRA-SQG, WI ERP, WI SHWIMS, WI CRS, WI AUL, WI...	Lower	4067, 0.770, SW
150	CENTURYLINK - MADISO	710 E MIFFLIN	WI ERP, WI CRS, WI AUL, WI TIER 2	Higher	4082, 0.773, SW
AC151	MADISON GAS AND ELEC	713-725 E MAIN STREE	EDR MGP	Lower	4092, 0.775, SW
152	620 E JOHNSON ST	620 E JOHNSON ST	WI ERP	Higher	4744, 0.898, WSW
153	FISH PROPERTY	2237 SHERMAN AVE	WI ERP, WI BROWNFIELDS, WI BRRTS	Lower	5071, 0.960, North
154	RAYOVAC CORP (FORMER	2317 WINNEBAGO ST	WI ERP, WI SHWIMS, WI LUST, WI AUL, WI VCP, WI...	Higher	5196, 0.984, NE

# EXECUTIVE SUMMARY

## TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

## SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

## STANDARD ENVIRONMENTAL RECORDS

### ***Federal CERCLIS list***

CERCLIS: A review of the CERCLIS list, as provided by EDR, and dated 10/25/2013 has revealed that there is 1 CERCLIS site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
1902 EAST JOHNSON ST	1902 E. JOHNSON STRE	NNE 1/4 - 1/2 (0.439 mi.)	W105	45

### ***Federal RCRA generators list***

RCRA-SQG: A review of the RCRA-SQG list, as provided by EDR, and dated 06/09/2015 has revealed that there is 1 RCRA-SQG site within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>MADISON GAS &amp; ELECTR</i></b>	<b><i>120 S BALDWIN ST</i></b>	<b><i>SSE 0 - 1/8 (0.109 mi.)</i></b>	<b><i>F25</i></b>	<b><i>16</i></b>

RCRA-CESQG: A review of the RCRA-CESQG list, as provided by EDR, and dated 06/09/2015 has revealed that there are 3 RCRA-CESQG sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b><i>QUALITY AUTO PAINTIN</i></b>	<b><i>1240 E WASHINGTON AV</i></b>	<b><i>SW 0 - 1/8 (0.111 mi.)</i></b>	<b><i>D26</i></b>	<b><i>16</i></b>
<b><i>BOCK WATER HEATERS I</i></b>	<b><i>110 S DICKENSON</i></b>	<b><i>ESE 1/8 - 1/4 (0.140 mi.)</i></b>	<b><i>E32</i></b>	<b><i>18</i></b>
<b><i>SPARKLE AUTO BODY</i></b>	<b><i>20 N THORNTON AVE</i></b>	<b><i>NE 1/8 - 1/4 (0.192 mi.)</i></b>	<b><i>K63</i></b>	<b><i>27</i></b>



## EXECUTIVE SUMMARY

### **State- and tribal - equivalent CERCLIS**

WI ERP: A review of the WI ERP list, as provided by EDR, and dated 07/13/2015 has revealed that there are 32 WI ERP sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
KASPER PROPERTY Status: CLOSED Site Id: 4454500 Facility ID: NONE	1217 E DAYTON ST	W 1/8 - 1/4 (0.165 mi.)	52	24
MADISON WASTE OIL RE Status: CLOSED Site Id: 4405900 Facility ID: 113176800	120 N FIRST ST	NE 1/4 - 1/2 (0.409 mi.)	89	39
BREESE STEVENS FIELD Status: OPEN Site Id: 18751900 Facility ID: NONE	902 E WASHINGTON AVE	SW 1/2 - 1 (0.534 mi.)	136	53
<b>DONDE LLP</b> Status: CLOSED Site Id: 7227300 Facility ID: NONE	<b>211 S PATERSON ST</b>	<b>SSW 1/2 - 1 (0.562 mi.)</b>	<b>137</b>	<b>54</b>
351 RUSSELL ST SITE Status: OPEN Site Id: 27968000 Facility ID: NONE	351 RUSSELL ST	ENE 1/2 - 1 (0.570 mi.)	138	54
<b>BLOCK SYSTEMS INC</b> Status: OPEN Site Id: 732800 Facility ID: 113153590	<b>2017 WINNEBAGO ST</b>	<b>ENE 1/2 - 1 (0.620 mi.)</b>	<b>139</b>	<b>54</b>
<b>STRUCK &amp; IRWIN PAVIN</b> Status: CLOSED Site Id: 1464600 Facility ID: 113208810	<b>826 WILLIAMSON ST</b>	<b>SSW 1/2 - 1 (0.688 mi.)</b>	<b>AB143</b>	<b>56</b>
<b>LAFEVER PROPERTY</b> Status: CLOSED Site Id: 7228100 Facility ID: NONE	<b>812 WILLIAMSON ST</b>	<b>SSW 1/2 - 1 (0.704 mi.)</b>	<b>AB145</b>	<b>57</b>
<b>CAPITAL WATER SOFTEN</b> Status: CLOSED Site Id: 9235400 Facility ID: NONE	<b>2096 HELENA ST</b>	<b>ENE 1/2 - 1 (0.756 mi.)</b>	<b>148</b>	<b>59</b>
<b>CENTURYLINK - MADISO</b> Status: CLOSED Site Id: 26894000 Facility ID: NONE	<b>710 E MIFFLIN</b>	<b>SW 1/2 - 1 (0.773 mi.)</b>	<b>150</b>	<b>60</b>
620 E JOHNSON ST Status: CLOSED Site Id: 22183900 Facility ID: NONE	620 E JOHNSON ST	WSW 1/2 - 1 (0.898 mi.)	152	61
<b>RAYOVAC CORP (FORMER</b>	<b>2317 WINNEBAGO ST</b>	<b>NE 1/2 - 1 (0.984 mi.)</b>	<b>154</b>	<b>62</b>

## EXECUTIVE SUMMARY

Status: CLOSED  
 Site Id: 669100  
 Facility ID: 113009270

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MAGAEL</b> Status: CLOSED Site Id: 1373700 Facility ID: 113195170	<b>100 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.096 mi.)</b>	<b>C16</b>	<b>13</b>
<b>MARQUIP INC</b> Status: CLOSED Site Id: 1358900 Facility ID: 113183400	<b>1245 E WASHINGTON AV</b>	<b>SSW 0 - 1/8 (0.106 mi.)</b>	<b>D19</b>	<b>14</b>
<b>GREAT BIG PICTURES</b> Status: CLOSED Site Id: 4442100 Facility ID: NONE	<b>1444 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.148 mi.)</b>	<b>G37</b>	<b>19</b>
<b>KIMPORT INVESTMENT C</b> Status: CLOSED Site Id: 7567500 Facility ID: NONE	<b>1459 E MAIN ST</b>	<b>ENE 1/8 - 1/4 (0.171 mi.)</b>	<b>H57</b>	<b>26</b>
<b>WI DOA</b> Status: CLOSED Site Id: 1230500 Facility ID: 113160960	<b>202 S THORNTON</b>	<b>E 1/4 - 1/2 (0.261 mi.)</b>	<b>69</b>	<b>29</b>
<b>MARLING LUMBER</b> Status: CLOSED Site Id: 3731300 Facility ID: NONE	<b>1801 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.307 mi.)</b>	<b>N73</b>	<b>32</b>
<b>JOHNSON PROPERTY</b> Status: CLOSED Site Id: 3307300 Facility ID: NONE	<b>201 S INGERSOLL ST</b>	<b>SSW 1/4 - 1/2 (0.327 mi.)</b>	<b>O77</b>	<b>34</b>
<b>SUTTLE STRAUS (FORME)</b> Status: CLOSED Site Id: 636000 Facility ID: 113183730	<b>1028 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.376 mi.)</b>	<b>Q82</b>	<b>36</b>
<b>RESEARCH PRODUCTS PR</b> Status: CLOSED Site Id: 7119600 Facility ID: NONE	<b>1023 E MAIN ST</b>	<b>SSW 1/4 - 1/2 (0.394 mi.)</b>	<b>R84</b>	<b>37</b>
<b>MADISON CTY MUNICIPA</b> Status: OPEN Site Id: 7999100 Facility ID: 113214420	<b>212 N 1ST ST</b>	<b>NNE 1/4 - 1/2 (0.417 mi.)</b>	<b>S93</b>	<b>40</b>
<b>MADISON GAS &amp; ELECTR</b> Status: CLOSED Site Id: 2693000 Facility ID: 113251820	<b>1043 EAST WILSON STR</b>	<b>SSW 1/4 - 1/2 (0.420 mi.)</b>	<b>T94</b>	<b>41</b>
<b>LINDSAY FINISHES INC</b>	<b>1898 E JOHNSON ST</b>	<b>NNE 1/4 - 1/2 (0.434 mi.)</b>	<b>W101</b>	<b>43</b>

## EXECUTIVE SUMMARY

Status: CLOSED Site Id: 642600 Facility ID: 113165470				
<b>DON MILLER PROPERTY</b>	<b>802 E WASHINGTON AVE</b>	<b>SW 1/2 - 1 (0.658 mi.)</b>	<b>140</b>	<b>55</b>
Status: CLOSED Site Id: 23739900 Facility ID: NONE				
<b>HOOPER PIPE FABRICAT</b>	<b>2080 PENNSYLVANIA AV</b>	<b>NNE 1/2 - 1 (0.669 mi.)</b>	<b>AA141</b>	<b>56</b>
Status: CLOSED Site Id: 4508300 Facility ID: NONE				
<b>MADISON GAS &amp; ELECTR</b>	<b>LIVINGSTON &amp; MAIN ST</b>	<b>SW 1/2 - 1 (0.686 mi.)</b>	<b>142</b>	<b>56</b>
Status: CLOSED Site Id: 4458300 Facility ID: NONE				
HOOPER CORP	2098-2180 PENNSYLVAN	NNE 1/2 - 1 (0.698 mi.)	AA144	57
Status: CLOSED Site Id: 20626000 Facility ID: NONE				
MADISON CTY	S LIVINGSTON & E WIL	SSW 1/2 - 1 (0.719 mi.)	AB146	58
Status: CLOSED Site Id: 4459400 Facility ID: NONE				
<b>SEARS ROEBUCK AND CO</b>	<b>2102 FORDEM AVE</b>	<b>N 1/2 - 1 (0.738 mi.)</b>	<b>147</b>	<b>58</b>
Status: CLOSED Site Id: 2946800 Facility ID: 113266340				
<b>MADISON GAS &amp; ELECTR</b>	<b>717 E MAIN ST</b>	<b>SW 1/2 - 1 (0.770 mi.)</b>	<b>AC149</b>	<b>59</b>
Status: CLOSED Site Id: 1083800 Facility ID: 113004430				
<b>FISH PROPERTY</b>	<b>2237 SHERMAN AVE</b>	<b>N 1/2 - 1 (0.960 mi.)</b>	<b>153</b>	<b>61</b>
Status: OPEN Site Id: 26231900 Facility ID: NONE				

### **State and tribal landfill and/or solid waste disposal site lists**

WI SHWIMS: A review of the WI SHWIMS list, as provided by EDR, and dated 06/24/2015 has revealed that there are 41 WI SHWIMS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>TRACHTE BUILDING SYS</b> FID: 113061410 Status: MOVED	<b>102 N DICKINSON ST</b>	<b>N 0 - 1/8 (0.062 mi.)</b>	<b>8</b>	<b>10</b>
<b>SUNRISE OIL CO</b> FID: 113257100 Status: OPERATING	<b>1252 WILLIAMSON ST</b>	<b>SSE 1/4 - 1/2 (0.297 mi.)</b>	<b>M71</b>	<b>31</b>
SHAFER PHARMACY	1255 WILLIAMSON ST	SSE 1/4 - 1/2 (0.298 mi.)	M72	32

## EXECUTIVE SUMMARY

FID: 113294610 Status: OPERATING				
<b>SPEEDWAY/SUPERAMERIC</b>	<b>1130 WILLIAMSON</b>	<b>S 1/4 - 1/2 (0.375 mi.)</b>	<b>81</b>	<b>36</b>
FID: 113192640 Status: UNKNOWN				
<b>SHERWIN-WILLIAMS #35</b>	<b>1884 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.393 mi.)</b>	<b>P83</b>	<b>37</b>
FID: 113395810 Status: OPERATING				
DEAN MEDICAL CENTER	1882 E MAIN ST	ENE 1/4 - 1/2 (0.395 mi.)	85	37
FID: 113249510 Status: CLOSED				
EAST MADISON CLINIC	1912 ATWOOD AVE	ENE 1/4 - 1/2 (0.467 mi.)	X120	49
FID: 113296920 Status: MOVED				
<b>ANDRAE AUTOMOTIVE</b>	<b>945 E WASHINGTON AVE</b>	<b>SW 1/4 - 1/2 (0.482 mi.)</b>	<b>Z130</b>	<b>51</b>
FID: 113180540 Status: UNKNOWN				
<b>MTC CO LLC</b>	<b>939 E WASHINGTON AVE</b>	<b>SW 1/4 - 1/2 (0.489 mi.)</b>	<b>Z132</b>	<b>52</b>
FID: 113006190 Status: CLOSED				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ENVIRONMENTAL CONSTR FID: 113352470 Status: OPERATING	10 S BALDWIN ST	S 0 - 1/8 (0.046 mi.)	A3	9
<b>CONVEREX INC</b> FID: 113251490 Status: CLOSED	<b>40 S BALDWIN</b>	<b>S 0 - 1/8 (0.061 mi.)</b>	<b>C7</b>	<b>10</b>
WEHR CORP CARNES DIV FID: 113129060 Status: OPERATING	24 S DICKINSON	E 0 - 1/8 (0.066 mi.)	B9	10
<b>RMT INC</b> FID: 113173170 Status: CLOSED	<b>1406 E WASHINGTON AV</b>	<b>ENE 0 - 1/8 (0.073 mi.)</b>	<b>B10</b>	<b>10</b>
<b>MAGAEL</b> FID: 113195170 Status: OPERATING	<b>100 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.096 mi.)</b>	<b>C16</b>	<b>13</b>
<b>MARQUIP INC</b> FID: 113183400 Status: MOVED	<b>1245 E WASHINGTON AV</b>	<b>SSW 0 - 1/8 (0.106 mi.)</b>	<b>D19</b>	<b>14</b>
<b>BADGER WELDING SUPPL</b> FID: 113300770 Status: UNKNOWN	<b>101 S DICKINSON ST</b>	<b>ESE 0 - 1/8 (0.107 mi.)</b>	<b>E23</b>	<b>15</b>
<b>MADISON GAS &amp; ELECTR</b> FID: 113257760 Status: OPERATING	<b>120 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.109 mi.)</b>	<b>F25</b>	<b>16</b>
<b>QUALITY AUTO PAINTIN</b> FID: 113124330 Status: OPERATING	<b>1240 E WASHINGTON AV</b>	<b>SW 0 - 1/8 (0.111 mi.)</b>	<b>D26</b>	<b>16</b>
<b>BOCK WATER HEATERS I</b>	<b>110 S DICKINSON ST</b>	<b>ESE 1/8 - 1/4 (0.140 mi.)</b>	<b>E33</b>	<b>18</b>

## EXECUTIVE SUMMARY

FID: 113100570 Status: OPERATING				
<b>NORTHERN PLATING INC</b> FID: 113063830 Status: CLOSED	<b>1401 NORTHERN CT</b>	<b>ESE 1/8 - 1/4 (0.141 mi.)</b>	<b>E34</b>	<b>19</b>
HEALTHY PET VETERINA FID: 113298020 Status: OPERATING	1440 E WASHINGTON AV	NE 1/8 - 1/4 (0.145 mi.)	G35	19
<b>BADGER CAB CO</b> FID: 113246650 Status: OPERATING	<b>12 N FEW ST</b>	<b>SW 1/8 - 1/4 (0.164 mi.)</b>	<b>I48</b>	<b>23</b>
WI STATE FEDERAL PRO FID: 113156780 Status: UNKNOWN	201 S DICKINSON ST	ESE 1/8 - 1/4 (0.165 mi.)	J49	23
US ARMY RESERVE 633R FID: 113257320 Status: CLOSED	1450 MAIN ST	ENE 1/8 - 1/4 (0.170 mi.)	H54	25
<b>KIMPORT INVESTMENT C</b> Status: UNKNOWN	<b>1459 E MAIN ST</b>	<b>ENE 1/8 - 1/4 (0.171 mi.)</b>	<b>H57</b>	<b>26</b>
PHILCORE BUILDERS IN FID: 998331730 Status: CLOSED	206 S DICKINSON ST	ESE 1/8 - 1/4 (0.190 mi.)	J60	27
<b>SPARKLE AUTO BODY</b> FID: 113150070 Status: OPERATING	<b>20 N THORNTON AVE</b>	<b>NE 1/8 - 1/4 (0.192 mi.)</b>	<b>K63</b>	<b>27</b>
<b>WI DOA</b> FID: 113160960 Status: OPERATING	<b>202 S THORNTON</b>	<b>E 1/4 - 1/2 (0.261 mi.)</b>	<b>69</b>	<b>29</b>
<b>MADISON METRO TRANSI</b> FID: 113149520 Status: OPERATING	<b>1101 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.283 mi.)</b>	<b>L70</b>	<b>30</b>
<b>RESEARCH PRODUCTS CO</b> FID: 313004450 Status: OPERATING	<b>130 S INGERSOLL</b>	<b>SSW 1/4 - 1/2 (0.309 mi.)</b>	<b>O74</b>	<b>32</b>
<b>OCTOPUS CAR WASH</b> FID: 113081210 Status: OPERATING	<b>1039 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.314 mi.)</b>	<b>75</b>	<b>33</b>
<b>AUTOMOTIVE REPAIR &amp;</b> FID: 113226190 Status: UNKNOWN	<b>1831 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.320 mi.)</b>	<b>N76</b>	<b>34</b>
<b>SUTTLE STRAUS (FORME</b> FID: 113183730 Status: MOVED	<b>1028 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.376 mi.)</b>	<b>Q82</b>	<b>36</b>
<b>RESEARCH PRODUCTS CO</b> FID: 113184060 Status: OPERATING	<b>1015 E MAIN ST</b>	<b>SSW 1/4 - 1/2 (0.403 mi.)</b>	<b>R86</b>	<b>38</b>
WASHINGTON CENTER AS FID: 313002690 Status: CLOSED	1001 E WASHINGTON AV	SW 1/4 - 1/2 (0.411 mi.)	Q90	39
<b>MADISON CITY OF MOTO</b>	<b>200 N FIRST ST</b>	<b>NNE 1/4 - 1/2 (0.416 mi.)</b>	<b>S91</b>	<b>39</b>

## EXECUTIVE SUMMARY

FID: 113158870 FID: 999774930 Status: OPERATING Status: UNKNOWN				
MADISON CTY MUNICIPA	212 N 1ST ST	NNE 1/4 - 1/2 (0.417 mi.)	S92	40
FID: 113214420 Status: OPERATING				
<b>MADISON GAS &amp; ELECTR</b>	<b>1043 EAST WILSON STR</b>	<b>SSW 1/4 - 1/2 (0.420 mi.)</b>	<b>T94</b>	<b>41</b>
FID: 113251820 Status: OPERATING				
<b>MADISON RAILYARD</b>	<b>1890 E JOHNSON</b>	<b>NNE 1/4 - 1/2 (0.433 mi.)</b>	<b>W100</b>	<b>43</b>
FID: 113284490 Status: OPERATING				
<b>LINDSAY FINISHES INC</b>	<b>1898 E JOHNSON ST</b>	<b>NNE 1/4 - 1/2 (0.434 mi.)</b>	<b>W101</b>	<b>43</b>
FID: 113165470 Status: CLOSED				
<b>MAUTZ PAINT CONTRACT</b>	<b>946 E MAIN ST</b>	<b>SW 1/4 - 1/2 (0.488 mi.)</b>	<b>131</b>	<b>51</b>
FID: 113331460 Status: OPERATING				

### **State and tribal leaking storage tank lists**

WI LAST: A review of the WI LAST list, as provided by EDR, and dated 07/13/2015 has revealed that there are 5 WI LAST sites within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>WALLER PROPERTY</b> Status: CLOSED Site ID: 3732400 Facility ID: NONE	<b>1462 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.162 mi.)</b>	<b>G44</b>	<b>21</b>
<b>BADGER CAB CO</b> Status: CLOSED Site ID: 2601600 Facility ID: 113246650	<b>12 N FEW ST</b>	<b>SW 1/8 - 1/4 (0.164 mi.)</b>	<b>I48</b>	<b>23</b>
<b>MARLING LUMBER</b> Status: CLOSED Site ID: 3731300 Facility ID: NONE	<b>1801 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.307 mi.)</b>	<b>N73</b>	<b>32</b>
<b>JOHNSON PROPERTY</b> Status: CLOSED Site ID: 3307300 Facility ID: NONE	<b>201 S INGERSOLL ST</b>	<b>SSW 1/4 - 1/2 (0.327 mi.)</b>	<b>O77</b>	<b>34</b>
<b>BYRNS PROPERTIES LTD</b> Status: CLOSED Site ID: 3860900 Facility ID: NONE	<b>211 S BREARLY ST</b>	<b>SSW 1/4 - 1/2 (0.435 mi.)</b>	<b>T103</b>	<b>44</b>

## EXECUTIVE SUMMARY

WI LUST: A review of the WI LUST list, as provided by EDR, and dated 07/13/2015 has revealed that there are 59 WI LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SUNRISE OIL CO</b> Facility Status: CLOSED Site Id: 2792600 Facility ID: 113257100	<b>1252 WILLIAMSON ST</b>	<b>SSE 1/4 - 1/2 (0.297 mi.)</b>	<b>M71</b>	<b>31</b>
<b>WASHINGTON PLAZA</b> Facility Status: CLOSED Site Id: 11922100 Facility ID: NONE	<b>1860 - 1880 E WASHIN</b>	<b>NE 1/4 - 1/2 (0.365 mi.)</b>	<b>P79</b>	<b>35</b>
<b>MADISON METROPOLITAN</b> Facility Status: CLOSED Site Id: 7451600 Facility ID: NONE	<b>104 FIRST ST</b>	<b>NE 1/4 - 1/2 (0.370 mi.)</b>	<b>80</b>	<b>36</b>
<b>SPEEDWAY/SUPERAMERIC</b> Facility Status: OPEN Site Id: 1355100 Facility ID: 113192640	<b>1130 WILLIAMSON</b>	<b>S 1/4 - 1/2 (0.375 mi.)</b>	<b>81</b>	<b>36</b>
<b>CAR CARE CLINIC</b> Facility Status: CLOSED Site Id: 3760700 Facility ID: NONE	<b>1894 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.405 mi.)</b>	<b>P87</b>	<b>38</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 3984600 Facility ID: NONE	<b>35 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.426 mi.)</b>	<b>V96</b>	<b>42</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 3921500 Facility ID: NONE	<b>36 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.426 mi.)</b>	<b>V97</b>	<b>42</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 3984400 Facility ID: NONE	<b>34 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.429 mi.)</b>	<b>V99</b>	<b>43</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 3984200 Facility ID: NONE	<b>29 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.434 mi.)</b>	<b>V102</b>	<b>44</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 3896900 Facility ID: NONE	<b>28 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.437 mi.)</b>	<b>V104</b>	<b>45</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED Site Id: 6826000 Facility ID: NONE	<b>26 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.440 mi.)</b>	<b>V106</b>	<b>45</b>
<b>SHERMAN TERRACE SITE</b> Facility Status: CLOSED	<b>23 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.442 mi.)</b>	<b>V107</b>	<b>45</b>

## EXECUTIVE SUMMARY

Site Id: 3984000 Facility ID: NONE				
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3984100 Facility ID: NONE	24 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.443 mi.)	V108	46
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3893600 Facility ID: NONE	19 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.448 mi.)	V109	46
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3921300 Facility ID: NONE	20 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.448 mi.)	V110	46
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3983700 Facility ID: NONE	16 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.454 mi.)	V113	47
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3983500 Facility ID: NONE	14 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.457 mi.)	V115	47
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 4733600 Facility ID: NONE	10 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.463 mi.)	V118	48
HOLM PROPERTY Facility Status: CLOSED Site Id: 9280600 Facility ID: NONE	1020 SHERMAN AVE	W 1/4 - 1/2 (0.468 mi.)	122	49
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3983400 Facility ID: NONE	6 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.470 mi.)	V124	50
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3983300 Facility ID: NONE	4 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.473 mi.)	Y126	50
SHERMAN TERRACE SITE Facility Status: CLOSED Site Id: 3983000 Facility ID: NONE	2 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.476 mi.)	Y128	51
CITY EMPLOYEES CREDI Facility Status: CLOSED Site Id: 8069900 Facility ID: NONE	949 E WASHINGTON AVE	SW 1/4 - 1/2 (0.477 mi.)	Z129	51
<b>MTC CO LLC</b> Facility Status: CLOSED Facility Status: OPEN Site Id: 623000 Facility ID: 113006190	<b>939 E WASHINGTON AVE</b>	<b>SW 1/4 - 1/2 (0.489 mi.)</b>	<b>Z132</b>	<b>52</b>
WISCONSIN PHYSICIANS	1617 SHERMAN AVE	NNW 1/4 - 1/2 (0.490 mi.)	Y134	53



## EXECUTIVE SUMMARY

Facility Status: CLOSED Site Id: 6795300 Facility ID: NONE				
<b>ARATEX SERVICES</b> Facility Status: CLOSED Site Id: 3614900 Facility ID: NONE	<b>1910 WINNEBAGO ST</b>	<b>ENE 1/4 - 1/2 (0.497 mi.)</b>	<b>X135</b>	<b>53</b>
<hr/>				
<b>Lower Elevation</b>	<b>Address</b>	<b>Direction / Distance</b>	<b>Map ID</b>	<b>Page</b>
<hr/>				
<b>Not reported</b> Facility Status: CLOSED Site Id: 3403900 Facility ID: NONE	<b>1326 E WASHINGTON AV</b>	<b>S 0 - 1/8 (0.007 mi.)</b>	<b>A1</b>	<b>8</b>
1401 E WASHINGTON AV Facility Status: OPEN Site Id: 9280700 Facility ID: NONE	1401 E WASHINGTON AV	ENE 0 - 1/8 (0.053 mi.)	B5	9
<b>MARQUIP INC</b> Facility Status: CLOSED Site Id: 7530300 Facility ID: NONE	<b>99 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.095 mi.)</b>	<b>C13</b>	<b>11</b>
<b>MARQUIP INC</b> Facility Status: CLOSED Site Id: 1358900 Facility ID: 113183400	<b>1245 E WASHINGTON AV</b>	<b>SSW 0 - 1/8 (0.106 mi.)</b>	<b>D19</b>	<b>14</b>
<b>BADGER WELDING SUPPL</b> Facility Status: CLOSED Site Id: 3767500 Facility ID: 113300770	<b>101 S DICKINSON ST</b>	<b>ESE 0 - 1/8 (0.107 mi.)</b>	<b>E23</b>	<b>15</b>
MADISON FIRE DEPT MA Facility Status: CLOSED Site Id: 3976200 Facility ID: NONE	1234 E WASHINGTON AV	SW 0 - 1/8 (0.118 mi.)	D28	17
ROADWAY TRANSMISSION Facility Status: OPEN Site Id: 9264500 Facility ID: NONE	1200 E WASHINGTON AV	SW 1/8 - 1/4 (0.161 mi.)	I42	21
<b>WALLER PROPERTY</b> Facility Status: CLOSED Site Id: 3732400 Facility ID: NONE	<b>1462 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.162 mi.)</b>	<b>G44</b>	<b>21</b>
<b>BADGER CAB CO</b> Facility Status: CLOSED Site Id: 2601600 Facility ID: 113246650	<b>12 N FEW ST</b>	<b>SW 1/8 - 1/4 (0.164 mi.)</b>	<b>I48</b>	<b>23</b>
<b>Not reported</b> Facility Status: CLOSED Site Id: 3398900 Facility ID: NONE	<b>1455 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.175 mi.)</b>	<b>G58</b>	<b>26</b>
<b>WI DOA</b>	<b>202 S THORNTON</b>	<b>E 1/4 - 1/2 (0.261 mi.)</b>	<b>69</b>	<b>29</b>

## EXECUTIVE SUMMARY

Facility Status: CLOSED Site Id: 1230500 Facility ID: 113160960					
<b>MADISON METRO TRANSI</b>	<b>1101 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.283 mi.)</b>	<b>L70</b>	<b>30</b>	
Facility Status: CLOSED Site Id: 1166200 Facility ID: 113149520					
<b>MARLING LUMBER</b>	<b>1801 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.307 mi.)</b>	<b>N73</b>	<b>32</b>	
Facility Status: CLOSED Site Id: 3731300 Facility ID: NONE					
<b>OCTOPUS CAR WASH</b>	<b>1039 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.314 mi.)</b>	<b>75</b>	<b>33</b>	
Facility Status: CLOSED Site Id: 4024500 Facility ID: 113081210					
<b>AUTOMOTIVE REPAIR &amp;</b>	<b>1831 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.320 mi.)</b>	<b>N76</b>	<b>34</b>	
Facility Status: CLOSED Site Id: 2086400 Facility ID: 113226190					
<b>JOHNSON PROPERTY</b>	<b>201 S INGERSOLL ST</b>	<b>SSW 1/4 - 1/2 (0.327 mi.)</b>	<b>O77</b>	<b>34</b>	
Facility Status: CLOSED Site Id: 3307300 Facility ID: NONE					
<b>MADISON GAS &amp; ELECTR</b>	<b>303 S INGERSOLL ST</b>	<b>S 1/4 - 1/2 (0.363 mi.)</b>	<b>78</b>	<b>35</b>	
Facility Status: CLOSED Site Id: 6508800 Facility ID: NONE					
<b>Not reported</b>	<b>1002 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.408 mi.)</b>	<b>Q88</b>	<b>38</b>	
Facility Status: OPEN Site Id: 3316200 Facility ID: 113005750					
<b>MADISON CITY OF MOTO</b>	<b>200 N FIRST ST</b>	<b>NNE 1/4 - 1/2 (0.416 mi.)</b>	<b>S91</b>	<b>39</b>	
Facility Status: CLOSED Site Id: 3370300 Facility ID: NONE					
<b>CURRAN PROPERTY</b>	<b>1223 SHERMAN AVE</b>	<b>WNW 1/4 - 1/2 (0.420 mi.)</b>	<b>U95</b>	<b>41</b>	
Facility Status: CLOSED Site Id: 3843400 Facility ID: NONE					
<b>HART PROPERTY</b>	<b>1220 SHERMAN AVE</b>	<b>WNW 1/4 - 1/2 (0.426 mi.)</b>	<b>U98</b>	<b>42</b>	
Facility Status: CLOSED Site Id: 7948400 Facility ID: NONE					
<b>MADISON RAILYARD</b>	<b>1890 E JOHNSON</b>	<b>NNE 1/4 - 1/2 (0.433 mi.)</b>	<b>W100</b>	<b>43</b>	
Facility Status: CLOSED Site Id: 3330000 Facility ID: 113187140					
<b>BYRNS PROPERTIES LTD</b>	<b>211 S BREARLY ST</b>	<b>SSW 1/4 - 1/2 (0.435 mi.)</b>	<b>T103</b>	<b>44</b>	
Facility Status: CLOSED Site Id: 3860900 Facility ID: NONE					
<b>SHERMAN TERRACE SITE</b>	<b>17 SHERMAN TERRACE</b>	<b>NNW 1/4 - 1/2 (0.451 mi.)</b>	<b>V111</b>	<b>46</b>	

## EXECUTIVE SUMMARY

Facility Status: CLOSED Site Id: 3983800 Facility ID: NONE				
SHERMAN TERRACE SITE	15 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.454 mi.)	V112	47
Facility Status: CLOSED Site Id: 3983600 Facility ID: NONE				
SHERMAN TERRACE SITE	13 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.457 mi.)	V114	47
Facility Status: CLOSED Site Id: 6825900 Facility ID: NONE				
TENNY PARK LOCKS	1500 SHERMAN AVE	NNW 1/4 - 1/2 (0.459 mi.)	116	48
Facility Status: CLOSED Site Id: 7568300 Facility ID: NONE				
SHERMAN TERRACE SITE	11 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.460 mi.)	V117	48
Facility Status: CLOSED Site Id: 6459800 Facility ID: NONE				
SHERMAN TERRACE SITE	7 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.466 mi.)	V119	48
Facility Status: CLOSED Site Id: 4733500 Facility ID: NONE				
SHERMAN TERRACE SITE	5 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.470 mi.)	V123	49
Facility Status: CLOSED Site Id: 6825800 Facility ID: NONE				
SHERMAN TERRACE SITE	3 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.473 mi.)	Y125	50
Facility Status: CLOSED Site Id: 3983200 Facility ID: NONE				
SHERMAN TERRACE SITE	1 SHERMAN TERRACE	NNW 1/4 - 1/2 (0.476 mi.)	Y127	50
Facility Status: CLOSED Site Id: 3982800 Facility ID: NONE				
<b>BRANDT ESTATE PROPER</b>	<b>620 S THORNTON AVE</b>	<b>ESE 1/4 - 1/2 (0.490 mi.)</b>	<b>133</b>	<b>52</b>
Facility Status: CLOSED Site Id: 4518000 Facility ID: NONE				

### **State and tribal registered storage tank lists**

WI UST: A review of the WI UST list, as provided by EDR, and dated 06/15/2015 has revealed that there are 26 WI UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported Tank Status: CR	1321 E MIFFLIN ST	WNW 0 - 1/8 (0.028 mi.)	2	8

## EXECUTIVE SUMMARY

Object ID: 271,710  
 Object ID: 271,709  
 Object ID: 271,708  
 Fire Dept ID: 1301  
 Tank Wang Object ID: 130100490  
 Tank Wang Object ID: 130100489  
 Tank Wang Object ID: 130100488  
 Facility ID: 141574  
 Town Cust ID: 377,583

Not reported Tank Status: CR Object ID: 884,678 Fire Dept ID: 1301 Facility ID: 654104 Town Cust ID: 922,841	1305 E DAYTON ST	WNW 0 - 1/8 (0.094 mi.)	11	11
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Not reported Tank Status: CR Object ID: 271,851 Fire Dept ID: 1301 Tank Wang Object ID: 130100812 Facility ID: 59852 Town Cust ID: 283,814	1427 E DAYTON ST	N 1/8 - 1/4 (0.131 mi.)	30	17
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Not reported Tank Status: CR Object ID: 274,125 Fire Dept ID: 1301 Tank Wang Object ID: 130103703 Facility ID: 105982 Town Cust ID: 339115	1319 E JOHNSON ST	NW 1/8 - 1/4 (0.151 mi.)	38	20
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<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>Not reported</b> Tank Status: CR Object ID: 273,146 Fire Dept ID: 1301 Tank Wang Object ID: 130102575 Facility ID: 110354 Town Cust ID: 245484	1326 E WASHINGTON AV	S 0 - 1/8 (0.007 mi.)	A1	8
Not reported Tank Status: CR Object ID: 1,072,813 Object ID: 1,072,812 Object ID: 1,072,805 Fire Dept ID: 1301 Facility ID: 712062 Town Cust ID: 288388	1401 E WASHINGTON AV	ENE 0 - 1/8 (0.053 mi.)	B4	9
Not reported Tank Status: CR Object ID: 774,466 Object ID: 671,998 Object ID: 671,992 Object ID: 272,957	99 S BALDWIN ST	SSE 0 - 1/8 (0.095 mi.)	C12	11

## EXECUTIVE SUMMARY

Object ID: 272,956 Fire Dept ID: 1301 Tank Wang Object ID: 130102321 Tank Wang Object ID: 130102320 Facility ID: 678297 Town Cust ID: 526172	Not reported	101 S BALDWIN ST	SSE 0 - 1/8 (0.096 mi.)	C14	12
Tank Status: CM Object ID: 271,625 Fire Dept ID: 1301 Tank Wang Object ID: 130100321 Facility ID: 133653 Town Cust ID: 339868					
<b>Not reported</b>		<b>100 S BALDWIN</b>	<b>SSE 0 - 1/8 (0.096 mi.)</b>	<b>C17</b>	<b>13</b>
Tank Status: CR Object ID: 272,126 Object ID: 272,125 Object ID: 272,124 Fire Dept ID: 1301 Tank Wang Object ID: 130101219 Tank Wang Object ID: 130101218 Tank Wang Object ID: 130101217 Facility ID: 106848 Town Cust ID: 590739					
Not reported		1245 E WASHINGTON AV	SSW 0 - 1/8 (0.106 mi.)	D18	14
Tank Status: CR Object ID: 671,988 Fire Dept ID: 1301 Facility ID: 734689 Town Cust ID: 526,172					
Not reported		101 S DICKINSON ST	ESE 0 - 1/8 (0.107 mi.)	E21	15
Tank Status: CR Object ID: 273,445 Fire Dept ID: 1301 Tank Wang Object ID: 130102966 Facility ID: 677590 Town Cust ID: 581410					
<b>Not reported</b>		<b>1234 E WASHINGTON AV</b>	<b>SW 0 - 1/8 (0.120 mi.)</b>	<b>D29</b>	<b>17</b>
Tank Status: CR Object ID: 273,905 Object ID: 273,904 Fire Dept ID: 1301 Tank Wang Object ID: 130103454 Tank Wang Object ID: 130103453 Facility ID: 151970 Town Cust ID: 288388					
<b>Not reported</b>		<b>110 S DICKINSON ST</b>	<b>ESE 1/8 - 1/4 (0.140 mi.)</b>	<b>E31</b>	<b>18</b>
Tank Status: CM Object ID: 273,989 Fire Dept ID: 1301 Tank Wang Object ID: 130103548 Facility ID: 679047 Town Cust ID: 283,341					
Not reported		1212 E WASHINGTON AV	SW 1/8 - 1/4 (0.146 mi.)	D36	19

## EXECUTIVE SUMMARY

<p>Tank Status: CR  Object ID: 273,240  Fire Dept ID: 1301  Tank Wang Object ID: 130102684  Facility ID: 64701  Town Cust ID: 604323</p>	<p>1433 E MAIN ST</p>	<p>E 1/8 - 1/4 (0.160 mi.)</p>	<p>H39</p>	<p>20</p>
<p>Not reported</p> <p>Tank Status: CR  Object ID: 271,991  Fire Dept ID: 1301  Tank Wang Object ID: 130101023  Facility ID: 135051  Town Cust ID: 581,410</p>	<p>1200 E WASHINGTON AV</p>	<p>SW 1/8 - 1/4 (0.161 mi.)</p>	<p>I41</p>	<p>20</p>
<p>Not reported</p> <p>Tank Status: CM  Object ID: 1,086,946  Object ID: 1,086,945  Object ID: 1,086,944  Object ID: 1,086,943  Object ID: 1,086,936  Fire Dept ID: 1301  Facility ID: 715645  Town Cust ID: 1,027,039</p>	<p>1462 E WASHINGTON</p>	<p>NE 1/8 - 1/4 (0.162 mi.)</p>	<p>G43</p>	<p>21</p>
<p>Not reported</p> <p>Tank Status: CR  Object ID: 273,666  Object ID: 273,665  Object ID: 273,664  Fire Dept ID: 1301  Tank Wang Object ID: 130103208  Tank Wang Object ID: 130103207  Tank Wang Object ID: 130103206  Facility ID: 87368  Town Cust ID: 275988</p>	<p>1464 E WASHINGTON AV</p>	<p>NE 1/8 - 1/4 (0.163 mi.)</p>	<p>G46</p>	<p>22</p>
<p><b>Not reported</b></p> <p>Tank Status: CR  Object ID: 273,526  Object ID: 273,527  Fire Dept ID: 1301  Tank Wang Object ID: 130103054  Tank Wang Object ID: 130103055  Facility ID: 132251  Town Cust ID: 275,989  Town Cust ID: 275,988</p>	<p><b>12 N FEW ST</b></p>	<p><b>SW 1/8 - 1/4 (0.164 mi.)</b></p>	<p><b>I47</b></p>	<p><b>22</b></p>
<p>Tank Status: CR  Object ID: 273,610  Object ID: 273,609  Object ID: 273,612  Object ID: 273,611  Fire Dept ID: 1301  Tank Wang Object ID: 130103140  Tank Wang Object ID: 130103139</p>				

## EXECUTIVE SUMMARY

<p>Tank Wang Object ID: 130103146          Tank Wang Object ID: 130103144          Facility ID: 150393          Town Cust ID: 384,323</p>	<p><b>201 S DICKINSON ST</b></p>	<p><b>ESE 1/8 - 1/4 (0.165 mi.)</b></p>	<p><b>J51</b></p>	<p><b>24</b></p>
<p><b>Not reported</b>          Tank Status: TO          Object ID: 273,019          Fire Dept ID: 1301          Tank Wang Object ID: 130102414          Facility ID: 144348          Town Cust ID: 647,292</p>	<p>1449 E MAIN ST</p>	<p>ENE 1/8 - 1/4 (0.170 mi.)</p>	<p>H53</p>	<p>25</p>
<p>Not reported          Tank Status: CR          Object ID: 271,707          Fire Dept ID: 1301          Tank Wang Object ID: 130100487          Facility ID: 50355          Town Cust ID: 280,225</p>	<p>1450 E MAIN ST</p>	<p>ENE 1/8 - 1/4 (0.170 mi.)</p>	<p>H56</p>	<p>25</p>
<p><b>Not reported</b>          Tank Status: CR          Object ID: 273,347          Fire Dept ID: 1301          Tank Wang Object ID: 130102836          Facility ID: 93462          Town Cust ID: 601013</p>	<p><b>1455 E WASHINGTON AV</b></p>	<p><b>NE 1/8 - 1/4 (0.175 mi.)</b></p>	<p><b>G58</b></p>	<p><b>26</b></p>
<p>Tank Status: CR          Object ID: 273,169          Object ID: 273,168          Object ID: 273,185          Object ID: 271,410          Object ID: 273,184          Fire Dept ID: 1301          Tank Wang Object ID: 130102598          Tank Wang Object ID: 130102597          Tank Wang Object ID: 130102618          Tank Wang Object ID: 130100000          Tank Wang Object ID: 130102617          Facility ID: 147073          Town Cust ID: 383474          Town Cust ID: 601013          Town Cust ID: 383475</p>	<p>110 N THORNTON AVE</p>	<p>NNE 1/8 - 1/4 (0.193 mi.)</p>	<p>65</p>	<p>28</p>
<p>Not reported          Tank Status: CR          Object ID: 274,231          Fire Dept ID: 1301          Tank Wang Object ID: 130103810          Facility ID: 144390          Town Cust ID: 380423</p>	<p>1860/1880 E WASHINGT</p>	<p>NE 1/8 - 1/4 (0.215 mi.)</p>	<p>K66</p>	<p>28</p>
<p>Not reported          Tank Status: CR          Tank Status: AN          Object ID: 272,574</p>				

## EXECUTIVE SUMMARY

Object ID: 272,576

Object ID: 272,573

Object ID: 272,572

Object ID: 272,570

*\*Additional key fields are available in the Map Findings section*

Fire Dept ID: 1301

Tank Wang Object ID: 130101810

Tank Wang Object ID: 130101812

Tank Wang Object ID: 130101809

Tank Wang Object ID: 130101808

Tank Wang Object ID: 130101806

*\*Additional key fields are available in the Map Findings section*

Facility ID: 130992

Town Cust ID: 375268

<p>Not reported            Tank Status: CR            Object ID: 638,172            Fire Dept ID: 1301            Facility ID: 184466            Town Cust ID: 9207</p>	<p>1136 E WASHINGTON AV</p>	<p>SW 1/8 - 1/4 (0.240 mi.)</p>	<p>L68</p>	<p>29</p>
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WI AST: A review of the WI AST list, as provided by EDR, and dated 06/15/2015 has revealed that there are 6 WI AST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<p><b>Not reported</b>            Town Customer ID: 590739            Tank Reg Object ID: 1,188,505            Facility ID: 106848            Fire Dept ID: 1301</p>	<p><b>100 S BALDWIN</b></p>	<p><b>SSE 0 - 1/8 (0.096 mi.)</b></p>	<p><b>C17</b></p>	<p><b>13</b></p>
<p>Not reported            Tank Wang Object ID: 130100282            Tank Wang Object ID: 130100281            Town Customer ID: 590,739            Tank Reg Object ID: 202,253            Tank Reg Object ID: 202,252            Facility ID: 153613            Fire Dept ID: 1301</p>	<p>120 S BALDWIN</p>	<p>SSE 0 - 1/8 (0.109 mi.)</p>	<p>F24</p>	<p>15</p>
<p><b>Not reported</b>            Tank Wang Object ID: 130100388            Town Customer ID: 288388            Tank Reg Object ID: 963,208            Tank Reg Object ID: 202,357            Facility ID: 151970            Fire Dept ID: 1301</p>	<p><b>1234 E WASHINGTON AV</b></p>	<p><b>SW 0 - 1/8 (0.120 mi.)</b></p>	<p><b>D29</b></p>	<p><b>17</b></p>
<p><b>Not reported</b>            Town Customer ID: 283,341            Tank Reg Object ID: 878,525            Tank Reg Object ID: 864,704            Tank Reg Object ID: 864,697            Facility ID: 679047</p>	<p><b>110 S DICKINSON ST</b></p>	<p><b>ESE 1/8 - 1/4 (0.140 mi.)</b></p>	<p><b>E31</b></p>	<p><b>18</b></p>



## EXECUTIVE SUMMARY

Fire Dept ID: 1301

<b>Not reported</b> Tank Wang Object ID: 130100168 Town Customer ID: 384,323 Tank Reg Object ID: 202,139 Facility ID: 150393 Fire Dept ID: 1301	<b>12 N FEW ST</b>	<b>SW 1/8 - 1/4 (0.164 mi.)</b>	<b>I47</b>	<b>22</b>
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<b>Not reported</b> Tank Wang Object ID: 130100134 Town Customer ID: 647,292 Tank Reg Object ID: 806,906 Tank Reg Object ID: 802,273 Tank Reg Object ID: 202,106 Facility ID: 144348 Fire Dept ID: 1301	<b>201 S DICKINSON ST</b>	<b>ESE 1/8 - 1/4 (0.165 mi.)</b>	<b>J51</b>	<b>24</b>
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### **State and tribal institutional control / engineering control registries**

WI AUL: A review of the WI AUL list, as provided by EDR, and dated 07/13/2015 has revealed that there are 26 WI AUL sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SUNRISE OIL CO</b> Status: CLOSED Site Id: 2792600 Facid: 113257100	<b>1252 WILLIAMSON ST</b>	<b>SSE 1/4 - 1/2 (0.297 mi.)</b>	<b>M71</b>	<b>31</b>
<b>WASHINGTON PLAZA</b> Status: CLOSED Site Id: 11922100 Facid: NONE	<b>1860 - 1880 E WASHIN</b>	<b>NE 1/4 - 1/2 (0.365 mi.)</b>	<b>P79</b>	<b>35</b>
<b>MADISON METROPOLITAN</b> Status: CLOSED Site Id: 7451600 Facid: NONE	<b>104 FIRST ST</b>	<b>NE 1/4 - 1/2 (0.370 mi.)</b>	<b>80</b>	<b>36</b>
<b>CAR CARE CLINIC</b> Status: CLOSED Site Id: 3760700 Facid: NONE	<b>1894 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.405 mi.)</b>	<b>P87</b>	<b>38</b>
<b>MTC CO LLC</b> Status: CLOSED Site Id: 623000 Facid: 113006190	<b>939 E WASHINGTON AVE</b>	<b>SW 1/4 - 1/2 (0.489 mi.)</b>	<b>Z132</b>	<b>52</b>
<b>ARATEX SERVICES</b> Status: CLOSED Site Id: 3614900 Facid: NONE	<b>1910 WINNEBAGO ST</b>	<b>ENE 1/4 - 1/2 (0.497 mi.)</b>	<b>X135</b>	<b>53</b>
 <u>Lower Elevation</u>	 <u>Address</u>	 <u>Direction / Distance</u>	 <u>Map ID</u>	 <u>Page</u>
<b>Not reported</b>	<b>1326 E WASHINGTON AV</b>	<b>S 0 - 1/8 (0.007 mi.)</b>	<b>A1</b>	<b>8</b>

## EXECUTIVE SUMMARY

Status: CLOSED Site Id: 3403900 Facid: NONE				
<b>MARQUIP INC</b> Status: CLOSED Site Id: 7530300 Facid: NONE	<b>99 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.095 mi.)</b>	<b>C13</b>	<b>11</b>
<b>MAGAEL</b> Status: CLOSED Site Id: 1373700 Facid: 113195170	<b>100 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.096 mi.)</b>	<b>C16</b>	<b>13</b>
<b>WALLER PROPERTY</b> Status: CLOSED Site Id: 3732400 Facid: NONE	<b>1462 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.162 mi.)</b>	<b>G44</b>	<b>21</b>
<b>KIMPORT INVESTMENT C</b> Status: CLOSED Site Id: 7567500 Facid: NONE	<b>1459 E MAIN ST</b>	<b>ENE 1/8 - 1/4 (0.171 mi.)</b>	<b>H57</b>	<b>26</b>
<b>Not reported</b> Status: CLOSED Site Id: 3398900 Facid: NONE	<b>1455 E WASHINGTON AV</b>	<b>NE 1/8 - 1/4 (0.175 mi.)</b>	<b>G58</b>	<b>26</b>
<b>WI DOA</b> Status: CLOSED Site Id: 1230500 Facid: 113160960	<b>202 S THORNTON</b>	<b>E 1/4 - 1/2 (0.261 mi.)</b>	<b>69</b>	<b>29</b>
<b>MARLING LUMBER</b> Status: CLOSED Site Id: 3731300 Facid: NONE	<b>1801 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.307 mi.)</b>	<b>N73</b>	<b>32</b>
<b>OCTOPUS CAR WASH</b> Status: CLOSED Site Id: 4024500 Facid: 113081210	<b>1039 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.314 mi.)</b>	<b>75</b>	<b>33</b>
<b>AUTOMOTIVE REPAIR &amp;</b> Status: CLOSED Site Id: 2086400 Facid: 113226190	<b>1831 E WASHINGTON AV</b>	<b>NE 1/4 - 1/2 (0.320 mi.)</b>	<b>N76</b>	<b>34</b>
<b>JOHNSON PROPERTY</b> Status: CLOSED Site Id: 3307300 Facid: NONE	<b>201 S INGERSOLL ST</b>	<b>SSW 1/4 - 1/2 (0.327 mi.)</b>	<b>O77</b>	<b>34</b>
<b>MADISON GAS &amp; ELECTR</b> Status: CLOSED Site Id: 6508800 Facid: NONE	<b>303 S INGERSOLL ST</b>	<b>S 1/4 - 1/2 (0.363 mi.)</b>	<b>78</b>	<b>35</b>
<b>SUTTLE STRAUS (FORME</b> Status: CLOSED Site Id: 636000 Facid: 113183730	<b>1028 E WASHINGTON AV</b>	<b>SW 1/4 - 1/2 (0.376 mi.)</b>	<b>Q82</b>	<b>36</b>
<b>RESEARCH PRODUCTS PR</b>	<b>1023 E MAIN ST</b>	<b>SSW 1/4 - 1/2 (0.394 mi.)</b>	<b>R84</b>	<b>37</b>

## EXECUTIVE SUMMARY

Status: CLOSED  
 Site Id: 7119600  
 Facid: NONE

<b>MADISON CITY OF MOTO</b>	<b>200 N FIRST ST</b>	<b>NNE 1/4 - 1/2 (0.416 mi.)</b>	<b>S91</b>	<b>39</b>
Status: CLOSED Site Id: 3370300 Facid: NONE				
<b>CURRAN PROPERTY</b>	<b>1223 SHERMAN AVE</b>	<b>WNW 1/4 - 1/2 (0.420 mi.)</b>	<b>U95</b>	<b>41</b>
Status: CLOSED Site Id: 3843400 Facid: NONE				
<b>HART PROPERTY</b>	<b>1220 SHERMAN AVE</b>	<b>WNW 1/4 - 1/2 (0.426 mi.)</b>	<b>U98</b>	<b>42</b>
Status: CLOSED Site Id: 7948400 Facid: NONE				
<b>LINDSAY FINISHES INC</b>	<b>1898 E JOHNSON ST</b>	<b>NNE 1/4 - 1/2 (0.434 mi.)</b>	<b>W101</b>	<b>43</b>
Status: CLOSED Site Id: 642600 Facid: 113165470				
<b>BYRNS PROPERTIES LTD</b>	<b>211 S BREARLY ST</b>	<b>SSW 1/4 - 1/2 (0.435 mi.)</b>	<b>T103</b>	<b>44</b>
Status: CLOSED Site Id: 3860900 Facid: NONE				
<b>BRANDT ESTATE PROPER</b>	<b>620 S THORNTON AVE</b>	<b>ESE 1/4 - 1/2 (0.490 mi.)</b>	<b>133</b>	<b>52</b>
Status: CLOSED Site Id: 4518000 Facid: NONE				

### State and tribal Brownfields sites

WI BROWNFIELDS: A review of the WI BROWNFIELDS list, as provided by EDR, and dated 07/13/2015 has revealed that there are 4 WI BROWNFIELDS sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>1924 ATWOOD AVE LLC</b>	<b>1912-1924 ATWOOD AVE</b>	<b>ENE 1/4 - 1/2 (0.467 mi.)</b>	<b>X121</b>	<b>49</b>
Status: GEN PROP Site Id: 27163900				
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MARQUIP INC</b>	<b>99 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.095 mi.)</b>	<b>C13</b>	<b>11</b>
Status: GEN PROP Site Id: 7530300				
<b>QUALITY AUTO PAINTIN</b>	<b>1240 E WASHINGTON AV</b>	<b>SW 0 - 1/8 (0.111 mi.)</b>	<b>D26</b>	<b>16</b>
Status: GEN PROP Facility ID: 113124330 Site Id: 974300				
<b>JOHNSON PROPERTY</b>	<b>201 S INGERSOLL ST</b>	<b>SSW 1/4 - 1/2 (0.327 mi.)</b>	<b>O77</b>	<b>34</b>

## EXECUTIVE SUMMARY

Status: GEN PROP  
Site Id: 3307300

### ADDITIONAL ENVIRONMENTAL RECORDS

#### **Other Ascertainable Records**

RCRA NonGen / NLR: A review of the RCRA NonGen / NLR list, as provided by EDR, and dated 06/09/2015 has revealed that there are 11 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>TRACHTE BUILDING SYS</b>	<b>102 N DICKINSON ST</b>	<b>N 0 - 1/8 (0.062 mi.)</b>	<b>8</b>	<b>10</b>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>WEHR CORP CARNES DIV</b>	<b>24 S DICKENSON</b>	<b>E 0 - 1/8 (0.054 mi.)</b>	<b>B6</b>	<b>9</b>
<b>CONVEREX INC</b>	<b>40 S BALDWIN</b>	<b>S 0 - 1/8 (0.061 mi.)</b>	<b>C7</b>	<b>10</b>
<b>RMT INC</b>	<b>1406 E WASHINGTON AV</b>	<b>ENE 0 - 1/8 (0.073 mi.)</b>	<b>B10</b>	<b>10</b>
<b>MAGAEL 100 S BALDWIN</b>	<b>100 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.096 mi.)</b>	<b>C15</b>	<b>12</b>
<b>MARQUIP INC</b>	<b>1245 E WASHINGTON AV</b>	<b>SSW 0 - 1/8 (0.106 mi.)</b>	<b>D19</b>	<b>14</b>
<b>BADGER WELDING SUPPL</b>	<b>101 S DICKINSON ST</b>	<b>ESE 0 - 1/8 (0.107 mi.)</b>	<b>E20</b>	<b>14</b>
<b>NORTHERN PLATING INC</b>	<b>1401 NORTHERN CT</b>	<b>ESE 1/8 - 1/4 (0.141 mi.)</b>	<b>E34</b>	<b>19</b>
<b>BADGER CAB CO</b>	<b>12 N FEW ST</b>	<b>SW 1/8 - 1/4 (0.164 mi.)</b>	<b>I48</b>	<b>23</b>
<b>WISC STATE OF FEDERA</b>	<b>201 S DICKINSON ST</b>	<b>ESE 1/8 - 1/4 (0.165 mi.)</b>	<b>J50</b>	<b>24</b>
<b>US ARMY RESERVE 633R</b>	<b>1450 MAIN ST</b>	<b>ENE 1/8 - 1/4 (0.170 mi.)</b>	<b>H55</b>	<b>25</b>

WI MANIFEST: A review of the WI MANIFEST list, as provided by EDR, and dated 12/31/2014 has revealed that there are 3 WI MANIFEST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>MADISON GAS &amp; ELECTR</b> ACT Status: A FID: 113257760 EPA ID: WI0000197145	<b>120 S BALDWIN ST</b>	<b>SSE 0 - 1/8 (0.109 mi.)</b>	<b>F25</b>	<b>16</b>
<b>NORTHERN PLATING INC</b> ACT Status: I FID: 113063830 EPA ID: WID006424253	<b>1401 NORTHERN CT</b>	<b>ESE 1/8 - 1/4 (0.141 mi.)</b>	<b>E34</b>	<b>19</b>
<b>SPARKLE AUTO BODY</b> ACT Status: I ACT Status: A FID: 113150070 EPA ID: WID099128373	<b>20 N THORNTON AVE</b>	<b>NE 1/8 - 1/4 (0.192 mi.)</b>	<b>K63</b>	<b>27</b>

# EXECUTIVE SUMMARY

## EDR HIGH RISK HISTORICAL RECORDS

### ***EDR Exclusive Records***

EDR MGP: A review of the EDR MGP list, as provided by EDR, has revealed that there is 1 EDR MGP site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MADISON GAS AND ELEC	713-725 E MAIN STREE	SW 1/2 - 1 (0.775 mi.)	AC151	61

EDR US Hist Auto Stat: A review of the EDR US Hist Auto Stat list, as provided by EDR, has revealed that there are 9 EDR US Hist Auto Stat sites within approximately 0.25 miles of the target property.

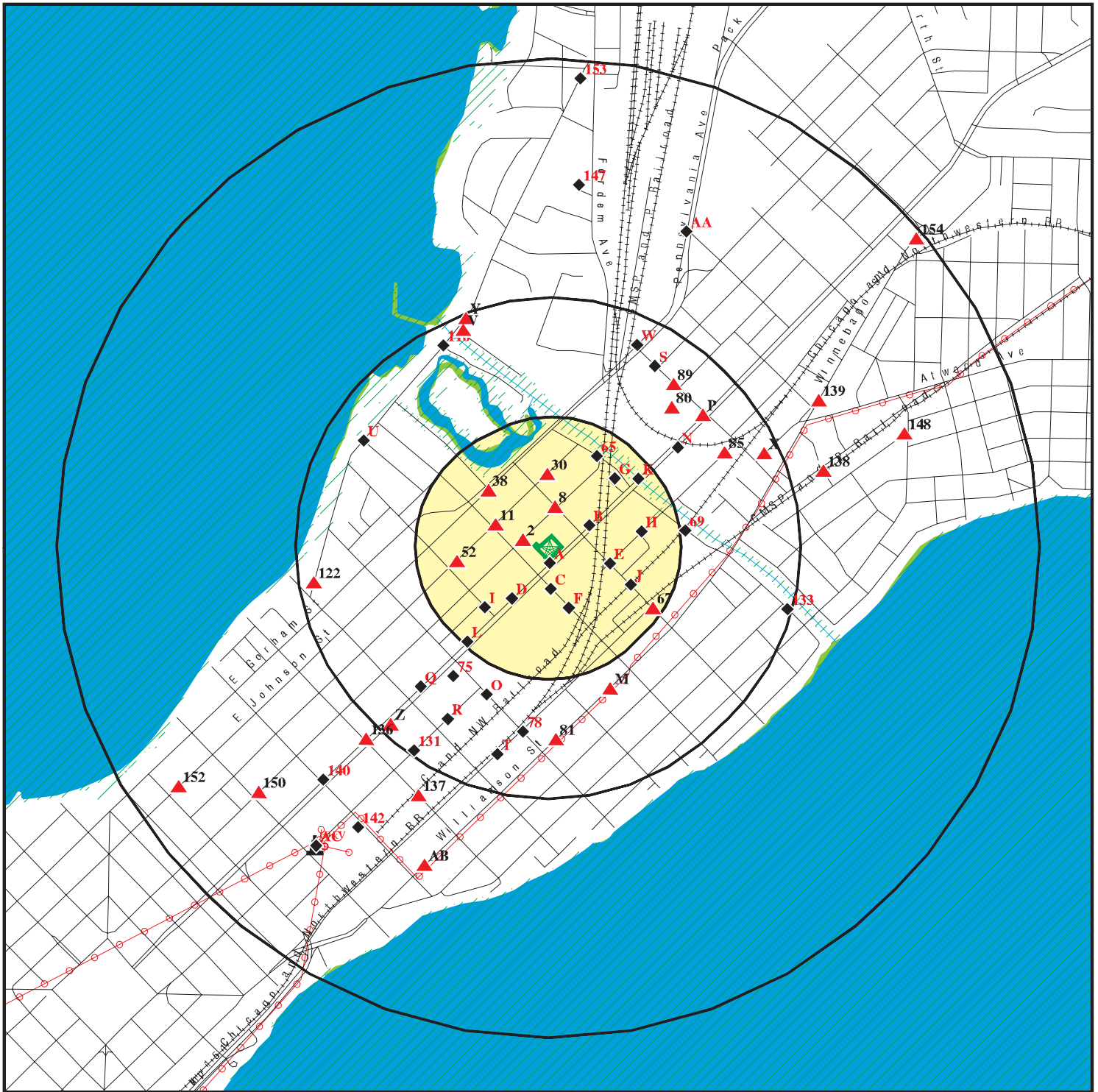
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	305 S DICKINSON ST	ESE 1/8 - 1/4 (0.230 mi.)	67	29
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported	101 S DICKINSON ST	ESE 0 - 1/8 (0.107 mi.)	E22	15
Not reported	1240 E WASHINGTON AV	SW 0 - 1/8 (0.111 mi.)	D27	17
Not reported	1200 E WASHINGTON AV	SW 1/8 - 1/4 (0.161 mi.)	I40	20
Not reported	1464 E WASHINGTON AV	NE 1/8 - 1/4 (0.163 mi.)	G45	22
Not reported	1 SPARKLE CT	NE 1/8 - 1/4 (0.179 mi.)	G59	27
Not reported	18 N THORNTON AVE	NE 1/8 - 1/4 (0.191 mi.)	K61	27
Not reported	20 N THORNTON AVE	NE 1/8 - 1/4 (0.192 mi.)	K62	27
Not reported	22 N THORNTON AVE	NE 1/8 - 1/4 (0.192 mi.)	K64	28












Count: 3 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
MADISON	S118065679	GALAXIE	800 BLOCK E WASHINGTON AVE		WI LUST
MADISON	S106975022	M & I PARKING LOT(FORMER)	W MAIN & W DOTY ST		WI LUST
MADISON	S105300130	RHODE STEAK HOUSE	609-613 W MAIN, 610-614 W DOTY		WI LUST

# OVERVIEW MAP - 4432027.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  National Priority List Sites
-  Dept. Defense Sites
-  Indian Reservations BIA
-  Power transmission lines
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory

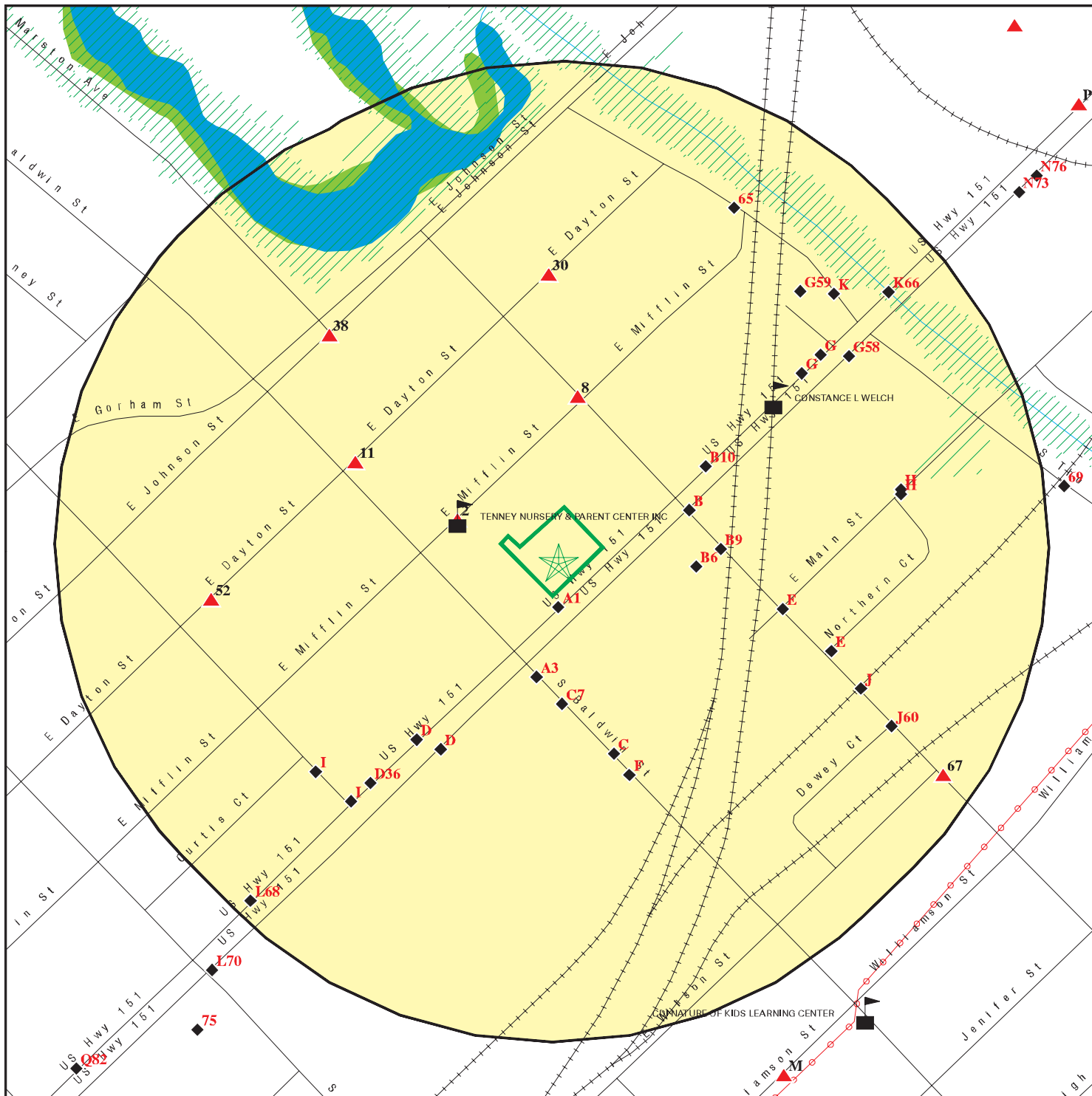









This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.






SITE NAME: 1316-1318 East Washington Avenue  
 ADDRESS: 1316 East Washington Avenue  
 Madison WI 53703  
 LAT/LONG: 43.0881 / 89.3658

CLIENT: Sigma Env. Services, Inc.  
 CONTACT: Mary Trotta  
 INQUIRY #: 4432027.2s  
 DATE: October 07, 2015 3:15 pm

# DETAIL MAP - 4432027.2S



-  Target Property
-  Sites at elevations higher than or equal to the target property
-  Sites at elevations lower than the target property
-  Manufactured Gas Plants
-  Sensitive Receptors
-  National Priority List Sites
-  Dept. Defense Sites

-  Indian Reservations BIA
-  Power transmission lines
-  100-year flood zone
-  500-year flood zone
-  National Wetland Inventory

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: 1316-1318 East Washington Avenue  
 ADDRESS: 1316 East Washington Avenue  
 Madison WI 53703  
 LAT/LONG: 43.0881 / 89.3658

CLIENT: Sigma Env. Services, Inc.  
 CONTACT: Mary Trotta  
 INQUIRY #: 4432027.2s  
 DATE: October 07, 2015 3:17 pm



## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>STANDARD ENVIRONMENTAL RECORDS</b>								
<b><i>Federal NPL site list</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<b><i>Federal Delisted NPL site list</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Federal CERCLIS list</i></b>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
CERCLIS	0.500		0	0	1	NR	NR	1
<b><i>Federal CERCLIS NFRAP site List</i></b>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA CORRACTS facilities list</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Federal RCRA non-CORRACTS TSD facilities list</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Federal RCRA generators list</i></b>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		1	0	NR	NR	NR	1
RCRA-CESQG	0.250		1	2	NR	NR	NR	3
<b><i>Federal institutional controls / engineering controls registries</i></b>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	TP		NR	NR	NR	NR	NR	0
<b><i>State- and tribal - equivalent CERCLIS</i></b>								
WI ERP	1.000		2	3	9	18	NR	32
WI SHWS	1.000		0	0	0	0	NR	0
<b><i>State and tribal landfill and/or solid waste disposal site lists</i></b>								
WI SWF/LF	0.500		0	0	0	NR	NR	0
WI WDS	0.500		0	0	0	NR	NR	0
WI SHWIMS	0.500		10	9	22	NR	NR	41
<b><i>State and tribal leaking storage tank lists</i></b>								
WI LAST	0.500		0	2	3	NR	NR	5

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
WI LUST	0.500		6	4	49	NR	NR	59
INDIAN LUST	0.500		0	0	0	NR	NR	0
<b>State and tribal registered storage tank lists</b>								
FEMA UST	0.250		0	0	NR	NR	NR	0
WI UST	0.250		10	16	NR	NR	NR	26
WI AST	0.250		3	3	NR	NR	NR	6
INDIAN UST	0.250		0	0	NR	NR	NR	0
<b>State and tribal institutional control / engineering control registries</b>								
WI CRS	TP		NR	NR	NR	NR	NR	0
WI AUL	0.500		3	3	20	NR	NR	26
<b>State and tribal voluntary cleanup sites</b>								
WI VCP	0.500		0	0	0	NR	NR	0
INDIAN VCP	0.500		0	0	0	NR	NR	0
<b>State and tribal Brownfields sites</b>								
WI BEAP	0.500		0	0	0	NR	NR	0
WI BROWNFIELDS	0.500		2	0	2	NR	NR	4
<b>ADDITIONAL ENVIRONMENTAL RECORDS</b>								
<b>Local Brownfield lists</b>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b>Local Lists of Landfill / Solid Waste Disposal Sites</b>								
WI SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
<b>Local Lists of Hazardous waste / Contaminated Sites</b>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
WI CDL	TP		NR	NR	NR	NR	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
<b>Local Land Records</b>								
WI LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0
<b>Records of Emergency Release Reports</b>								
HMIRS	TP		NR	NR	NR	NR	NR	0
WI SPILLS	TP		NR	NR	NR	NR	NR	0
WI AGSPILLS	TP		NR	NR	NR	NR	NR	0
WI SPILLS 90	TP		NR	NR	NR	NR	NR	0
WI SPILLS 80	TP		NR	NR	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b>Other Ascertainable Records</b>								
RCRA NonGen / NLR	0.250		7	4	NR	NR	NR	11
FUDS	1.000		0	0	0	0	NR	0
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
WI AIRS	TP		NR	NR	NR	NR	NR	0
WI BRRTS	TP		NR	NR	NR	NR	NR	0
WI COAL ASH	0.500		0	0	0	NR	NR	0
WI DRYCLEANERS	0.250		0	0	NR	NR	NR	0
WI Financial Assurance	TP		NR	NR	NR	NR	NR	0
WI LEAD	TP		NR	NR	NR	NR	NR	0
WI MANIFEST	0.250		1	2	NR	NR	NR	3
RI MANIFEST	0.250		0	0	NR	NR	NR	0
WI NPDES	TP		NR	NR	NR	NR	NR	0
WI TIER 2	TP		NR	NR	NR	NR	NR	0
WI WRRSER	TP		NR	NR	NR	NR	NR	0

### EDR HIGH RISK HISTORICAL RECORDS

#### **EDR Exclusive Records**

EDR MGP	1.000		0	0	0	1	NR	1
EDR US Hist Auto Stat	0.250		2	7	NR	NR	NR	9

## MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>&lt; 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>&gt; 1</u>	<u>Total Plotted</u>
EDR US Hist Cleaners	0.250		0	0	NR	NR	NR	0
<b><u>EDR RECOVERED GOVERNMENT ARCHIVES</u></b>								
<b><i>Exclusive Recovered Govt. Archives</i></b>								
WI RGA LF	TP		NR	NR	NR	NR	NR	0
WI RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		0	48	55	106	19	0	228

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**  
South  
< 1/8  
0.007 mi.  
37 ft.

**1326 E WASHINGTON AVE  
MADISON, WI 53703**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**

Facility Status: CLOSED  
Site Id: 3403900  
Facility ID: NONE

**WI UST**

Tank Status: Closed/Removed  
Object ID: 273,146  
Fire Dept ID: 1301  
Tank Wang Object ID: 130102575  
Facility ID: 110354  
Town Cust ID: 245484

**WI AUL**

Status: CLOSED  
Site Id: 3403900  
Facid: NONE

**WI BRRTS**

Site Id: 3403900  
Status: NAR

**WI LUST  
WI UST  
WI CRS  
WI AUL  
WI BRRTS**

**U002147366  
N/A**

**2**  
WNW  
< 1/8  
0.028 mi.  
147 ft.

**1321 E MIFFLIN ST  
MADISON, WI 53703**

[Click here for full text details](#)

Relative:  
Higher

**WI UST**

Tank Status: Closed/Removed  
Object ID: 271,710  
Object ID: 271,709  
Object ID: 271,708  
Fire Dept ID: 1301  
Tank Wang Object ID: 130100490  
Tank Wang Object ID: 130100489  
Tank Wang Object ID: 130100488  
Facility ID: 141574  
Town Cust ID: 377,583

**WI UST**

**U002215805  
N/A**

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
A3 South < 1/8 0.046 mi. 244 ft.	ENVIRONMENTAL CONSTRUCTION SERVICES INC 10 S BALDWIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI SHWIMS	S108151412 N/A
Relative: Lower	WI SHWIMS FID: 113352470 Status: OPERATING		
B4 ENE < 1/8 0.053 mi. 279 ft.	1401 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U004052433 N/A
Relative: Lower	WI UST Tank Status: Closed/Removed Object ID: 1,072,813 Object ID: 1,072,812 Object ID: 1,072,805 Fire Dept ID: 1301 Facility ID: 712062 Town Cust ID: 288388		
B5 ENE < 1/8 0.053 mi. 279 ft.	1401 E WASHINGTON AVE 1401 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI LUST	S105814225 N/A
Relative: Lower	WI LUST Facility Status: OPEN Site Id: 9280700 Facility ID: NONE		
B6 East < 1/8 0.054 mi. 283 ft.	WEHR CORP CARNES DIV PLANT #3 24 S DICKENSON MADISON, WI 53703  <a href="#">Click here for full text details</a>	RCRA NonGen / NLR FINDS	1000351069 WID981002025
Relative: Lower	RCRA NonGen / NLR EPA Id: WID981002025  FINDS Registry ID: 110005453730		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
<b>C7</b> South < 1/8 0.061 mi. 320 ft.	<b>CONVEREX INC</b> 40 S BALDWIN MADISON, WI 53703  <a href="#">Click here for full text details</a>	<b>WI SHWIMS</b> RCRA NonGen / NLR FINDS	<b>1000880390</b> <b>WID988643839</b>
Relative: Lower	<b>WI SHWIMS</b> FID: 113251490 Status: CLOSED  <b>RCRA NonGen / NLR</b> EPA Id: WID988643839  <b>FINDS</b> Registry ID:: 110005507157		
<b>8</b> North < 1/8 0.062 mi. 330 ft.	<b>TRACHTE BUILDING SYSTEMS INC (FORMER)</b> 102 N DICKINSON ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	<b>WI SHWIMS</b> RCRA NonGen / NLR	<b>1008892611</b> <b>WID006070387</b>
Relative: Higher	<b>WI SHWIMS</b> FID: 113061410 Status: MOVED  <b>RCRA NonGen / NLR</b> EPA Id: WID006070387		
<b>B9</b> East < 1/8 0.066 mi. 350 ft.	<b>WEHR CORP CARNES DIV PLT 3</b> 24 S DICKINSON MADISON, WI 53703  <a href="#">Click here for full text details</a>	<b>WI SHWIMS</b>	<b>S108159387</b> N/A
Relative: Lower	<b>WI SHWIMS</b> FID: 113129060 Status: OPERATING		
<b>B10</b> ENE < 1/8 0.073 mi. 388 ft.	<b>RMT INC</b> 1406 E WASHINGTON AVE MADISON, WI 53711  <a href="#">Click here for full text details</a>	<b>WI SHWIMS</b> <b>WI SPILLS</b> RCRA NonGen / NLR FINDS	<b>1000118976</b> <b>WID982642415</b>
Relative: Lower	<b>WI SHWIMS</b> FID: 113173170 Status: CLOSED  <b>WI SPILLS</b>		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**RMT INC (Continued)**

1000118976

Site Id: 1294400  
Status: CLOSED

**RCRA NonGen / NLR**

EPA Id: WID982642415

**FINDS**

Registry ID:: 110005465512

11  
WNW  
< 1/8  
0.094 mi.  
494 ft.

**1305 E DAYTON ST  
MADISON, WI 53703**

WI UST U003880178  
N/A

[Click here for full text details](#)

Relative:  
Higher

**WI UST**

Tank Status: Closed/Removed  
Object ID: 884,678  
Fire Dept ID: 1301  
Facility ID: 654104  
Town Cust ID: 922,841

C12  
SSE  
< 1/8  
0.095 mi.  
500 ft.

**99 S BALDWIN ST  
MADISON, WI 53703**

WI UST U003957395  
N/A

[Click here for full text details](#)

Relative:  
Lower

**WI UST**

Tank Status: Closed/Removed  
Object ID: 774,466  
Object ID: 671,998  
Object ID: 671,992  
Object ID: 272,957  
Object ID: 272,956  
Fire Dept ID: 1301  
Tank Wang Object ID: 130102321  
Tank Wang Object ID: 130102320  
Facility ID: 678297  
Town Cust ID: 526172

C13  
SSE  
< 1/8  
0.095 mi.  
500 ft.

**MARQUIP INC  
99 S BALDWIN ST  
MADISON, WI**

WI LUST S104539710  
WI CRS N/A  
WI AUL  
WI BROWNFIELDS  
WI BRRTS

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**

Facility Status: CLOSED  
Site Id: 7530300



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MARQUIP INC (Continued)**

**S104539710**

Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 7530300  
Facid: NONE

**WI BROWNFIELDS**

Status: GEN PROP  
Site Id: 7530300

**WI BRRTS**

Site Id: 7530300  
Status: GEN PROP

**C14**  
**SSE**  
**< 1/8**  
**0.096 mi.**  
**507 ft.**

**101 S BALDWIN ST**  
**MADISON, WI 53703**

**WI UST** **U003460443**  
**N/A**

[Click here for full text details](#)

Relative:  
Lower

**WI UST**

Tank Status: Closed Filled With Inert Material  
Object ID: 271,625  
Fire Dept ID: 1301  
Tank Wang Object ID: 130100321  
Facility ID: 133653  
Town Cust ID: 339868

**C15**  
**SSE**  
**< 1/8**  
**0.096 mi.**  
**508 ft.**

**MAGAE 100 S BALDWIN**  
**100 S BALDWIN ST**  
**MADISON, WI 53703**

**RCRA NonGen / NLR** **1000452186**  
**FINDS** **WID988579330**

[Click here for full text details](#)

Relative:  
Lower

**RCRA NonGen / NLR**

EPA Id: WID988579330

**FINDS**

Registry ID:: 110009518771

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**C16**  
**SSE**  
**< 1/8**  
**0.096 mi.**  
**508 ft.**

**MAGAEL**  
**100 S BALDWIN ST**  
**MADISON, WI 53703**

**WI ERP**    **S111241177**  
**WI SHWIMS**    **N/A**  
**WI CRS**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 1373700  
Facility ID: 113195170

**WI SHWIMS**  
FID: 113195170  
Status: OPERATING

**WI CRS**  
Site ID: 1373700  
Facility ID: 113195170

**WI AUL**  
Status: CLOSED  
Site Id: 1373700  
Facid: 113195170

**C17**  
**SSE**  
**< 1/8**  
**0.096 mi.**  
**508 ft.**

**100 S BALDWIN**  
**MADISON, WI 53703**

**WI UST**    **U003444079**  
**WI AST**    **N/A**

[Click here for full text details](#)

Relative:  
Lower

**WI UST**  
Tank Status: Closed/Removed  
Object ID: 272,126  
Object ID: 272,125  
Object ID: 272,124  
Fire Dept ID: 1301  
Tank Wang Object ID: 130101219  
Tank Wang Object ID: 130101218  
Tank Wang Object ID: 130101217  
Facility ID: 106848  
Town Cust ID: 590739

**WI AST**  
Town Customer ID: 590739  
Tank Reg Object ID: 1,188,505  
Facility ID: 106848  
Fire Dept ID: 1301

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
D18 SSW < 1/8 0.106 mi. 561 ft.	1245 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U004118364 N/A
Relative: Lower	WI UST Tank Status: Closed/Removed Object ID: 671,988 Fire Dept ID: 1301 Facility ID: 734689 Town Cust ID: 526,172		
D19 SSW < 1/8 0.106 mi. 561 ft.	MARQUIP INC 1245 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI ERP WI SHWIMS WI LUST RCRA NonGen / NLR FINDS	1000350765 WID988577797
Relative: Lower	WI ERP Status: CLOSED Site Id: 1358900 Facility ID: 113183400  WI SHWIMS FID: 113183400 Status: MOVED  WI LUST Facility Status: CLOSED Site Id: 1358900 Facility ID: 113183400  RCRA NonGen / NLR EPA Id: WID988577797  FINDS Registry ID: 110001928031		
E20 ESE < 1/8 0.107 mi. 563 ft.	BADGER WELDING SUPPLIES 101 S DICKINSON ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	RCRA NonGen / NLR FINDS	1001216677 WIR000029926
Relative: Lower	RCRA NonGen / NLR EPA Id: WIR000029926  FINDS Registry ID: 110005269146		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
E21 ESE < 1/8 0.107 mi. 563 ft.	<b>101 S DICKINSON ST MADISON, WI 53705</b>  <a href="#">Click here for full text details</a>	WI UST	U003956788 N/A
Relative: Lower	<b>WI UST</b> Tank Status: Closed/Removed Object ID: 273,445 Fire Dept ID: 1301 Tank Wang Object ID: 130102966 Facility ID: 677590 Town Cust ID: 581410		
E22 ESE < 1/8 0.107 mi. 563 ft.	<b>101 S DICKINSON ST MADISON, WI 53703</b>  <a href="#">Click here for full text details</a>	EDR US Hist Auto Stat	1015125555 N/A
Relative: Lower			
E23 ESE < 1/8 0.107 mi. 563 ft.	<b>BADGER WELDING SUPPLIES INC 101 S DICKINSON ST MADISON, WI 53703</b>  <a href="#">Click here for full text details</a>	WI SHWIMS WI LUST	S101708601 N/A
Relative: Lower	<b>WI SHWIMS</b> FID: 113300770 Status: UNKNOWN  <b>WI LUST</b> Facility Status: CLOSED Site Id: 3767500 Facility ID: 113300770		
F24 SSE < 1/8 0.109 mi. 576 ft.	<b>120 S BALDWIN MADISON, WI 53703</b>  <a href="#">Click here for full text details</a>	WI AST	U003470428 N/A
Relative: Lower	<b>WI AST</b> Tank Wang Object ID: 130100282 Tank Wang Object ID: 130100281 Town Customer ID: 590,739 Tank Reg Object ID: 202,253 Tank Reg Object ID: 202,252 Facility ID: 153613 Fire Dept ID: 1301		

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>F25</b> <b>SSE</b> < 1/8 0.109 mi. 576 ft.	<b>MADISON GAS &amp; ELECTRIC CO CSC</b> <b>120 S BALDWIN ST</b> <b>MADISON, WI 53703</b>	<b>RCRA-SQG</b> <b>WI SHWIMS</b> <b>FINDS</b> <b>WI MANIFEST</b>	<b>1000892142</b> <b>WI0000197145</b>
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[Click here for full text details](#)

**Relative:**  
**Lower**

**RCRA-SQG**  
EPA Id: WI0000197145

**WI SHWIMS**  
FID: 113257760  
Status: OPERATING

**FINDS**  
Registry ID:: 110005411642

**WI MANIFEST**  
ACT Status: A  
FID: 113257760  
EPA ID: WI0000197145

<b>D26</b> <b>SW</b> < 1/8 0.111 mi. 585 ft.	<b>QUALITY AUTO PAINTING CENTER</b> <b>1240 E WASHINGTON AVE</b> <b>MADISON, WI 53703</b>	<b>RCRA-CESQG</b> <b>WI SHWIMS</b> <b>WI BROWNFIELDS</b> <b>FINDS</b> <b>WI BRRTS</b>	<b>1000287126</b> <b>WID094368354</b>
--	---	---	--

[Click here for full text details](#)

**Relative:**  
**Lower**

**RCRA-CESQG**  
EPA Id: WID094368354

**WI SHWIMS**  
FID: 113124330  
Status: OPERATING

**WI BROWNFIELDS**  
Status: GEN PROP  
Facility ID: 113124330  
Site Id: 974300

**FINDS**  
Registry ID:: 110005444769

**WI BRRTS**  
Site Id: 974300  
Status: GEN PROP

[Click here for WDNR BRRTS Link](#)

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance		Database(s)	
Elevation	Site		

---

<b>D27</b> SW < 1/8 0.111 mi. 585 ft.  Relative: Lower	1240 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	EDR US Hist Auto Stat	1015191065 N/A
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<b>D28</b> SW < 1/8 0.118 mi. 625 ft.  Relative: Lower	MADISON FIRE DEPT MAINTENANCE 1234 E WASHINGTON AVE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709836 N/A
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**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3976200  
 Facility ID: NONE

---

<b>D29</b> SW < 1/8 0.120 mi. 631 ft.  Relative: Lower	1234 E WASHINGTON AVE MADISON, WI 53704  <a href="#">Click here for full text details</a>	WI UST WI AST	U003708698 N/A
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**WI UST**  
 Tank Status: Closed/Removed  
 Object ID: 273,905  
 Object ID: 273,904  
 Fire Dept ID: 1301  
 Tank Wang Object ID: 130103454  
 Tank Wang Object ID: 130103453  
 Facility ID: 151970  
 Town Cust ID: 288388

**WI AST**  
 Tank Wang Object ID: 130100388  
 Town Customer ID: 288388  
 Tank Reg Object ID: 963,208  
 Tank Reg Object ID: 202,357  
 Facility ID: 151970  
 Fire Dept ID: 1301

---

<b>30</b> North 1/8-1/4 0.131 mi. 690 ft.  Relative: Higher	1427 E DAYTON ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U002203236 N/A
--	---	--------	-------------------

**WI UST**  
 Tank Status: Closed/Removed  
 Object ID: 271,851

MAP FINDINGS

Map ID			EDR ID Number
Direction			EPA ID Number
Distance			
Elevation	Site	Database(s)	

---

**(Continued)**

**U002203236**

Fire Dept ID: 1301  
 Tank Wang Object ID: 130100812  
 Facility ID: 59852  
 Town Cust ID: 283,814

---

**E31**  
**ESE**  
**1/8-1/4**  
**0.140 mi.**  
**737 ft.**

**110 S DICKINSON ST**  
**MADISON, WI 53703**

**WI UST**    **U003958050**  
**WI AST**    **N/A**

[Click here for full text details](#)

Relative:  
 Lower

**WI UST**

Tank Status: Closed Filled With Inert Material  
 Object ID: 273,989  
 Fire Dept ID: 1301  
 Tank Wang Object ID: 130103548  
 Facility ID: 679047  
 Town Cust ID: 283,341

**WI AST**

Town Customer ID: 283,341  
 Tank Reg Object ID: 878,525  
 Tank Reg Object ID: 864,704  
 Tank Reg Object ID: 864,697  
 Facility ID: 679047  
 Fire Dept ID: 1301

---

**E32**  
**ESE**  
**1/8-1/4**  
**0.140 mi.**  
**737 ft.**

**BOCK WATER HEATERS INC**  
**110 S DICKENSON**  
**MADISON, WI 53703**

**RCRA-CESQG**    **1004616147**  
**WID006070916**

[Click here for full text details](#)

Relative:  
 Lower

**RCRA-CESQG**

EPA Id: WID006070916

---

**E33**  
**ESE**  
**1/8-1/4**  
**0.140 mi.**  
**737 ft.**

**BOCK WATER HEATERS INC**  
**110 S DICKINSON ST**  
**MADISON, WI 53703**

**WI SHWIMS**    **S108149578**  
**WI NPDES**    **N/A**

[Click here for full text details](#)

Relative:  
 Lower

**WI SHWIMS**

FID: 113100570  
 Status: OPERATING

**WI NPDES**

FIN: 1332  
 FID: 113100570  
 Status: 6 - PERMIT COVERAGE GRANTED

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
E34 ESE 1/8-1/4 0.141 mi. 743 ft.	<b>NORTHERN PLATING INC</b> 1401 NORTHERN CT MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI SHWIMS RCRA NonGen / NLR WI MANIFEST	1000408572 WID006424253
Relative: Lower	<b>WI SHWIMS</b> FID: 113063830 Status: CLOSED  <b>RCRA NonGen / NLR</b> EPA Id: WID006424253  <b>WI MANIFEST</b> ACT Status: I FID: 113063830 EPA ID: WID006424253		
G35 NE 1/8-1/4 0.145 mi. 767 ft.	<b>HEALTHY PET VETERINARY CLINIC</b> 1440 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI SHWIMS	S116709893 N/A
Relative: Lower	<b>WI SHWIMS</b> FID: 113298020 Status: OPERATING		
D36 SW 1/8-1/4 0.146 mi. 772 ft.	<b>1212 E WASHINGTON AVE</b> MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U002140696 N/A
Relative: Lower	<b>WI UST</b> Tank Status: Closed/Removed Object ID: 273,240 Fire Dept ID: 1301 Tank Wang Object ID: 130102684 Facility ID: 64701 Town Cust ID: 604323		
G37 NE 1/8-1/4 0.148 mi. 782 ft.	<b>GREAT BIG PICTURES</b> 1444 E WASHINGTON AVE MADISON, WI  <a href="#">Click here for full text details</a>	WI ERP	S102356293 N/A
Relative: Lower	<b>WI ERP</b> Status: CLOSED Site Id: 4442100		



MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**GREAT BIG PICTURES (Continued)**

**S102356293**

Facility ID: NONE

---

**38  
NW  
1/8-1/4  
0.151 mi.  
795 ft.**

**1319 E JOHNSON ST  
MADISON, WI 53703**

**WI UST U003808670  
N/A**

[Click here for full text details](#)

**Relative:  
Higher**

**WI UST**

Tank Status: Closed/Removed  
Object ID: 274,125  
Fire Dept ID: 1301  
Tank Wang Object ID: 130103703  
Facility ID: 105982  
Town Cust ID: 339115

---

**H39  
East  
1/8-1/4  
0.160 mi.  
846 ft.**

**1433 E MAIN ST  
MADISON, WI 53703**

**WI UST U002215148  
N/A**

[Click here for full text details](#)

**Relative:  
Lower**

**WI UST**

Tank Status: Closed/Removed  
Object ID: 271,991  
Fire Dept ID: 1301  
Tank Wang Object ID: 130101023  
Facility ID: 135051  
Town Cust ID: 581,410

---

**I40  
SW  
1/8-1/4  
0.161 mi.  
851 ft.**

**1200 E WASHINGTON AVE  
MADISON, WI 53703**

**EDR US Hist Auto Stat 1015179391  
N/A**

[Click here for full text details](#)

**Relative:  
Lower**

---

**I41  
SW  
1/8-1/4  
0.161 mi.  
851 ft.**

**1200 E WASHINGTON AVE  
MADISON, WI 53703**

**WI UST U004061346  
N/A**

[Click here for full text details](#)

**Relative:  
Lower**

**WI UST**

Tank Status: Closed Filled With Inert Material  
Object ID: 1,086,946  
Object ID: 1,086,945  
Object ID: 1,086,944  
Object ID: 1,086,943

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**(Continued)**

**U004061346**

Object ID: 1,086,936  
 Fire Dept ID: 1301  
 Facility ID: 715645  
 Town Cust ID: 1,027,039

---

**I42**  
**SW**  
 1/8-1/4  
 0.161 mi.  
 851 ft.

**ROADWAY TRANSMISSION**  
**1200 E WASHINGTON AVE**  
**MADISON, WI 53703**

**WI LUST**    **S105814224**  
 N/A

[Click here for full text details](#)

Relative:  
 Lower

**WI LUST**  
 Facility Status: OPEN  
 Site Id: 9264500  
 Facility ID: NONE

---

**G43**  
**NE**  
 1/8-1/4  
 0.162 mi.  
 853 ft.

**1462 E WASHINGTON**  
**MADISON, WI 53703**

**WI UST**    **U003497174**  
 N/A

[Click here for full text details](#)

Relative:  
 Lower

**WI UST**  
 Tank Status: Closed/Removed  
 Object ID: 273,666  
 Object ID: 273,665  
 Object ID: 273,664  
 Fire Dept ID: 1301  
 Tank Wang Object ID: 130103208  
 Tank Wang Object ID: 130103207  
 Tank Wang Object ID: 130103206  
 Facility ID: 87368  
 Town Cust ID: 275988

---

**G44**  
**NE**  
 1/8-1/4  
 0.162 mi.  
 853 ft.

**WALLER PROPERTY**  
**1462 E WASHINGTON AVE**  
**MADISON, WI**

**WI LAST**    **S101516328**  
**WI LUST**    **N/A**  
**WI AUL**  
**WI BRRTS**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
 Lower

**WI LAST**  
 Status: CLOSED  
 Site ID: 3732400  
 Facility ID: NONE

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3732400  
 Facility ID: NONE

**WI AUL**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WALLER PROPERTY (Continued)**

**S101516328**

Status: CLOSED  
Site Id: 3732400  
Facid: NONE

**WI BRRTS**

Site Id: 3732400  
Status: NAR

**G45**  
**NE**  
**1/8-1/4**  
**0.163 mi.**  
**860 ft.**

**1464 E WASHINGTON AVE**  
**MADISON, WI 53703**

**EDR US Hist Auto Stat**    **1015232024**  
**N/A**

[Click here for full text details](#)

Relative:  
Lower

**G46**  
**NE**  
**1/8-1/4**  
**0.163 mi.**  
**860 ft.**

**1464 E WASHINGTON AVE**  
**MADISON, WI 53703**

**WI UST**    **U002138459**  
**N/A**

[Click here for full text details](#)

Relative:  
Lower

**WI UST**

Tank Status: Closed/Removed  
Object ID: 273,526  
Object ID: 273,527  
Fire Dept ID: 1301  
Tank Wang Object ID: 130103054  
Tank Wang Object ID: 130103055  
Facility ID: 132251  
Town Cust ID: 275,989  
Town Cust ID: 275,988

**I47**  
**SW**  
**1/8-1/4**  
**0.164 mi.**  
**864 ft.**

**12 N FEW ST**  
**MADISON, WI 53703**

**WI UST**    **1000815021**  
**WI AST**    **N/A**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Lower

**WI UST**

Tank Status: Closed/Removed  
Object ID: 273,610  
Object ID: 273,609  
Object ID: 273,612  
Object ID: 273,611  
Fire Dept ID: 1301  
Tank Wang Object ID: 130103140  
Tank Wang Object ID: 130103139  
Tank Wang Object ID: 130103146  
Tank Wang Object ID: 130103144  
Facility ID: 150393

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**(Continued)**

**1000815021**

Town Cust ID: 384,323

**WI AST**

Tank Wang Object ID: 130100168  
Town Customer ID: 384,323  
Tank Reg Object ID: 202,139  
Facility ID: 150393  
Fire Dept ID: 1301

**I48  
SW  
1/8-1/4  
0.164 mi.  
864 ft.**

**BADGER CAB CO  
12 N FEW ST  
MADISON, WI 53703**

**WI SHWIMS 1004799157  
WI LAST WID988638755  
WI LUST  
RCRA NonGen / NLR  
FINDS**

[Click here for full text details](#)

**Relative:  
Lower**

**WI SHWIMS**

FID: 113246650  
Status: OPERATING

**WI LAST**

Status: CLOSED  
Site ID: 2601600  
Facility ID: 113246650

**WI LUST**

Facility Status: CLOSED  
Site Id: 2601600  
Facility ID: 113246650

**RCRA NonGen / NLR**

EPA Id: WID988638755

**FINDS**

Registry ID:: 110005503516

**J49  
ESE  
1/8-1/4  
0.165 mi.  
871 ft.**

**WI STATE FEDERAL PROPERTY PROGRAM  
201 S DICKINSON ST  
MADISON, WI 53707**

**WI SHWIMS S108160046  
N/A**

[Click here for full text details](#)

**Relative:  
Lower**

**WI SHWIMS**

FID: 113156780  
Status: UNKNOWN

MAP FINDINGS

Map ID			EDR ID Number
Direction			
Distance			
Elevation	Site	Database(s)	EPA ID Number

---

<b>J50</b> <b>ESE</b> <b>1/8-1/4</b> <b>0.165 mi.</b> <b>871 ft.</b>	<b>WISC STATE OF FEDERAL PROPERTY PROGRAM</b> <b>201 S DICKINSON ST</b> <b>MADISON, WI 53701</b>	<b>RCRA NonGen / NLR</b> <b>FINDS</b>	<b>1000165890</b> <b>WID981952617</b>
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[Click here for full text details](#)

**Relative:**  
**Lower**  
**RCRA NonGen / NLR**  
 EPA Id: WID981952617

**FINDS**  
 Registry ID:: 110005459574

---

<b>J51</b> <b>ESE</b> <b>1/8-1/4</b> <b>0.165 mi.</b> <b>871 ft.</b>	<b>201 S DICKINSON ST</b> <b>MADISON, WI 53703</b>	<b>WI UST</b> <b>WI AST</b> <b>WI Financial Assurance</b>	<b>U002152533</b> <b>N/A</b>
--	---	---	---------------------------------

[Click here for full text details](#)

**Relative:**  
**Lower**  
**WI UST**  
 Tank Status: Temporarily Out of Service  
 Object ID: 273,019  
 Fire Dept ID: 1301  
 Tank Wang Object ID: 130102414  
 Facility ID: 144348  
 Town Cust ID: 647,292

**WI AST**  
 Tank Wang Object ID: 130100134  
 Town Customer ID: 647,292  
 Tank Reg Object ID: 806,906  
 Tank Reg Object ID: 802,273  
 Tank Reg Object ID: 202,106  
 Facility ID: 144348  
 Fire Dept ID: 1301

**WI Financial Assurance**  
 Building ID: 144348  
 Regulatory Object Id: 273019

---

<b>52</b> <b>West</b> <b>1/8-1/4</b> <b>0.165 mi.</b> <b>873 ft.</b>	<b>KASPER PROPERTY</b> <b>1217 E DAYTON ST</b> <b>MADISON, WI</b>	<b>WI ERP</b>	<b>S102356391</b> <b>N/A</b>
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[Click here for full text details](#)

**Relative:**  
**Higher**  
**WI ERP**  
 Status: CLOSED  
 Site Id: 4454500  
 Facility ID: NONE

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
H53 ENE 1/8-1/4 0.170 mi. 896 ft.	1449 E MAIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U003572419 N/A
Relative: Lower	WI UST Tank Status: Closed/Removed Object ID: 271,707 Fire Dept ID: 1301 Tank Wang Object ID: 130100487 Facility ID: 50355 Town Cust ID: 280,225		
H54 ENE 1/8-1/4 0.170 mi. 899 ft.	US ARMY RESERVE 633RD 1450 MAIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI SHWIMS	S108158691 N/A
Relative: Lower	WI SHWIMS FID: 113257320 Status: CLOSED		
H55 ENE 1/8-1/4 0.170 mi. 899 ft.	US ARMY RESERVE 633RD 1450 MAIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	RCRA NonGen / NLR FINDS	1004795400 WI0000148213
Relative: Lower	RCRA NonGen / NLR EPA Id: WI0000148213  FINDS Registry ID: 110005411278		
H56 ENE 1/8-1/4 0.170 mi. 899 ft.	1450 E MAIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI UST	U002058276 N/A
Relative: Lower	WI UST Tank Status: Closed/Removed Object ID: 273,347 Fire Dept ID: 1301 Tank Wang Object ID: 130102836 Facility ID: 93462 Town Cust ID: 601013		

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**H57**  
**ENE**  
**1/8-1/4**  
**0.171 mi.**  
**904 ft.**

**KIMPORT INVESTMENT CO**  
**1459 E MAIN ST**  
**MADISON, WI**

**WI ERP** **S105164698**  
**WI SHWIMS** **N/A**  
**WI CRS**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 7567500  
Facility ID: NONE

**WI SHWIMS**  
Status: UNKNOWN

**WI AUL**  
Status: CLOSED  
Site Id: 7567500  
Facid: NONE

**G58**  
**NE**  
**1/8-1/4**  
**0.175 mi.**  
**923 ft.**

**1455 E WASHINGTON AVE**  
**MADISON, WI 53703**

**WI LUST** **U002006776**  
**WI UST** **N/A**  
**WI CRS**  
**WI AUL**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**  
Facility Status: CLOSED  
Site Id: 3398900  
Facility ID: NONE

**WI UST**  
Tank Status: Closed/Removed  
Object ID: 273,169  
Object ID: 273,168  
Object ID: 273,185  
Object ID: 271,410  
Object ID: 273,184  
Fire Dept ID: 1301  
Tank Wang Object ID: 130102598  
Tank Wang Object ID: 130102597  
Tank Wang Object ID: 130102618  
Tank Wang Object ID: 130100000  
Tank Wang Object ID: 130102617  
Facility ID: 147073  
Town Cust ID: 383474  
Town Cust ID: 601013  
Town Cust ID: 383475

**WI AUL**  
Status: CLOSED  
Site Id: 3398900  
Facid: NONE

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
G59 NE 1/8-1/4 0.179 mi. 947 ft.	1 SPARKLE CT MADISON, WI 53703	EDR US Hist Auto Stat	1015115959 N/A
Relative: Lower	<a href="#">Click here for full text details</a>		
J60 ESE 1/8-1/4 0.190 mi. 1005 ft.	PHILCORE BUILDERS INC 206 S DICKINSON ST MADISON, WI 53703	WI SHWIMS	S108156158 N/A
Relative: Lower	WI SHWIMS FID: 998331730 Status: CLOSED <a href="#">Click here for full text details</a>		
K61 NE 1/8-1/4 0.191 mi. 1011 ft.	18 N THORNTON AVE MADISON, WI 53703	EDR US Hist Auto Stat	1015277191 N/A
Relative: Lower	<a href="#">Click here for full text details</a>		
K62 NE 1/8-1/4 0.192 mi. 1012 ft.	20 N THORNTON AVE MADISON, WI 53703	EDR US Hist Auto Stat	1015300709 N/A
Relative: Lower	<a href="#">Click here for full text details</a>		
K63 NE 1/8-1/4 0.192 mi. 1012 ft.	SPARKLE AUTO BODY 20 N THORNTON AVE MADISON, WI 53703	RCRA-CESQG WI SHWIMS FINDS WI MANIFEST	1004796517 WID099128373
Relative: Lower	<a href="#">Click here for full text details</a> RCRA-CESQG EPA Id: WID099128373  WI SHWIMS FID: 113150070 Status: OPERATING  FINDS Registry ID: 110005445517		



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SPARKLE AUTO BODY (Continued)**

1004796517

**WI MANIFEST**

ACT Status: I  
ACT Status: A  
FID: 113150070  
EPA ID: WID099128373

**K64**  
**NE**  
**1/8-1/4**  
**0.192 mi.**  
**1013 ft.**

**22 N THORNTON AVE**  
**MADISON, WI 53703**

**EDR US Hist Auto Stat**

**1015332212**

**N/A**

[Click here for full text details](#)

**Relative:**  
**Lower**

**65**  
**NNE**  
**1/8-1/4**  
**0.193 mi.**  
**1019 ft.**

**110 N THORNTON AVE**  
**MADISON, WI 53713**

**WI UST**

**U003466655**

**N/A**

[Click here for full text details](#)

**Relative:**  
**Lower**

**WI UST**

Tank Status: Closed/Removed  
Object ID: 274,231  
Fire Dept ID: 1301  
Tank Wang Object ID: 130103810  
Facility ID: 144390  
Town Cust ID: 380423

**K66**  
**NE**  
**1/8-1/4**  
**0.215 mi.**  
**1134 ft.**

**1860/1880 E WASHINGTON AVE**  
**MADISON, WI 53704**

**WI UST**

**U003458807**

**N/A**

[Click here for full text details](#)

**Relative:**  
**Lower**

**WI UST**

Tank Status: Closed/Removed  
Tank Status: Abandoned without Product  
Object ID: 272,574  
Object ID: 272,576  
Object ID: 272,573  
Object ID: 272,572  
Object ID: 272,570  
Object ID: 272,575  
Object ID: 272,571  
Fire Dept ID: 1301  
Tank Wang Object ID: 130101810  
Tank Wang Object ID: 130101812  
Tank Wang Object ID: 130101809  
Tank Wang Object ID: 130101808  
Tank Wang Object ID: 130101806

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**(Continued)**

**U003458807**

Tank Wang Object ID: 130101811  
 Tank Wang Object ID: 130101807  
 Facility ID: 130992  
 Town Cust ID: 375268

**67**  
**ESE**  
**1/8-1/4**  
**0.230 mi.**  
**1212 ft.**

**305 S DICKINSON ST**  
**MADISON, WI 53703**

**EDR US Hist Auto Stat**

**1015407792**  
**N/A**

[Click here for full text details](#)

Relative:  
 Higher

**L68**  
**SW**  
**1/8-1/4**  
**0.240 mi.**  
**1269 ft.**

**1136 E WASHINGTON AVE**  
**MADISON, WI 53703**

**WI UST**

**U003708898**  
**N/A**

[Click here for full text details](#)

Relative:  
 Lower

**WI UST**

Tank Status: Closed/Removed  
 Object ID: 638,172  
 Fire Dept ID: 1301  
 Facility ID: 184466  
 Town Cust ID: 9207

**69**  
**East**  
**1/4-1/2**  
**0.261 mi.**  
**1377 ft.**

**WI DOA**  
**202 S THORNTON**  
**MADISON, WI 53702**

**WI ERP**  
**WI SHWIMS**  
**WI LUST**  
**WI CRS**  
**WI AUL**  
**WI SPILLS**  
**WI BRRTS**  
**WI MANIFEST**  
**WI WRRSER**

**S101677490**  
**N/A**

[Click here for full text details](#)

Relative:  
 Lower

**WI ERP**

Status: CLOSED  
 Site Id: 1230500  
 Facility ID: 113160960

**WI SHWIMS**

FID: 113160960  
 Status: OPERATING

**WI LUST**

Facility Status: CLOSED  
 Site Id: 1230500  
 Facility ID: 113160960

**WI CRS**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WI DOA (Continued)**

**S101677490**

Site ID: 1230500  
Facility ID: 113160960

**WI AUL**

Status: CLOSED  
Site Id: 1230500  
Facid: 113160960

**WI SPILLS**

Site Id: 1230500  
Status: CLOSED

**WI BRRTS**

Site Id: 1230500  
Status: NAR

[Click here for WDNR BRRTS Link](#)

**WI MANIFEST**

ACT Status: A  
FID: 113160960  
EPA ID: WID982207334

L70  
SW  
1/4-1/2  
0.283 mi.  
1496 ft.

**MADISON METRO TRANSIT SYSTEM**  
1101 E WASHINGTON AVE  
MADISON, WI 53703

[Click here for full text details](#)

Relative:  
Lower

RCRA-CESQG 1000263170  
WI SHWIMS WID981778947  
WI LUST  
WI SPILLS  
FINDS  
WI MANIFEST  
WI NPDES

**RCRA-CESQG**

EPA Id: WID981778947

**WI SHWIMS**

FID: 113149520  
Status: OPERATING

**WI LUST**

Facility Status: CLOSED  
Site Id: 1166200  
Facility ID: 113149520

**WI SPILLS**

Site Id: 1166200  
Status: HISTORIC SPILL

**FINDS**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MADISON METRO TRANSIT SYSTEM (Continued)**

1000263170

Registry ID:: 110005457521

**WI MANIFEST**

ACT Status: A  
ACT Status: I  
FID: 113149520  
EPA ID: WID981778947

**WI NPDES**

FIN: 3672  
FID: 113149520  
Status: 6 - PERMIT COVERAGE GRANTED

M71  
SSE  
1/4-1/2  
0.297 mi.  
1569 ft.

**SUNRISE OIL CO**  
1252 WILLIAMSON ST  
MADISON, WI 53703

[Click here for full text details](#)

Relative:  
Higher

**WI SHWIMS** 1000879495  
**WI LUST** WI0000086041  
**WI CRS**  
**WI AUL**  
**WI SPILLS**  
RCRA NonGen / NLR  
FINDS

**WI SHWIMS**

FID: 113257100  
Status: OPERATING

**WI LUST**

Facility Status: CLOSED  
Site Id: 2792600  
Facility ID: 113257100

**WI CRS**

Site ID: 2792600  
Facility ID: 113257100

**WI AUL**

Status: CLOSED  
Site Id: 2792600  
Facid: 113257100

**WI SPILLS**

Site Id: 2792600  
Status: CLOSED

**RCRA NonGen / NLR**

EPA Id: WI0000086041

**FINDS**

Registry ID:: 110005409138

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**M72**  
**SSE**  
1/4-1/2  
0.298 mi.  
1574 ft.

**SHAHER PHARMACY**  
**1255 WILLIAMSON ST**  
**MADISON, WI 53703**

**WI SHWIMS**

**S108157379**  
**N/A**

[Click here for full text details](#)

Relative:  
Higher

**WI SHWIMS**  
FID: 113294610  
Status: OPERATING

**N73**  
**NE**  
1/4-1/2  
0.307 mi.  
1620 ft.

**MARLING LUMBER**  
**1801 E WASHINGTON AVE**  
**MADISON, WI**

**WI ERP**  
**WI LAST**  
**WI LUST**  
**WI CRS**  
**WI AUL**  
**WI WRRSER**

**U002063743**  
**N/A**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 3731300  
Facility ID: NONE

**WI LAST**  
Status: CLOSED  
Site ID: 3731300  
Facility ID: NONE

**WI LUST**  
Facility Status: CLOSED  
Site Id: 3731300  
Facility ID: NONE

**WI AUL**  
Status: CLOSED  
Site Id: 3731300  
Facid: NONE

**O74**  
**SSW**  
1/4-1/2  
0.309 mi.  
1634 ft.

**RESEARCH PRODUCTS CORP**  
**130 S INGERSOLL**  
**MADISON, WI 53703**

**WI SHWIMS**  
**RCRA NonGen / NLR**  
**FINDS**  
**WI MANIFEST**

**1004800874**  
**WIR000051649**

[Click here for full text details](#)

Relative:  
Lower

**WI SHWIMS**  
FID: 313004450  
Status: OPERATING

**RCRA NonGen / NLR**  
EPA Id: WIR000051649

**FINDS**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**RESEARCH PRODUCTS CORP (Continued)**

1004800874

Registry ID:: 110005545151

**WI MANIFEST**

ACT Status: A  
FID: 313004450  
EPA ID: WIR000051649

75  
SW  
1/4-1/2  
0.314 mi.  
1658 ft.

**OCTOPUS CAR WASH**  
1039 E WASHINGTON AVE  
MADISON, WI 53703

[Click here for full text details](#)

Relative:  
Lower

**WI SHWIMS** 1001216589  
**WI LUST** WIR000028720  
**WI CRS**  
**WI AUL**  
RCRA NonGen / NLR  
**FINDS**  
**WI BRRTS**

**WI SHWIMS**

FID: 113081210  
Status: OPERATING

**WI LUST**

Facility Status: CLOSED  
Site Id: 4024500  
Facility ID: 113081210

**WI CRS**

Site ID: 4024500  
Facility ID: 113081210

**WI AUL**

Status: CLOSED  
Site Id: 4024500  
Facid: 113081210

**RCRA NonGen / NLR**

EPA Id: WIR000028720

**FINDS**

Registry ID:: 110008250846

**WI BRRTS**

Site Id: 4024500  
Status: NAR

[Click here for WDNR BRRTS Link](#)

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**N76**  
**NE**  
**1/4-1/2**  
**0.320 mi.**  
**1691 ft.**

**AUTOMOTIVE REPAIR & ACCESSORIES**  
**1831 E WASHINGTON AVE**  
**MADISON, WI 53704**

**WI SHWIMS** **S108272476**  
**WI LUST** **N/A**  
**WI CRS**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI SHWIMS**  
FID: 113226190  
Status: UNKNOWN

**WI LUST**  
Facility Status: CLOSED  
Site Id: 2086400  
Facility ID: 113226190

**WI CRS**  
Site ID: 2086400  
Facility ID: 113226190

**WI AUL**  
Status: CLOSED  
Site Id: 2086400  
Facid: 113226190

**O77**  
**SSW**  
**1/4-1/2**  
**0.327 mi.**  
**1729 ft.**

**JOHNSON PROPERTY**  
**201 S INGERSOLL ST**  
**MADISON, WI**

**WI ERP** **S101515259**  
**WI LUST** **N/A**  
**WI LAST**  
**WI CRS**  
**WI AUL**  
**WI BROWNFIELDS**  
**WI BRRTS**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 3307300  
Facility ID: NONE

**WI LUST**  
Facility Status: CLOSED  
Site Id: 3307300  
Facility ID: NONE

**WI LAST**  
Status: CLOSED  
Site ID: 3307300  
Facility ID: NONE

**WI AUL**  
Status: CLOSED  
Site Id: 3307300

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JOHNSON PROPERTY (Continued)**

**S101515259**

Facid: NONE

**WI BROWNFIELDS**

Status: GEN PROP  
Site Id: 3307300

**WI BRRTS**

Site Id: 3307300  
Status: GEN PROP

**78**  
South  
1/4-1/2  
0.363 mi.  
1916 ft.

**MADISON GAS & ELECTRIC**  
**303 S INGERSOLL ST**  
**MADISON, WI**

**WI LUST** **S106479861**  
**WI CRS** **N/A**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**

Facility Status: CLOSED  
Site Id: 6508800  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 6508800  
Facid: NONE

**P79**  
**NE**  
1/4-1/2  
0.365 mi.  
1925 ft.

**WASHINGTON PLAZA**  
**1860 - 1880 E WASHINGTON AVE**  
**MADISON, WI 53704**

**WI LUST** **S106599932**  
**WI CRS** **N/A**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**

Facility Status: CLOSED  
Site Id: 11922100  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 11922100  
Facid: NONE



MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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80 NE 1/4-1/2 0.370 mi. 1952 ft.	<b>MADISON METROPOLITAN SEWERAGE DIST</b> <b>104 FIRST ST</b> <b>MADISON, WI</b>	<b>WI LUST</b> <b>WI CRS</b> <b>WI AUL</b>	<b>S104397231</b> <b>N/A</b>
--	--	--	---------------------------------

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 7451600  
 Facility ID: NONE

**WI AUL**  
 Status: CLOSED  
 Site Id: 7451600  
 Facid: NONE

81 South 1/4-1/2 0.375 mi. 1978 ft.	<b>SPEEDWAY/SUPERAMERICA LLC NO 2014</b> <b>1130 WILLIAMSON</b> <b>MADISON, WI 53703</b>	<b>WI SHWIMS</b> <b>WI LUST</b>	<b>S105913108</b> <b>N/A</b>
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[Click here for full text details](#)

Relative:  
Higher

**WI SHWIMS**  
 FID: 113192640  
 Status: UNKNOWN

**WI LUST**  
 Facility Status: OPEN  
 Site Id: 1355100  
 Facility ID: 113192640

Q82 SW 1/4-1/2 0.376 mi. 1984 ft.	<b>SUTTLE STRAUS (FORMER)</b> <b>1028 E WASHINGTON AVE</b> <b>MADISON, WI 53701</b>	<b>WI ERP</b> <b>WI SHWIMS</b> <b>WI CRS</b> <b>WI AUL</b> <b>WI BRRTS</b>	<b>1006135996</b> <b>N/A</b>
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[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
 Status: CLOSED  
 Site Id: 636000  
 Facility ID: 113183730

**WI SHWIMS**  
 FID: 113183730  
 Status: MOVED

**WI CRS**  
 Site ID: 636000  
 Facility ID: 113183730

**WI AUL**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SUTTLE STRAUS (FORMER) (Continued)**

1006135996

Status: CLOSED  
Site Id: 636000  
Facid: 113183730

**WI BRRTS**

Site Id: 636000  
Status: NAR

[Click here for WDNR BRRTS Link](#)

**P83**  
**NE**  
1/4-1/2  
0.393 mi.  
2076 ft.

**SHERWIN-WILLIAMS #3501**  
**1884 E WASHINGTON AVE**  
**MADISON, WI 53704**

**WI SHWIMS** S116229618  
**WI MANIFEST** N/A

[Click here for full text details](#)

Relative:  
Higher

**WI SHWIMS**

FID: 113395810  
Status: OPERATING

**WI MANIFEST**

ACT Status: A  
FID: 113395810  
EPA ID: WIR000150086

**R84**  
**SSW**  
1/4-1/2  
0.394 mi.  
2078 ft.

**RESEARCH PRODUCTS PROPERTY**  
**1023 E MAIN ST**  
**MADISON, WI**

**WI ERP** S103718143  
**WI CRS** N/A  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**

Status: CLOSED  
Site Id: 7119600  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 7119600  
Facid: NONE

**85**  
**ENE**  
1/4-1/2  
0.395 mi.  
2084 ft.

**DEAN MEDICAL CENTER**  
**1882 E MAIN ST**  
**MADISON, WI 53704**

**WI SHWIMS** S108150851  
N/A

[Click here for full text details](#)

Relative:  
Higher

**WI SHWIMS**

FID: 113249510

MAP FINDINGS

Map ID			
Direction			
Distance			
Elevation	Site	Database(s)	EDR ID Number EPA ID Number

**DEAN MEDICAL CENTER (Continued)**

**S108150851**

Status: CLOSED

**R86** RESEARCH PRODUCTS CORP  
**SSW** 1015 E MAIN ST  
 1/4-1/2 MADISON, WI 53703  
 0.403 mi.  
 2127 ft.

**RCRA-CESQG** 1004797134  
**WI SHWIMS** WID982631475  
**FINDS**

[Click here for full text details](#)

Relative:  
Lower

**RCRA-CESQG**  
 EPA Id: WID982631475

**WI SHWIMS**  
 FID: 113184060  
 Status: OPERATING

**FINDS**  
 Registry ID:: 110007331379

**P87** CAR CARE CLINIC  
**NE** 1894 E WASHINGTON AVE  
 1/4-1/2 MADISON, WI  
 0.405 mi.  
 2139 ft.

**WI LUST** U002203246  
**WI CRS** N/A  
**WI AUL**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3760700  
 Facility ID: NONE

**WI AUL**  
 Status: CLOSED  
 Site Id: 3760700  
 Facid: NONE

**Q88** 1002 E WASHINGTON AVE  
**SW** MADISON, WI 53703  
 1/4-1/2  
 0.408 mi.  
 2155 ft.

**WI LUST** 1000662378  
**WI UST** N/A  
**WI SPILLS**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**  
 Facility Status: OPEN  
 Site Id: 3316200  
 Facility ID: 113005750

**WI UST**  
 Tank Status: Closed/Removed  
 Object ID: 273,115

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

(Continued)

1000662378

Object ID: 273,114  
Object ID: 273,113  
Object ID: 273,117  
Object ID: 273,116  
Object ID: 273,112  
Fire Dept ID: 1301  
Tank Wang Object ID: 130102541  
Tank Wang Object ID: 130102540  
Tank Wang Object ID: 130102539  
Tank Wang Object ID: 130102543  
Tank Wang Object ID: 130102542  
Tank Wang Object ID: 130102538  
Facility ID: 106759  
Town Cust ID: 624227

WI SPILLS

Site Id: 3316200  
Status: CLOSED

89  
NE  
1/4-1/2  
0.409 mi.  
2158 ft.

MADISON WASTE OIL RECV  
120 N FIRST ST  
MADISON, WI

WI ERP S104005278  
N/A

[Click here for full text details](#)

Relative:  
Higher

WI ERP

Status: CLOSED  
Site Id: 4405900  
Facility ID: 113176800

Q90  
SW  
1/4-1/2  
0.411 mi.  
2170 ft.

WASHINGTON CENTER ASSOCIATES  
1001 E WASHINGTON AVE  
MADISON, WI 53703

WI SHWIMS S108159209  
N/A

[Click here for full text details](#)

Relative:  
Lower

WI SHWIMS

FID: 313002690  
Status: CLOSED

S91  
NNE  
1/4-1/2  
0.416 mi.  
2196 ft.

MADISON CITY OF MOTOR EQUIPMENT  
200 N FIRST ST  
MADISON, WI 53704

RCRA-CESQG 1000263173  
WI SHWIMS WID982204901  
WI LUST  
WI CRS  
WI AUL  
WI SPILLS  
FINDS  
WI MANIFEST

[Click here for full text details](#)

Relative:  
Lower

RCRA-CESQG

EPA Id: WID982204901

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MADISON CITY OF MOTOR EQUIPMENT (Continued)**

1000263173

**WI SHWIMS**

FID: 113158870  
FID: 999774930  
Status: OPERATING  
Status: UNKNOWN

**WI LUST**

Facility Status: CLOSED  
Site Id: 3370300  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 3370300  
Facid: NONE

**WI SPILLS**

Site Id: 3370300  
Status: CLOSED

**FINDS**

Registry ID:: 110005461277

**WI MANIFEST**

ACT Status: I  
ACT Status: A  
FID: 113158870  
EPA ID: WID982204901

S92  
NNE  
1/4-1/2  
0.417 mi.  
2202 ft.

**MADISON CTY MUNICIPAL WELL #3**  
212 N 1ST ST  
MADISON, WI 53703

WI SHWIMS S117677785  
N/A

Relative:  
Lower

[Click here for full text details](#)

**WI SHWIMS**

FID: 113214420  
Status: OPERATING

S93  
NNE  
1/4-1/2  
0.417 mi.  
2202 ft.

**MADISON CTY MUNICIPAL WELL #3**  
212 N 1ST ST  
MADISON, WI 53703

WI ERP S105164720  
N/A

Relative:  
Lower

[Click here for full text details](#)

**WI ERP**

Status: OPEN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MADISON CTY MUNICIPAL WELL #3 (Continued)**

**S105164720**

Site Id: 7999100  
Facility ID: 113214420

**T94**  
**SSW**  
**1/4-1/2**  
**0.420 mi.**  
**2217 ft.**

**MADISON GAS & ELECTRIC CO.**  
**1043 EAST WILSON STREET**  
**MADISON, WI 53703**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP** **1004615013**  
**WI SHWIMS** **WI0000034926**  
**WI SPILLS**  
**RCRA NonGen / NLR**  
**PADS**  
**FINDS**  
**WI MANIFEST**

**WI ERP**

Status: CLOSED  
Site Id: 2693000  
Facility ID: 113251820

**WI SHWIMS**

FID: 113251820  
Status: OPERATING

**WI SPILLS**

Site Id: 2693000  
Status: CLOSED

**RCRA NonGen / NLR**

EPA Id: WI0000034926

**PADS**

EPAID:: WI0000034926

**FINDS**

Registry ID:: 110005408941

**WI MANIFEST**

ACT Status: I  
ACT Status: A  
FID: 113251820  
EPA ID: WI0000034926

**U95**  
**WNW**  
**1/4-1/2**  
**0.420 mi.**  
**2217 ft.**

**CURRAN PROPERTY**  
**1223 SHERMAN AVE**  
**MADISON, WI**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST** **S101516771**  
**WI CRS** **N/A**  
**WI AUL**  
**WI WRRSER**

**WI LUST**

Facility Status: CLOSED  
Site Id: 3843400

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CURRAN PROPERTY (Continued)**

**S101516771**

Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 3843400  
Facid: NONE

V96  
NNW  
1/4-1/2  
0.426 mi.  
2250 ft.

**SHERMAN TERRACE SITE #18**  
**35 SHERMAN TERRACE**  
**MADISON, WI**

**WI LUST S101709890**  
**N/A**

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**

Facility Status: CLOSED  
Site Id: 3984600  
Facility ID: NONE

V97  
NNW  
1/4-1/2  
0.426 mi.  
2250 ft.

**SHERMAN TERRACE SITE #4**  
**36 SHERMAN TERRACE**  
**MADISON, WI**

**WI LUST S102453937**  
**N/A**

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**

Facility Status: CLOSED  
Site Id: 3921500  
Facility ID: NONE

U98  
WNW  
1/4-1/2  
0.426 mi.  
2251 ft.

**HART PROPERTY**  
**1220 SHERMAN AVE**  
**MADISON, WI**

**WI LUST S105114197**  
**WI CRS N/A**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**

Facility Status: CLOSED  
Site Id: 7948400  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 7948400  
Facid: NONE

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>V99</b> <b>NNW</b> <b>1/4-1/2</b> <b>0.429 mi.</b> <b>2264 ft.</b>	<b>SHERMAN TERRACE SITE #17</b> <b>34 SHERMAN TERRACE</b> <b>MADISON, WI</b>  <a href="#">Click here for full text details</a>	<b>WI LUST</b>	<b>S101709889</b> <b>N/A</b>
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Relative:  
Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3984400  
 Facility ID: NONE

<b>W100</b> <b>NNE</b> <b>1/4-1/2</b> <b>0.433 mi.</b> <b>2286 ft.</b>	<b>MADISON RAILYARD</b> <b>1890 E JOHNSON</b> <b>MADISON, WI 53700</b>  <a href="#">Click here for full text details</a>	<b>WI SHWIMS</b> <b>WI LUST</b> <b>RCRA NonGen / NLR</b> <b>FINDS</b>	<b>1004799850</b> <b>WIR000017293</b>
--	--	--	--

Relative:  
Lower

**WI SHWIMS**  
 FID: 113284490  
 Status: OPERATING

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3330000  
 Facility ID: 113187140

**RCRA NonGen / NLR**  
 EPA Id: WIR000017293

**FINDS**  
 Registry ID.: 110008249724

<b>W101</b> <b>NNE</b> <b>1/4-1/2</b> <b>0.434 mi.</b> <b>2291 ft.</b>	<b>LINDSAY FINISHES INC.</b> <b>1898 E JOHNSON ST</b> <b>MADISON, WI 53704</b>  <a href="#">Click here for full text details</a>	<b>WI ERP</b> <b>WI SHWIMS</b> <b>WI UST</b> <b>WI CRS</b> <b>WI AUL</b> <b>RCRA NonGen / NLR</b> <b>FINDS</b>	<b>1000192542</b> <b>WID006124986</b>
--	--	--	--

Relative:  
Lower

**WI ERP**  
 Status: CLOSED  
 Site Id: 642600  
 Facility ID: 113165470

**WI SHWIMS**  
 FID: 113165470  
 Status: CLOSED

**WI UST**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**LINDSAY FINISHES INC. (Continued)**

1000192542

Tank Status: Closed Filled With Inert Material  
Object ID: 272,149  
Fire Dept ID: 1301  
Tank Wang Object ID: 130101245  
Facility ID: 104856  
Town Cust ID: 337892

**WI CRS**

Site ID: 642600  
Facility ID: 113165470

**WI AUL**

Status: CLOSED  
Site Id: 642600  
Facid: 113165470

**RCRA NonGen / NLR**

EPA Id: WID006124986

**FINDS**

Registry ID:: 110002121347

V102  
NNW  
1/4-1/2  
0.434 mi.  
2292 ft.

**SHERMAN TERRACE SITE #16**  
**29 SHERMAN TERRACE**  
**MADISON, WI**

**WI LUST** S101709888  
N/A

[Click here for full text details](#)

Relative:  
Higher

**WI LUST**

Facility Status: CLOSED  
Site Id: 3984200  
Facility ID: NONE

T103  
SSW  
1/4-1/2  
0.435 mi.  
2296 ft.

**BYRNS PROPERTIES LTD**  
**211 S BREARLY ST**  
**MADISON, WI**

**WI LUST** S101516835  
**WI LAST** N/A  
**WI CRS**  
**WI AUL**  
**WI WRRSER**

[Click here for full text details](#)

Relative:  
Lower

**WI LUST**

Facility Status: CLOSED  
Site Id: 3860900  
Facility ID: NONE

**WI LAST**

Status: CLOSED  
Site ID: 3860900  
Facility ID: NONE

**WI AUL**

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BYRNS PROPERTIES LTD (Continued)**

**S101516835**

Status: CLOSED  
 Site Id: 3860900  
 Facid: NONE

V104  
 NNW  
 1/4-1/2  
 0.437 mi.  
 2308 ft.

**SHERMAN TERRACE SITE #2  
 28 SHERMAN TERRACE  
 MADISON, WI**

**WI LUST S102453853  
 N/A**

[Click here for full text details](#)

Relative:  
 Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3896900  
 Facility ID: NONE

W105  
 NNE  
 1/4-1/2  
 0.439 mi.  
 2317 ft.

**1902 EAST JOHNSON STREET PROPERTY  
 1902 E. JOHNSON STREET  
 MADISON, WI 53704**

**CERCLIS 1005440734  
 WIN000508278**

[Click here for full text details](#)

Relative:  
 Lower

**CERCLIS**  
 Site ID: 0508278  
 EPA Id: WIN000508278

V106  
 NNW  
 1/4-1/2  
 0.440 mi.  
 2322 ft.

**SHERMAN TERRACE SITE #24  
 26 SHERMAN TERRACE  
 MADISON, WI**

**WI LUST S103339887  
 N/A**

[Click here for full text details](#)

Relative:  
 Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 6826000  
 Facility ID: NONE

V107  
 NNW  
 1/4-1/2  
 0.442 mi.  
 2335 ft.

**SHERMAN TERRACE SITE #14  
 23 SHERMAN TERRACE  
 MADISON, WI**

**WI LUST S101709886  
 N/A**

[Click here for full text details](#)

Relative:  
 Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3984000  
 Facility ID: NONE

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
V108 NNW 1/4-1/2 0.443 mi. 2337 ft.	<b>SHERMAN TERRACE SITE #15</b> 24 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709887 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3984100 Facility ID: NONE		
V109 NNW 1/4-1/2 0.448 mi. 2363 ft.	<b>SHERMAN TERRACE SITE #1</b> 19 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709506 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3893600 Facility ID: NONE		
V110 NNW 1/4-1/2 0.448 mi. 2366 ft.	<b>SHERMAN TERRACE SITE #3</b> 20 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709713 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3921300 Facility ID: NONE		
V111 NNW 1/4-1/2 0.451 mi. 2380 ft.	<b>SHERMAN TERRACE SITE #13</b> 17 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709885 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983800 Facility ID: NONE		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
V112 NNW 1/4-1/2 0.454 mi. 2396 ft.	<b>SHERMAN TERRACE SITE #11</b> 15 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709883 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983600 Facility ID: NONE		
V113 NNW 1/4-1/2 0.454 mi. 2397 ft.	<b>SHERMAN TERRACE SITE #12</b> 16 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709884 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983700 Facility ID: NONE		
V114 NNW 1/4-1/2 0.457 mi. 2413 ft.	<b>SHERMAN TERRACE SITE #23</b> 13 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S103339886 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 6825900 Facility ID: NONE		
V115 NNW 1/4-1/2 0.457 mi. 2413 ft.	<b>SHERMAN TERRACE SITE #10</b> 14 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709882 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983500 Facility ID: NONE		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
116 NNW 1/4-1/2 0.459 mi. 2423 ft.	<b>TENNY PARK LOCKS</b> 1500 SHERMAN AVE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S104539770 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 7568300 Facility ID: NONE		
V117 NNW 1/4-1/2 0.460 mi. 2430 ft.	<b>SHERMAN TERRACE SITE #21</b> 11 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S103339825 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 6459800 Facility ID: NONE		
V118 NNW 1/4-1/2 0.463 mi. 2447 ft.	<b>SHERMAN TERRACE SITE #20</b> 10 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S102455120 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 4733600 Facility ID: NONE		
V119 NNW 1/4-1/2 0.466 mi. 2463 ft.	<b>SHERMAN TERRACE SITE #19</b> 7 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S102455119 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 4733500 Facility ID: NONE		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
X120 ENE 1/4-1/2 0.467 mi. 2468 ft.	EAST MADISON CLINIC - DEAN HEALTH SYSTEM INC 1912 ATWOOD AVE MADISON, WI 53704  <a href="#">Click here for full text details</a>	WI SHWIMS	S108151216 N/A
Relative: Higher	WI SHWIMS FID: 113296920 Status: MOVED		
X121 ENE 1/4-1/2 0.467 mi. 2468 ft.	1924 ATWOOD AVE LLC 1912-1924 ATWOOD AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI BROWNFIELDS WI BRRTS	S117414344 N/A
Relative: Higher	WI BROWNFIELDS Status: GEN PROP Site Id: 27163900  WI BRRTS Site Id: 27163900 Status: GEN PROP Status: NAR		
122 West 1/4-1/2 0.468 mi. 2470 ft.	HOLM PROPERTY 1020 SHERMAN AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI LUST	S105814236 N/A
Relative: Higher	WI LUST Facility Status: CLOSED Site Id: 9280600 Facility ID: NONE		
V123 NNW 1/4-1/2 0.470 mi. 2480 ft.	SHERMAN TERRACE SITE #22 5 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S103339885 N/A
Relative: Lower	WI LUST Facility Status: CLOSED Site Id: 6825800 Facility ID: NONE		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
V124 NNW 1/4-1/2 0.470 mi. 2481 ft.	<b>SHERMAN TERRACE SITE #9</b> 6 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709881 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983400 Facility ID: NONE		
Y125 NNW 1/4-1/2 0.473 mi. 2497 ft.	<b>SHERMAN TERRACE SITE #7</b> 3 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709879 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983200 Facility ID: NONE		
Y126 NNW 1/4-1/2 0.473 mi. 2498 ft.	<b>SHERMAN TERRACE SITE #8</b> 4 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709880 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983300 Facility ID: NONE		
Y127 NNW 1/4-1/2 0.476 mi. 2513 ft.	<b>SHERMAN TERRACE SITE #5</b> 1 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709877 N/A
Relative: Lower	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3982800 Facility ID: NONE		

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
Y128 NNW 1/4-1/2 0.476 mi. 2515 ft.	<b>SHERMAN TERRACE SITE #6</b> 2 SHERMAN TERRACE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S101709878 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 3983000 Facility ID: NONE		
Z129 SW 1/4-1/2 0.477 mi. 2516 ft.	<b>CITY EMPLOYEES CREDIT UNION</b> 949 E WASHINGTON AVE MADISON, WI  <a href="#">Click here for full text details</a>	WI LUST	S105300155 N/A
Relative: Higher	<b>WI LUST</b> Facility Status: CLOSED Site Id: 8069900 Facility ID: NONE		
Z130 SW 1/4-1/2 0.482 mi. 2543 ft.	<b>ANDRAE AUTOMOTIVE</b> 945 E WASHINGTON AVE MADISON, WI 53703  <a href="#">Click here for full text details</a>	WI SHWIMS RCRA NonGen / NLR FINDS	1004796046 WID023313471
Relative: Higher	<b>WI SHWIMS</b> FID: 113180540 Status: UNKNOWN  <b>RCRA NonGen / NLR</b> EPA Id: WID023313471  <b>FINDS</b> Registry ID: 110005430890		
131 SW 1/4-1/2 0.488 mi. 2574 ft.	<b>MAUTZ PAINT CONTRACTOR STORE</b> 946 E MAIN ST MADISON, WI 53703  <a href="#">Click here for full text details</a>	RCRA-CESQG WI SHWIMS WI MANIFEST	1007371978 WIR000117416
Relative: Lower	<b>RCRA-CESQG</b> EPA Id: WIR000117416  <b>WI SHWIMS</b> FID: 113331460 Status: OPERATING		



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MAUTZ PAINT CONTRACTOR STORE (Continued)**

**1007371978**

**WI MANIFEST**

ACT Status: I  
ACT Status: A  
FID: 113331460  
EPA ID: WIR000117416

**Z132**  
**SW**  
**1/4-1/2**  
**0.489 mi.**  
**2582 ft.**

**MTC CO LLC**  
**939 E WASHINGTON AVE**  
**MADISON, WI 53707**

**WI SHWIMS** **S105702356**  
**WI LUST** **N/A**  
**WI CRS**  
**WI AUL**  
**WI SPILLS**

Relative:  
Higher

[Click here for full text details](#)

**WI SHWIMS**

FID: 113006190  
Status: CLOSED

**WI LUST**

Facility Status: CLOSED  
Facility Status: OPEN  
Site Id: 623000  
Facility ID: 113006190

**WI CRS**

Site ID: 623000  
Facility ID: 113006190

**WI AUL**

Status: CLOSED  
Site Id: 623000  
Facid: 113006190

**WI SPILLS**

Site Id: 623000  
Status: CLOSED

**133**  
**ESE**  
**1/4-1/2**  
**0.490 mi.**  
**2587 ft.**

**BRANDT ESTATE PROPERTY**  
**620 S THORNTON AVE**  
**MADISON, WI**

**WI LUST** **S102323875**  
**WI AUL** **N/A**

Relative:  
Lower

[Click here for full text details](#)

**WI LUST**

Facility Status: CLOSED  
Site Id: 4518000  
Facility ID: NONE

**WI AUL**

MAP FINDINGS

Map ID  
 Direction  
 Distance  
 Elevation

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BRANDT ESTATE PROPERTY (Continued)**

**S102323875**

Status: CLOSED  
 Site Id: 4518000  
 Facid: NONE

Y134  
 NNW  
 1/4-1/2  
 0.490 mi.  
 2588 ft.

**WISCONSIN PHYSICIANS SERVICE  
 1617 SHERMAN AVE  
 MADISON, WI**

**WI LUST S103228827  
 N/A**

[Click here for full text details](#)

Relative:  
 Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 6795300  
 Facility ID: NONE

X135  
 ENE  
 1/4-1/2  
 0.497 mi.  
 2622 ft.

**ARATEX SERVICES  
 1910 WINNEBAGO ST  
 MADISON, WI**

**WI LUST S101391336  
 WI CRS N/A  
 WI AUL  
 WI WRRSER**

[Click here for full text details](#)

Relative:  
 Higher

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 3614900  
 Facility ID: NONE

**WI AUL**  
 Status: CLOSED  
 Site Id: 3614900  
 Facid: NONE

136  
 SW  
 1/2-1  
 0.534 mi.  
 2818 ft.

**BREESE STEVENS FIELD E WASH AVE ROW  
 902 E WASHINGTON AVE  
 MADISON, WI**

**WI ERP S108839144  
 N/A**

[Click here for full text details](#)

Relative:  
 Higher

**WI ERP**  
 Status: OPEN  
 Site Id: 18751900  
 Facility ID: NONE

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<p>137 SSW 1/2-1 0.562 mi. 2965 ft.</p> <p>Relative: Higher</p>	<p><b>DONDE LLP</b> 211 S PATERSON ST MADISON, WI</p> <p><a href="#">Click here for full text details</a></p> <p><b>WI ERP</b> Status: CLOSED Site Id: 7227300 Facility ID: NONE</p> <p><b>WI LAST</b> Status: CLOSED Site ID: 7227300 Facility ID: NONE</p> <p><b>WI AUL</b> Status: CLOSED Site Id: 7227300 Facid: NONE</p>	<p><b>WI ERP</b> <b>WI LAST</b> <b>WI CRS</b> <b>WI AUL</b></p>	<p><b>S104240684</b> N/A</p>
---	---	---	----------------------------------

<p>138 ENE 1/2-1 0.570 mi. 3012 ft.</p> <p>Relative: Higher</p>	<p><b>351 RUSSELL ST SITE</b> 351 RUSSELL ST MADISON, WI 53704</p> <p><a href="#">Click here for full text details</a></p> <p><b>WI ERP</b> Status: OPEN Site Id: 27968000 Facility ID: NONE</p>	<p><b>WI ERP</b></p>	<p><b>S118065804</b> N/A</p>
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<p>139 ENE 1/2-1 0.620 mi. 3272 ft.</p> <p>Relative: Higher</p>	<p><b>BLOCK SYSTEMS INC</b> 2017 WINNEBAGO ST MADISON, WI 53704</p> <p><a href="#">Click here for full text details</a></p> <p><b>RCRA-CESQG</b> EPA Id: WID023314610</p> <p><b>WI ERP</b> Status: OPEN Site Id: 732800 Facility ID: 113153590</p> <p><b>WI SHWIMS</b></p>	<p><b>RCRA-CESQG</b> <b>WI ERP</b> <b>WI SHWIMS</b> <b>WI BROWNFIELDS</b> <b>WI SPILLS</b> <b>FINDS</b> <b>WI BRRTS</b> <b>RI MANIFEST</b> <b>WI MANIFEST</b></p>	<p><b>1004796047</b> <b>WID023314610</b></p>
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Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLOCK SYSTEMS INC (Continued)**

1004796047

FID: 113153590  
Status: OPERATING

**WI BROWNFIELDS**

Status: GEN PROP  
Facility ID: 113153590  
Site Id: 732800

**WI SPILLS**

Site Id: 732800  
Status: CLOSED

**FINDS**

Registry ID:: 110005430907

**WI BRRTS**

Site Id: 732800  
Status: GEN PROP

[Click here for WDNR BRRTS Link](#)

**RI MANIFEST**

EPA Id: WID023314610  
Manifest Document Number: 002817028SKS

**WI MANIFEST**

ACT Status: I  
ACT Status: A  
FID: 113153590  
EPA ID: WID023314610

140  
SW  
1/2-1  
0.658 mi.  
3474 ft.

**DON MILLER PROPERTY FORMER  
802 E WASHINGTON AVE  
MADISON, WI**

WI ERP S114852191  
WI CRS N/A  
WI AUL  
WI BRRTS

Relative:  
Lower

[Click here for full text details](#)

**WI ERP**

Status: CLOSED  
Site Id: 23739900  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 23739900  
Facid: NONE

**WI BRRTS**

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**DON MILLER PROPERTY FORMER (Continued)**

**S114852191**

Site Id: 23739900  
Status: GEN PROP

**AA141**  
**NNE**  
**1/2-1**  
**0.669 mi.**  
**3530 ft.**

**HOOPER PIPE FABRICATION**  
**2080 PENNSYLVANIA AVE**  
**MADISON, WI**

**WI ERP** **S102323887**  
**WI LUST** **N/A**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 4508300  
Facility ID: NONE

**WI LUST**  
Facility Status: CLOSED  
Site Id: 4508300  
Facility ID: NONE

**WI AUL**  
Status: CLOSED  
Site Id: 4508300  
Facid: NONE

**142**  
**SW**  
**1/2-1**  
**0.686 mi.**  
**3624 ft.**

**MADISON GAS & ELECTRIC MGP**  
**LIVINGSTON & MAIN STS**  
**MADISON, WI**

**WI ERP** **S113871290**  
**WI CRS** **N/A**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: CLOSED  
Site Id: 4458300  
Facility ID: NONE

**WI AUL**  
Status: CLOSED  
Site Id: 4458300  
Facid: NONE

**AB143**  
**SSW**  
**1/2-1**  
**0.688 mi.**  
**3633 ft.**

**STRUCK & IRWIN PAVING**  
**826 WILLIAMSON ST**  
**MADISON, WI 53703**

**WI ERP** **S104005287**  
**WI SHWIMS** **N/A**  
**WI LUST**  
**WI CRS**  
**WI AUL**

[Click here for full text details](#)

Relative:  
Higher

**WI ERP**  
Status: CLOSED  
Site Id: 1464600

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**STRUCK & IRWIN PAVING (Continued)**

**S104005287**

Facility ID: 113208810

**WI SHWIMS**

FID: 113208810  
Status: MOVED

**WI LUST**

Facility Status: CLOSED  
Site Id: 1464600  
Facility ID: 113208810

**WI CRS**

Site ID: 1464600  
Facility ID: 113208810

**WI AUL**

Status: CLOSED  
Site Id: 1464600  
Facid: 113208810

AA144  
NNE  
1/2-1  
0.698 mi.  
3684 ft.

**HOOPER CORP**  
**2098-2180 PENNSYLVANIA AVE**  
**MADISON, WI**

**WI ERP S109326839**  
**N/A**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**

Status: CLOSED  
Site Id: 20626000  
Facility ID: NONE

AB145  
SSW  
1/2-1  
0.704 mi.  
3715 ft.

**LAFEVER PROPERTY**  
**812 WILLIAMSON ST**  
**MADISON, WI**

**WI ERP S105020305**  
**WI SPILLS N/A**

[Click here for full text details](#)

Relative:  
Higher

**WI ERP**

Status: CLOSED  
Site Id: 7228100  
Facility ID: NONE

**WI SPILLS**

Site Id: 7228100  
Status: CLOSED

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
--	--	-------------	--------------------------------

**AB146**    **MADISON CTY**  
**SSW**     **S LIVINGSTON & E WILSON STS**  
**1/2-1**    **MADISON, WI**  
**0.719 mi.**  
**3794 ft.**

**WI ERP**    **S104938983**  
**N/A**

Relative:  
Lower

[Click here for full text details](#)

**WI ERP**  
Status: CLOSED  
Site Id: 4459400  
Facility ID: NONE

**147**        **SEARS ROEBUCK AND CO 8122**  
**North**    **2102 FORDEM AVE**  
**1/2-1**    **MADISON, WI 53704**  
**0.738 mi.**  
**3897 ft.**

**RCRA-CESQG**    **1004795761**  
**WI ERP**        **WI0000952267**  
**WI SHWIMS**  
**WI CRS**  
**WI AUL**  
**FINDS**  
**WI BRRTS**  
**WI MANIFEST**

Relative:  
Lower

[Click here for full text details](#)

**RCRA-CESQG**  
EPA Id: WI0000952267

**WI ERP**  
Status: CLOSED  
Site Id: 2946800  
Facility ID: 113266340

**WI SHWIMS**  
FID: 113266340  
Status: OPERATING

**WI CRS**  
Site ID: 2946800  
Facility ID: 113266340

**WI AUL**  
Status: CLOSED  
Site Id: 2946800  
Facid: 113266340

**FINDS**  
Registry ID:: 110005418342

**WI BRRTS**  
Site Id: 2946800  
Status: NAR

[Click here for WDNR BRRTS Link](#)

**WI MANIFEST**

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SEARS ROEBUCK AND CO 8122 (Continued)**

1004795761

ACT Status: A  
ACT Status: I  
FID: 113266340  
EPA ID: WI0000952267

148  
ENE  
1/2-1  
0.756 mi.  
3991 ft.

**CAPITAL WATER SOFTENER**  
2096 HELENA ST  
MADISON, WI 53704

WI ERP  
WI LAST  
WI CRS  
WI AUL

S105887750  
N/A

Relative:  
Higher

[Click here for full text details](#)

**WI ERP**  
Status: CLOSED  
Site Id: 9235400  
Facility ID: NONE

**WI LAST**  
Status: CLOSED  
Site ID: 9235400  
Facility ID: NONE

**WI AUL**  
Status: CLOSED  
Site Id: 9235400  
Facid: NONE

AC149  
SW  
1/2-1  
0.770 mi.  
4067 ft.

**MADISON GAS & ELECTRIC CO**  
717 E MAIN ST  
MADISON, WI 53701

RCRA-SQG  
WI ERP  
WI SHWIMS  
WI CRS  
WI AUL  
WI SPILLS  
US AIRS  
FINDS  
WI AIRS  
WI MANIFEST

1000263165  
WID980619308

Relative:  
Lower

[Click here for full text details](#)

**RCRA-SQG**  
EPA Id: WID980619308

**WI ERP**  
Status: CLOSED  
Site Id: 1083800  
Facility ID: 113004430

**WI SHWIMS**  
FID: 113004430  
Status: OPERATING

**WI CRS**



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MADISON GAS & ELECTRIC CO (Continued)**

1000263165

Site ID: 1083800  
Facility ID: 113004430

**WI AUL**

Status: CLOSED  
Site Id: 1083800  
Facid: 113004430

**WI SPILLS**

Site Id: 1083800  
Site Id: 5426900  
Status: CLOSED

**US AIRS**

EPA plant ID:: 110000420152

**FINDS**

Registry ID:: 110000420152

**WI AIRS**

Permit No: 113004430-P10  
Permit No: 98-MEO-904  
Permit No: 03-SDD-244  
Permit No: 00-BEB-936  
Permit No: 11-JGB-023-EXM  
Permit No: 09-JGB-244-EXM  
Permit No: 10-JGB-024-EXM  
Permit No: 99-MEO-913  
Permit No: 99-MEO-902  
Permit No: 113004430-P11  
Permit No: 113004430-P12  
Permit No: 04-SDD-044  
Permit No: 01-POY-074  
Permit No: 113004430-P20  
Facility ID: 113004430

**WI MANIFEST**

ACT Status: A  
ACT Status: I  
FID: 113004430  
EPA ID: WID980619308

150  
SW  
1/2-1  
0.773 mi.  
4082 ft.

**CENTURYLINK - MADISON CLEC**  
**710 E MIFFLIN**  
**MADISON, WI 53706**

**WI ERP** S117427095  
**WI CRS** N/A  
**WI AUL**  
**WI TIER 2**

[Click here for full text details](#)

Relative:  
Higher

**WI ERP**  
Status: CLOSED

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**CENTURYLINK - MADISON CLEC (Continued)**

**S117427095**

Site Id: 26894000  
Facility ID: NONE

**WI AUL**

Status: CLOSED  
Site Id: 26894000  
Facid: NONE

**WI TIER 2**

Facility ID: 200234

AC151  
SW  
1/2-1  
0.775 mi.  
4092 ft.

**MADISON GAS AND ELECTRIC**  
713-725 E MAIN STREET  
MADISON, WI 53703

**EDR MGP 1008407240**  
N/A

[Click here for full text details](#)

Relative:  
Lower

152  
WSW  
1/2-1  
0.898 mi.  
4744 ft.

**620 E JOHNSON ST**  
620 E JOHNSON ST  
MADISON, WI

**WI ERP S110296485**  
N/A

[Click here for full text details](#)

Relative:  
Higher

**WI ERP**  
Status: CLOSED  
Site Id: 22183900  
Facility ID: NONE

153  
North  
1/2-1  
0.960 mi.  
5071 ft.

**FISH PROPERTY**  
2237 SHERMAN AVE  
MADISON, WI

**WI ERP S113928954**  
**WI BROWNFIELDS** N/A  
**WI BRRTS**

[Click here for full text details](#)

Relative:  
Lower

**WI ERP**  
Status: OPEN  
Site Id: 26231900  
Facility ID: NONE

**WI BROWNFIELDS**  
Status: GEN PROP  
Site Id: 26231900

**WI BRRTS**  
Site Id: 26231900  
Status: GEN PROP

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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154 RAYOVAC CORP (FORMER)  
 NE 2317 WINNEBAGO ST  
 1/2-1 MADISON, WI 53704  
 0.984 mi.  
 5196 ft.

[Click here for full text details](#)

Relative:  
Higher

WI ERP S102323898  
 WI SHWIMS N/A  
 WI LUST  
 WI AUL  
 WI VCP  
 WI SPILLS

**WI ERP**  
 Status: CLOSED  
 Site Id: 669100  
 Facility ID: 113009270

**WI SHWIMS**  
 FID: 113009270  
 Status: CLOSED

**WI LUST**  
 Facility Status: CLOSED  
 Site Id: 669100  
 Facility ID: 113009270

**WI AUL**  
 Status: CLOSED  
 Site Id: 669100  
 Facid: 113009270

**WI VCP**  
 Status: CLOSED  
 Site Id: 669100  
 Facility ID: 113009270

**WI SPILLS**  
 Site Id: 669100  
 Status: CLOSED

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
WI	AG SPILLS	Agricultural Spill Cases	Department of Agriculture, Trade & Consumer P	06/02/2015	08/14/2015	09/23/2015
WI	AIRS	Air Permit Program Listing	Department of Natural Resources	12/31/2014	07/20/2015	08/17/2015
WI	AST	Tanks Database	Department of Agriculture, Trade & Consumer P	06/15/2015	06/17/2015	08/04/2015
WI	AUL	Deed Restriction at Closeout Sites	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	BEAP	Brownfields Environmental Assessment Program	Department of Natural Resources	12/31/2000	05/29/2001	06/29/2001
WI	BROWNFIELDS	Brownfields Site Locations Listing	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	BRRTS	Bureau of Remediation & Redevelopment Tracking System	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	CDL	Clandestine Drug Lab Listing	Department of Justice	07/13/2015	08/25/2015	10/01/2015
WI	COAL ASH	Coal Ash Disposal Site Listing	Department of Natural Resources	06/24/2015	06/30/2015	08/04/2015
WI	CRS	Closed Remediation Sites	Department of Natural Resources	08/17/2015	08/18/2015	09/23/2015
WI	DRYCLEANERS	Five Star Recognition Program Sites	Department of Natural Resources	04/02/2012	04/05/2012	04/24/2012
WI	ERP	Environmental Repair Program Database	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	Financial Assurance 1	Financial Assurance Information Listing	Department of Natural Resources	06/17/2015	06/19/2015	08/04/2015
WI	Financial Assurance 2	Financial Assurance Information Listing	Department of Agriculture, Trade & Consumer P	07/02/2015	07/07/2015	08/04/2015
WI	Financial Assurance 3	Financial Assurance Information Listing	Department of Natural Resources	06/17/2015	06/24/2015	08/04/2015
WI	LAST	Leaking Aboveground Storage Tank Listing	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	LEAD	Lead Inspection Data	Department of Health & Family Services	06/22/2015	06/25/2015	08/04/2015
WI	LEAD CERT	Lead Safe Housing Registry	Department of Environmental & Occupation	07/17/2015	07/20/2015	08/17/2015
WI	LIENS	Environmental Liens Listing	Department of Natural Resources	10/01/2014	11/07/2014	12/22/2014
WI	LUST	Leaking Underground Storage Tank Database	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	NPDES	NPDES Permit Listing	Department of Natural Resources	08/24/2015	08/26/2015	10/01/2015
WI	RGALF	Recovered Government Archive Solid Waste Facilities List	Department of Natural Resources		07/01/2013	01/13/2014
WI	RGALUST	Recovered Government Archive Leaking Underground Storage Tan	Department of Natural Resources		07/01/2013	12/27/2013
WI	SHWIMS	Solid & Hazardous Waste Information Management System	Department of Natural Resources	06/24/2015	06/26/2015	08/04/2015
WI	SHWS	Hazard Ranking List	Department of Natural Resources	11/30/1994	02/10/1995	03/01/1995
WI	SPILLS	Spills Database	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	SPILLS 80	SPILLS80 data from FirstSearch	FirstSearch	03/31/2003	01/03/2013	03/01/2013
WI	SPILLS 90	SPILLS90 data from FirstSearch	FirstSearch	11/06/2012	01/03/2013	02/11/2013
WI	SWF/LF	List of Licensed Landfills	Department of Natural Resources	06/26/2015	06/30/2015	08/04/2015
WI	SWRCY	Recycling Center Listing	Solid & Hazardous Waste Education center	08/19/2015	08/21/2015	10/01/2015
WI	TIER 2	Tier 2 Facility Listing	Department of Natural Resources	12/31/2014	01/16/2015	02/18/2015
WI	UST	Registered Underground Storage Tanks	Department of Agriculture, Trade & Consumer P	06/15/2015	06/17/2015	08/04/2015
WI	VCP	Voluntary Party Liability Exemption Sites	Department of Natural Resources	07/13/2015	07/14/2015	08/17/2015
WI	WDS	Registry of Waste Disposal Sites	Department of Natural Resources	07/22/2013	10/03/2013	11/15/2013
WI	WI MANIFEST	Manifest Information	Department of Natural Resources	12/31/2014	03/19/2015	04/07/2015
WI	WRRSER	Wisconsin Remedial Response Site Evaluation Report	Department of Natural Resources	10/01/1995	01/02/1996	02/01/1996
US	2020 COR ACTION	2020 Corrective Action Program List	Environmental Protection Agency	04/22/2013	03/03/2015	03/09/2015
US	BRS	Biennial Reporting System	EPA/NTIS	12/31/2013	02/24/2015	09/30/2015
US	CERCLIS	Comprehensive Environmental Response, Compensation, and Liab	EPA	10/25/2013	11/11/2013	02/13/2014
US	CERCLIS-NFRAP	CERCLIS No Further Remedial Action Planned	EPA	10/25/2013	11/11/2013	02/13/2014
US	COAL ASH DOE	Steam-Electric Plant Operation Data	Department of Energy	12/31/2005	08/07/2009	10/22/2009
US	COAL ASH EPA	Coal Combustion Residues Surface Impoundments List	Environmental Protection Agency	07/01/2014	09/10/2014	10/20/2014
US	CONSENT	Superfund (CERCLA) Consent Decrees	Department of Justice, Consent Decree Library	12/31/2014	04/17/2015	06/02/2015
US	CORRACTS	Corrective Action Report	EPA	06/09/2015	06/26/2015	09/16/2015
US	DEBRIS REGION 9	Torres Martinez Reservation Illegal Dump Site Locations	EPA, Region 9	01/12/2009	05/07/2009	09/21/2009
US	DOD	Department of Defense Sites	USGS	12/31/2005	11/10/2006	01/11/2007
US	DOT OPS	Incident and Accident Data	Department of Transportation, Office of Pipeli	07/31/2012	08/07/2012	09/18/2012

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	Delisted NPL	National Priority List Deletions	EPA	03/26/2015	04/08/2015	06/22/2015
US	EDR MGP	EDR Proprietary Manufactured Gas Plants	EDR, Inc.			
US	EDR US Hist Auto Stat	EDR Exclusive Historic Gas Stations	EDR, Inc.			
US	EDR US Hist Cleaners	EDR Exclusive Historic Dry Cleaners	EDR, Inc.			
US	EPA WATCH LIST	EPA WATCH LIST	Environmental Protection Agency	08/30/2013	03/21/2014	06/17/2014
US	ERNS	Emergency Response Notification System	National Response Center, United States Coast	06/22/2015	06/26/2015	09/16/2015
US	FEDERAL FACILITY	Federal Facility Site Information listing	Environmental Protection Agency	03/26/2015	04/08/2015	06/11/2015
US	FEDLAND	Federal and Indian Lands	U.S. Geological Survey	12/31/2005	02/06/2006	01/11/2007
US	FEMA UST	Underground Storage Tank Listing	FEMA	01/01/2010	02/16/2010	04/12/2010
US	FINDS	Facility Index System/Facility Registry System	EPA	01/18/2015	02/27/2015	03/25/2015
US	FTTS	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA/Office of Prevention, Pesticides and Toxi	04/09/2009	04/16/2009	05/11/2009
US	FTTS INSP	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fu	EPA	04/09/2009	04/16/2009	05/11/2009
US	FUDS	Formerly Used Defense Sites	U.S. Army Corps of Engineers	06/06/2014	09/10/2014	09/18/2014
US	HIST FTTS	FIFRA/TSCA Tracking System Administrative Case Listing	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HIST FTTS INSP	FIFRA/TSCA Tracking System Inspection & Enforcement Case Lis	Environmental Protection Agency	10/19/2006	03/01/2007	04/10/2007
US	HMIRS	Hazardous Materials Information Reporting System	U.S. Department of Transportation	06/24/2015	06/26/2015	09/02/2015
US	ICIS	Integrated Compliance Information System	Environmental Protection Agency	01/23/2015	02/06/2015	03/09/2015
US	INDIAN LUST R1	Leaking Underground Storage Tanks on Indian Land	EPA Region 1	02/03/2015	04/30/2015	06/22/2015
US	INDIAN LUST R10	Leaking Underground Storage Tanks on Indian Land	EPA Region 10	02/03/2015	02/12/2015	03/13/2015
US	INDIAN LUST R4	Leaking Underground Storage Tanks on Indian Land	EPA Region 4	09/30/2014	03/03/2015	03/13/2015
US	INDIAN LUST R5	Leaking Underground Storage Tanks on Indian Land	EPA, Region 5	04/30/2015	05/29/2015	06/22/2015
US	INDIAN LUST R6	Leaking Underground Storage Tanks on Indian Land	EPA Region 6	03/17/2015	05/01/2015	06/22/2015
US	INDIAN LUST R7	Leaking Underground Storage Tanks on Indian Land	EPA Region 7	03/30/2015	04/28/2015	06/22/2015
US	INDIAN LUST R8	Leaking Underground Storage Tanks on Indian Land	EPA Region 8	04/30/2015	05/05/2015	06/22/2015
US	INDIAN LUST R9	Leaking Underground Storage Tanks on Indian Land	Environmental Protection Agency	01/08/2015	01/08/2015	02/09/2015
US	INDIAN ODI	Report on the Status of Open Dumps on Indian Lands	Environmental Protection Agency	12/31/1998	12/03/2007	01/24/2008
US	INDIAN RESERV	Indian Reservations	USGS	12/31/2005	12/08/2006	01/11/2007
US	INDIAN UST R1	Underground Storage Tanks on Indian Land	EPA, Region 1	02/03/2015	04/30/2015	06/22/2015
US	INDIAN UST R10	Underground Storage Tanks on Indian Land	EPA Region 10	05/06/2015	05/19/2015	06/22/2015
US	INDIAN UST R4	Underground Storage Tanks on Indian Land	EPA Region 4	09/30/2014	03/03/2015	03/13/2015
US	INDIAN UST R5	Underground Storage Tanks on Indian Land	EPA Region 5	04/30/2015	05/26/2015	06/22/2015
US	INDIAN UST R6	Underground Storage Tanks on Indian Land	EPA Region 6	03/17/2015	05/01/2015	06/22/2015
US	INDIAN UST R7	Underground Storage Tanks on Indian Land	EPA Region 7	09/23/2014	11/25/2014	01/29/2015
US	INDIAN UST R8	Underground Storage Tanks on Indian Land	EPA Region 8	04/30/2015	05/05/2015	06/22/2015
US	INDIAN UST R9	Underground Storage Tanks on Indian Land	EPA Region 9	12/14/2014	02/13/2015	03/13/2015
US	INDIAN VCP R1	Voluntary Cleanup Priority Listing	EPA, Region 1	09/29/2014	10/01/2014	11/06/2014
US	INDIAN VCP R7	Voluntary Cleanup Priority Lisitng	EPA, Region 7	03/20/2008	04/22/2008	05/19/2008
US	LEAD SMELTER 1	Lead Smelter Sites	Environmental Protection Agency	11/25/2014	11/26/2014	01/29/2015
US	LEAD SMELTER 2	Lead Smelter Sites	American Journal of Public Health	04/05/2001	10/27/2010	12/02/2010
US	LIENS 2	CERCLA Lien Information	Environmental Protection Agency	02/18/2014	03/18/2014	04/24/2014
US	LUCIS	Land Use Control Information System	Department of the Navy	05/28/2015	05/29/2015	06/11/2015
US	MLTS	Material Licensing Tracking System	Nuclear Regulatory Commission	03/31/2015	04/09/2015	06/11/2015
US	NPL	National Priority List	EPA	03/26/2015	04/08/2015	06/22/2015
US	NPL LIENS	Federal Superfund Liens	EPA	10/15/1991	02/02/1994	03/30/1994
US	ODI	Open Dump Inventory	Environmental Protection Agency	06/30/1985	08/09/2004	09/17/2004
US	PADS	PCB Activity Database System	EPA	07/01/2014	10/15/2014	11/17/2014
US	PCB TRANSFORMER	PCB Transformer Registration Database	Environmental Protection Agency	02/01/2011	10/19/2011	01/10/2012

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	PRP	Potentially Responsible Parties	EPA	10/25/2013	10/17/2014	10/20/2014
US	Proposed NPL	Proposed National Priority List Sites	EPA	03/26/2015	04/08/2015	06/22/2015
US	RAATS	RCRA Administrative Action Tracking System	EPA	04/17/1995	07/03/1995	08/07/1995
US	RADINFO	Radiation Information Database	Environmental Protection Agency	07/07/2015	07/09/2015	09/16/2015
US	RCRA NonGen / NLR	RCRA - Non Generators / No Longer Regulated	Environmental Protection Agency	06/09/2015	06/26/2015	09/16/2015
US	RCRA-CESQG	RCRA - Conditionally Exempt Small Quantity Generators	Environmental Protection Agency	06/09/2015	06/26/2015	09/16/2015
US	RCRA-LQG	RCRA - Large Quantity Generators	Environmental Protection Agency	06/09/2015	06/26/2015	09/16/2015
US	RCRA-SQG	RCRA - Small Quantity Generators	Environmental Protection Agency	06/09/2015	06/26/2015	09/16/2015
US	RCRA-TSDF	RCRA - Treatment, Storage and Disposal	Environmental Protection Agency	06/09/2015	06/26/2015	09/16/2015
US	RMP	Risk Management Plans	Environmental Protection Agency	02/01/2015	02/13/2015	03/25/2015
US	ROD	Records Of Decision	EPA	11/25/2013	12/12/2013	02/24/2014
US	SCRD DRYCLEANERS	State Coalition for Remediation of Drycleaners Listing	Environmental Protection Agency	03/07/2011	03/09/2011	05/02/2011
US	SSTS	Section 7 Tracking Systems	EPA	12/31/2009	12/10/2010	02/25/2011
US	TRIS	Toxic Chemical Release Inventory System	EPA	12/31/2013	02/12/2015	06/02/2015
US	TSCA	Toxic Substances Control Act	EPA	12/31/2012	01/15/2015	01/29/2015
US	UMTRA	Uranium Mill Tailings Sites	Department of Energy	09/14/2010	10/07/2011	03/01/2012
US	US AIRS (AFS)	Aerometric Information Retrieval System Facility Subsystem (	EPA	07/22/2015	07/24/2015	09/02/2015
US	US AIRS MINOR	Air Facility System Data	EPA	07/22/2015	07/24/2015	09/02/2015
US	US BROWNFIELDS	A Listing of Brownfields Sites	Environmental Protection Agency	06/22/2015	06/24/2015	09/02/2015
US	US CDL	Clandestine Drug Labs	Drug Enforcement Administration	05/15/2015	06/02/2015	09/16/2015
US	US ENG CONTROLS	Engineering Controls Sites List	Environmental Protection Agency	06/09/2015	06/26/2015	09/02/2015
US	US FIN ASSUR	Financial Assurance Information	Environmental Protection Agency	06/01/2015	06/02/2015	09/16/2015
US	US HIST CDL	National Clandestine Laboratory Register	Drug Enforcement Administration	06/01/2015	06/02/2015	09/16/2015
US	US INST CONTROL	Sites with Institutional Controls	Environmental Protection Agency	06/09/2015	06/26/2015	09/02/2015
US	US MINES	Mines Master Index File	Department of Labor, Mine Safety and Health A	05/14/2015	06/03/2015	09/02/2015
US	US MINES 2	Ferrous and Nonferrous Metal Mines Database Listing	USGS	12/05/2005	02/29/2008	04/18/2008
US	US MINES 3	Active Mines & Mineral Plants Database Listing	USGS	04/14/2011	06/08/2011	09/13/2011
CT	CT MANIFEST	Hazardous Waste Manifest Data	Department of Energy & Environmental Protecti	07/30/2013	08/19/2013	10/03/2013
NJ	NJ MANIFEST	Manifest Information	Department of Environmental Protection	12/31/2013	07/17/2015	08/12/2015
NY	NY MANIFEST	Facility and Manifest Data	Department of Environmental Conservation	08/01/2015	08/06/2015	08/24/2015
PA	PA MANIFEST	Manifest Information	Department of Environmental Protection	12/31/2014	07/24/2015	08/18/2015
RI	RI MANIFEST	Manifest information	Department of Environmental Management	12/31/2013	06/19/2015	07/15/2015
VT	VT MANIFEST	Hazardous Waste Manifest Data	Department of Environmental Conservation	03/26/2015	06/03/2015	07/20/2015

### Oil/Gas Pipelines

Source: PennWell Corporation

Telephone: 281-546-1505

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

### Electric Power Transmission Line Data

Source: PennWell Corporation

Telephone: 800-823-6277

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## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

St	Acronym	Full Name	Government Agency	Gov Date	Arvl. Date	Active Date
US	AHA Hospitals	Sensitive Receptor: AHA Hospitals	American Hospital Association, Inc.			
US	Medical Centers	Sensitive Receptor: Medical Centers	Centers for Medicare & Medicaid Services			
US	Nursing Homes	Sensitive Receptor: Nursing Homes	National Institutes of Health			
US	Public Schools	Sensitive Receptor: Public Schools	National Center for Education Statistics			
US	Private Schools	Sensitive Receptor: Private Schools	National Center for Education Statistics			
WI	Daycare Centers	Sensitive Receptor: Day Care Directory	Department of Health & Family Services			
US	Flood Zones	100-year and 500-year flood zones	Emergency Management Agency (FEMA)			
US	NWI	National Wetlands Inventory	U.S. Fish and Wildlife Service			
US	Topographic Map		U.S. Geological Survey			

### STREET AND ADDRESS INFORMATION

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## **GEOCHECK<sup>®</sup> - PHYSICAL SETTING SOURCE ADDENDUM**

### **TARGET PROPERTY ADDRESS**

1316-1318 EAST WASHINGTON AVENUE  
1316 EAST WASHINGTON AVENUE  
MADISON, WI 53703

### **TARGET PROPERTY COORDINATES**

Latitude (North):	43.0881 - 43° 5' 17.16"
Longitude (West):	89.3658 - 89° 21' 56.88"
Universal Tranverse Mercator:	Zone 16
UTM X (Meters):	307434.1
UTM Y (Meters):	4773100.0
Elevation:	857 ft. above sea level

### **USGS TOPOGRAPHIC MAP**

Target Property Map:	5954805 MADISON EAST, WI
Version Date:	2013
Southwest Map:	5954807 MADISON WEST, WI
Version Date:	2013

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.



# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

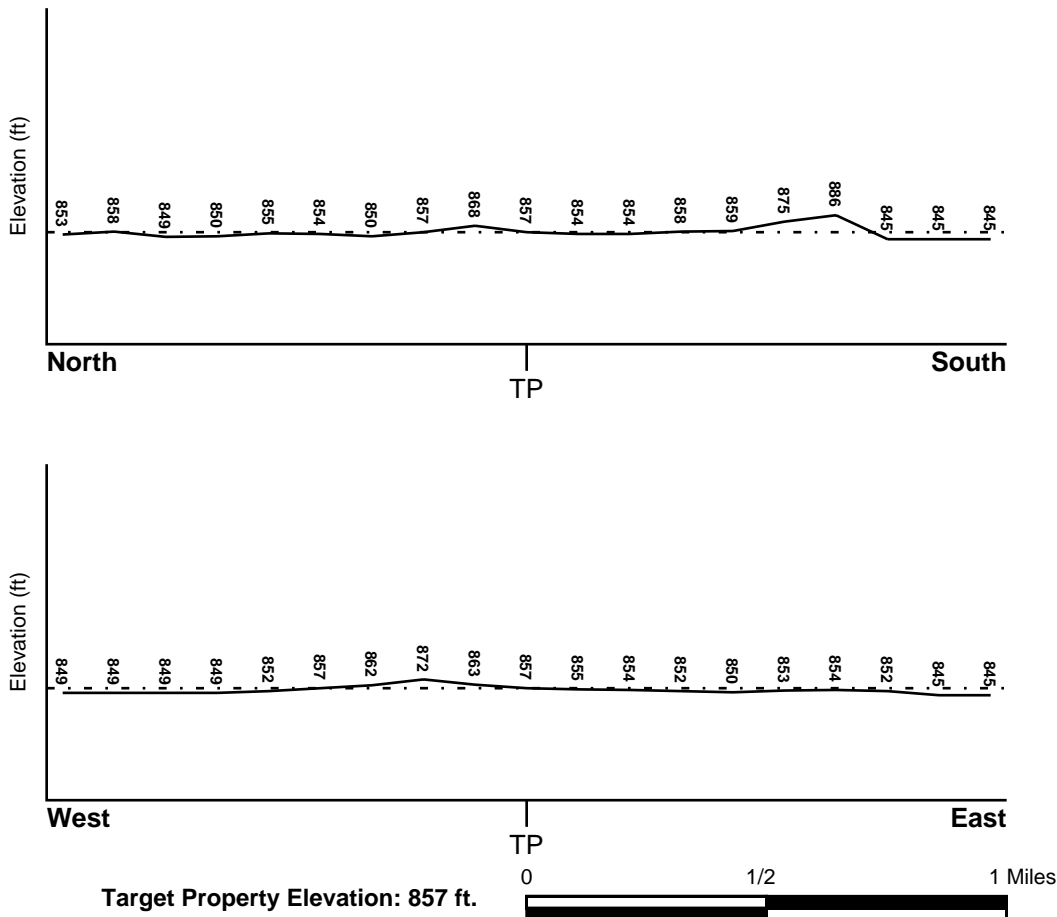
## TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

## TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General ENE

## SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

## FEMA FLOOD ZONE

<u>Target Property County</u> DANE, WI	<u>FEMA Flood Electronic Data</u> YES - refer to the Overview Map and Detail Map
---	---

Flood Plain Panel at Target Property: 55025C - FEMA DFIRM Flood data

Additional Panels in search area: Not Reported

## NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u> MADISON EAST	<u>NWI Electronic Data Coverage</u> YES - refer to the Overview Map and Detail Map
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## HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

### *Site-Specific Hydrogeological Data\*:*

Search Radius:	1.25 miles
Status:	Not found

## AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
1	0 - 1/8 Mile South	SSE
2	1/8 - 1/4 Mile ESE	S
A3	1/8 - 1/4 Mile SW	WNW
B4	1/8 - 1/4 Mile NE	SW
B5	1/8 - 1/4 Mile NE	Not Reported
A6	1/8 - 1/4 Mile SW	N
8	1/8 - 1/4 Mile NE	Varies
9	1/4 - 1/2 Mile East	Not Reported
11	1/4 - 1/2 Mile SSE	SSE

\* ©1996 Site-specific hydrogeological data gathered by CERCLIS Alerts, Inc., Bainbridge Island, WA. All rights reserved. All of the information and opinions presented are those of the cited EPA report(s), which were completed under a Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) investigation.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
C12	1/4 - 1/2 Mile NE	NE
13	1/4 - 1/2 Mile South	SE
D14	1/4 - 1/2 Mile SW	NE
E15	1/4 - 1/2 Mile NE	SSW
E16	1/4 - 1/2 Mile NE	N
D17	1/4 - 1/2 Mile SW	E
F20	1/4 - 1/2 Mile NNE	Varies
21	1/4 - 1/2 Mile SSW	W
G22	1/4 - 1/2 Mile NNW	NW
H23	1/2 - 1 Mile SW	NNW
24	1/2 - 1 Mile ESE	SE
G25	1/2 - 1 Mile NNW	Not Reported
G26	1/2 - 1 Mile NNW	Not Reported
I28	1/2 - 1 Mile SSW	WNW
G29	1/2 - 1 Mile NNW	Not Reported
G30	1/2 - 1 Mile NNW	Not Reported
G31	1/2 - 1 Mile NNW	Varies
I33	1/2 - 1 Mile SSW	SE
I34	1/2 - 1 Mile SSW	Not Reported
35	1/2 - 1 Mile SSW	SE
J36	1/2 - 1 Mile SW	SW
37	1/2 - 1 Mile North	NW
39	1/2 - 1 Mile ENE	W
K40	1/2 - 1 Mile WSW	SE
J41	1/2 - 1 Mile SW	Not Reported
J42	1/2 - 1 Mile SW	Varies
J43	1/2 - 1 Mile SW	NNE
K44	1/2 - 1 Mile WSW	Not Reported
45	1/2 - 1 Mile NNE	SE
46	1/2 - 1 Mile SSW	Not Reported
L48	1/2 - 1 Mile SW	Not Reported
49	1/2 - 1 Mile ENE	SE
M50	1/2 - 1 Mile SW	Not Reported
M51	1/2 - 1 Mile SW	Not Reported
N52	1/2 - 1 Mile NNE	SE
L54	1/2 - 1 Mile SW	Not Reported
55	1/2 - 1 Mile WSW	Not Reported
M56	1/2 - 1 Mile SW	NNW
N58	1/2 - 1 Mile NNE	SE
59	1/2 - 1 Mile NE	SW
60	1/2 - 1 Mile SSW	E
N61	1/2 - 1 Mile NNE	Not Reported
O62	1/2 - 1 Mile North	N
O63	1/2 - 1 Mile North	NW
P64	1/2 - 1 Mile SW	SE
Q65	1/2 - 1 Mile SW	Not Reported
66	1/2 - 1 Mile NNE	Not Reported
67	1/2 - 1 Mile North	Not Reported
R68	1/2 - 1 Mile SW	N
Q70	1/2 - 1 Mile SW	Not Reported
R71	1/2 - 1 Mile SW	NNE
P72	1/2 - 1 Mile SW	Not Reported
S73	1/2 - 1 Mile SW	E
S74	1/2 - 1 Mile SW	Not Reported
76	1/2 - 1 Mile SSW	NE

For additional site information, refer to Physical Setting Source Map Findings.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

### GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

#### **ROCK STRATIGRAPHIC UNIT**

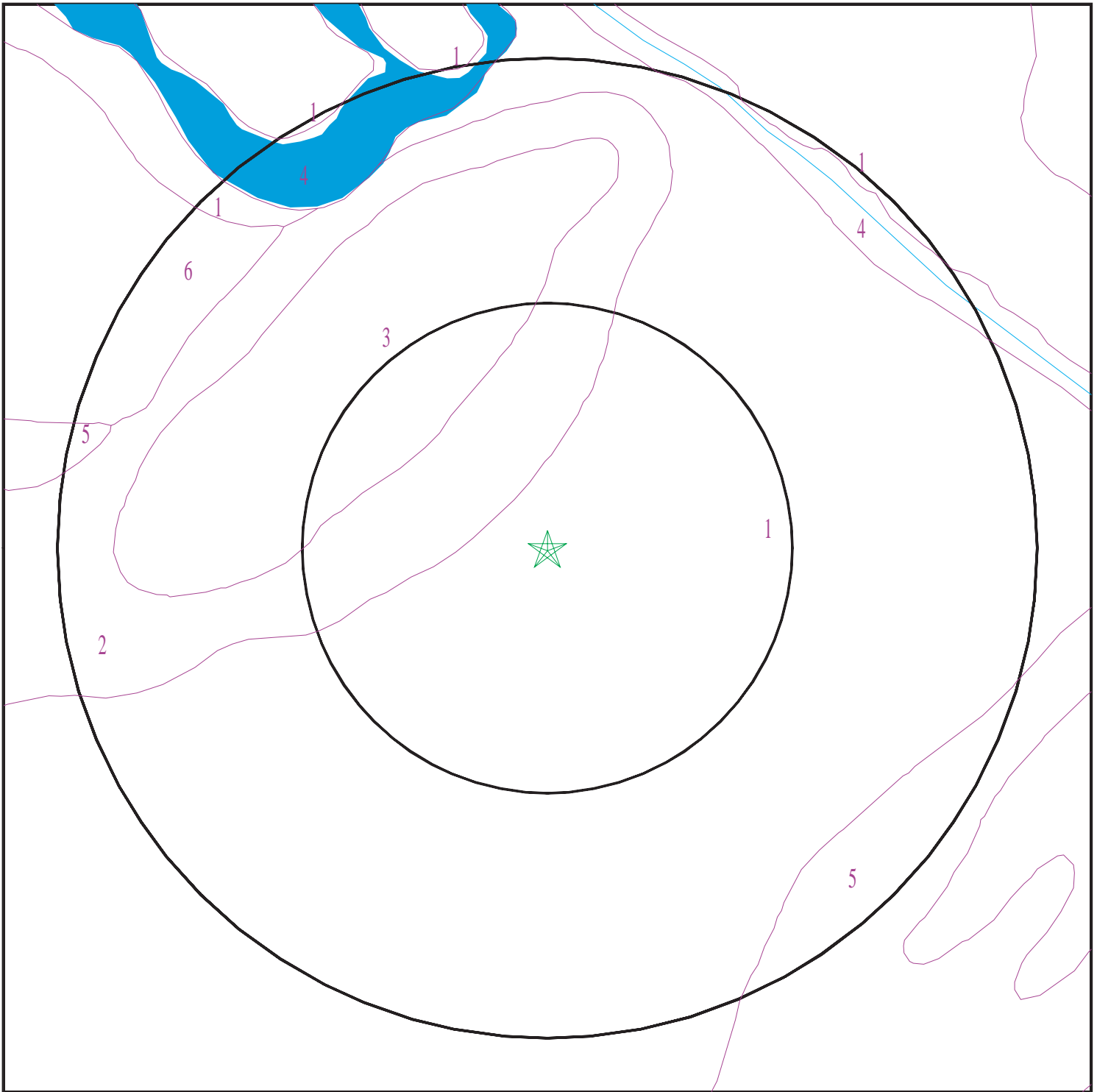
Era:	Paleozoic
System:	Cambrian
Series:	Cambrian
Code:	C <i>(decoded above as Era, System &amp; Series)</i>

#### **GEOLOGIC AGE IDENTIFICATION**

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

# SSURGO SOIL MAP - 4432027.2s



- ★ Target Property
- ∩ SSURGO Soil
- ∩ Water



SITE NAME: 1316-1318 East Washington Avenue  
ADDRESS: 1316 East Washington Avenue  
Madison WI 53703  
LAT/LONG: 43.0881 / 89.3658

CLIENT: Sigma Env. Services, Inc.  
CONTACT: Mary Trotta  
INQUIRY #: 4432027.2s  
DATE: October 07, 2015 3:19 pm

# GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

## DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

### Soil Map ID: 1

Soil Component Name: Colwood

Soil Surface Texture: silt loam

Hydrologic Group: Class B/D - Drained/undrained hydrology class of soils that can be drained and are classified.

Soil Drainage Class: Poorly drained

Hydric Status: All hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 6.1
2	9 inches	24 inches	loam	Not reported	Not reported	Max: 4 Min: 1	Max: 7.8 Min: 6.1
3	24 inches	59 inches	stratified fine sand to silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 8.4 Min: 7.4

### Soil Map ID: 2

Soil Component Name: Dodge

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.3 Min: 5.1
2	9 inches	29 inches	silty clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 5.1
3	29 inches	40 inches	clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 6.1
4	40 inches	59 inches	loam	Not reported	Not reported	Max: 14 Min: 4	Max: 8.4 Min: 7.4

### Soil Map ID: 3

Soil Component Name: McHenry

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.3 Min: 5.6

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	7 inches	18 inches	silty clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.3 Min: 5.1
3	18 inches	33 inches	sandy clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 5.1
4	33 inches	59 inches	fine sandy loam	Not reported	Not reported	Max: 42 Min: 14	Max: 8.4 Min: 7.4

### Soil Map ID: 4

Soil Component Name: Water greater than 40 acres

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class:  
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

### Soil Map ID: 5

Soil Component Name: Batavia

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained



## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.3 Min: 6.1
2	9 inches	44 inches	silty clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 6.5 Min: 5.1
3	44 inches	50 inches	gravelly clay loam	Not reported	Not reported	Max: 42 Min: 4	Max: 7.8 Min: 6.6
4	50 inches	59 inches	sand and gravel	Not reported	Not reported	Max: 141 Min: 141	Max: 8.4 Min: 7.4

### Soil Map ID: 6

Soil Component Name: Virgil

Soil Surface Texture: silt loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Somewhat poorly drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 61 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 6.1

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	9 inches	14 inches	silt loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.3 Min: 5.1
3	14 inches	51 inches	silty clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 5.1
4	51 inches	55 inches	sandy clay loam	Not reported	Not reported	Max: 14 Min: 4	Max: 7.8 Min: 5.6
5	55 inches	59 inches	sand and gravel	Not reported	Not reported	Max: 141 Min: 141	Max: 8.4 Min: 6.1

### LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

### WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

### FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
B7	USGS40001309792	1/8 - 1/4 Mile ENE
C10	USGS40001329632	1/4 - 1/2 Mile NE
F19	USGS40001309832	1/4 - 1/2 Mile NNE
27	USGS40001329638	1/2 - 1 Mile NNE
H32	USGS40001309717	1/2 - 1 Mile SW
L47	USGS40001309741	1/2 - 1 Mile WSW
57	USGS40001309869	1/2 - 1 Mile NNW
R69	USGS40001309725	1/2 - 1 Mile SW

### FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

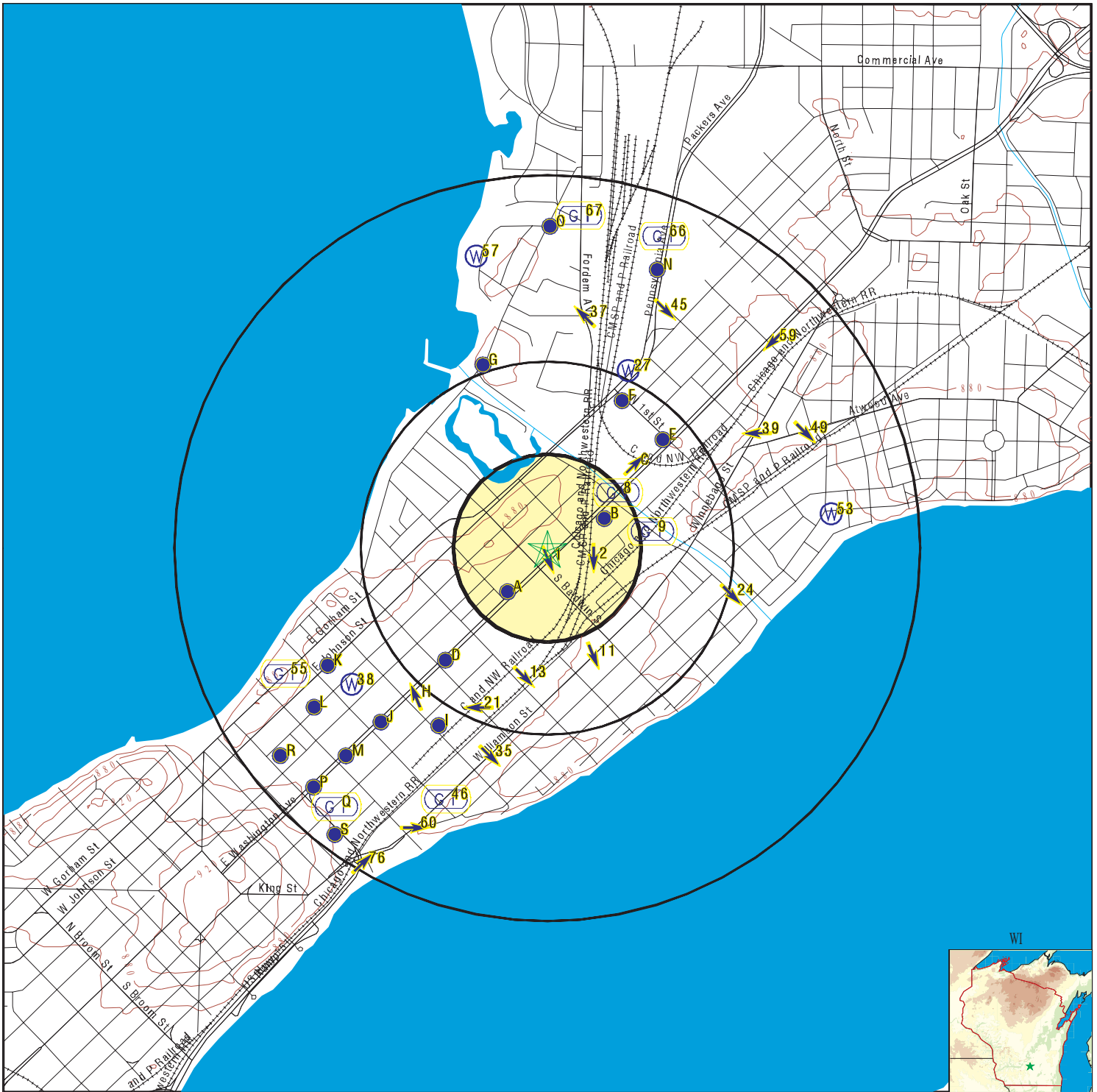
Note: PWS System location is not always the same as well location.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

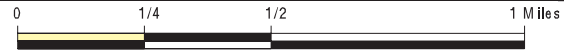
### STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
F18	WI4000000000523	1/4 - 1/2 Mile NNE
38	WI4000000000542	1/2 - 1 Mile SW
53	WI4000000014768	1/2 - 1 Mile East
S75	WI4000000025966	1/2 - 1 Mile SW

# PHYSICAL SETTING SOURCE MAP - 4432027.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons



- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data



SITE NAME: 1316-1318 East Washington Avenue  
 ADDRESS: 1316 East Washington Avenue  
 Madison WI 53703  
 LAT/LONG: 43.0881 / 89.3658

CLIENT: Sigma Env. Services, Inc.  
 CONTACT: Mary Trotta  
 INQUIRY #: 4432027.2s  
 DATE: October 07, 2015 3:19 pm

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID	Direction	Distance	Elevation	Database	EDR ID Number
1	South	0 - 1/8 Mile	Lower	AQUIFLOW	44848
	<a href="#">Click here for full text details</a>				
2	ESE	1/8 - 1/4 Mile	Lower	AQUIFLOW	44755
	<a href="#">Click here for full text details</a>				
A3	SW	1/8 - 1/4 Mile	Lower	AQUIFLOW	45442
	<a href="#">Click here for full text details</a>				
B4	NE	1/8 - 1/4 Mile	Lower	AQUIFLOW	44983
	<a href="#">Click here for full text details</a>				
B5	NE	1/8 - 1/4 Mile	Lower	AQUIFLOW	44986
	<a href="#">Click here for full text details</a>				
A6	SW	1/8 - 1/4 Mile	Higher	AQUIFLOW	44754
	<a href="#">Click here for full text details</a>				
B7	ENE	1/8 - 1/4 Mile	Lower	FED USGS	USGS40001309792
	<a href="#">Click here for full text details</a>				
8	NE	1/8 - 1/4 Mile	Lower	AQUIFLOW	45372
	<a href="#">Click here for full text details</a>				

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
9 East 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45476
C10 NE 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	FED USGS	USGS40001329632
11 SSE 1/4 - 1/2 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44751
C12 NE 1/4 - 1/2 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44734
13 South 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45508
D14 SW 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44935
E15 NE 1/4 - 1/2 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44765
E16 NE 1/4 - 1/2 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44893
D17 SW 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45754

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
F18 NNE 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	WI WELLS	WI400000000523
F19 NNE 1/4 - 1/2 Mile Higher	<a href="#">Click here for full text details</a>	FED USGS	USGS40001309832
F20 NNE 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45492
21 SSW 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44763
G22 NNW 1/4 - 1/2 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45396
H23 SW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44843
24 ESE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45369
G25 NNW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45506
G26 NNW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45448

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
27 NNE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	FED USGS	USGS40001329638
128 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44815
G29 NNW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45496
G30 NNW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45504
G31 NNW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45014
H32 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	FED USGS	USGS40001309717
I33 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44867
I34 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45773
35 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44946



## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
J36 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44818
37 North 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45045
38 SW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	WI WELLS	WI4000000000542
39 ENE 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44731
K40 WSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44831
J41 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45343
J42 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44906
J43 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45393
K44 WSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45608

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
45 NNE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44741
46 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45414
L47 WSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	FED USGS	USGS40001309741
L48 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45052
49 ENE 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45406
M50 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45038
M51 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45584
N52 NNE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45697
53 East 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	WI WELLS	WI4000000014768

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
L54 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45039
55 WSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45538
M56 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45042
57 NNW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	FED USGS	USGS40001309869
N58 NNE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45331
59 NE 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45494
60 SSW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	44975
N61 NNE 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44820
O62 North 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45000

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID	Direction	Distance	Elevation	Database	EDR ID Number
O63	North	1/2 - 1 Mile	Higher	AQUIFLOW	44762
			<a href="#">Click here for full text details</a>		
P64	SW	1/2 - 1 Mile	Lower	AQUIFLOW	45041
			<a href="#">Click here for full text details</a>		
Q65	SW	1/2 - 1 Mile	Lower	AQUIFLOW	44857
			<a href="#">Click here for full text details</a>		
66	NNE	1/2 - 1 Mile	Lower	AQUIFLOW	45416
			<a href="#">Click here for full text details</a>		
67	North	1/2 - 1 Mile	Lower	AQUIFLOW	44992
			<a href="#">Click here for full text details</a>		
R68	SW	1/2 - 1 Mile	Higher	AQUIFLOW	44828
			<a href="#">Click here for full text details</a>		
R69	SW	1/2 - 1 Mile	Lower	FED USGS	USGS40001309725
			<a href="#">Click here for full text details</a>		
Q70	SW	1/2 - 1 Mile	Higher	AQUIFLOW	45402
			<a href="#">Click here for full text details</a>		
R71	SW	1/2 - 1 Mile	Lower	AQUIFLOW	45332
			<a href="#">Click here for full text details</a>		

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
P72 SW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	AQUIFLOW	45645
S73 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45389
S74 SW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	45654
S75 SW 1/2 - 1 Mile Higher	<a href="#">Click here for full text details</a>	WI WELLS	WI4000000025966
76 SSW 1/2 - 1 Mile Lower	<a href="#">Click here for full text details</a>	AQUIFLOW	44896

# GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

## AREA RADON INFORMATION

State Database: WI Radon

### Radon Test Results

Num Tests	# 4-10 pCi/L	# > 10 pCi/L	Avg pCi/L	Max pCi/L
88	15	0	2.1	9.3

Federal EPA Radon Zone for DANE County: 1

- Note: Zone 1 indoor average level > 4 pCi/L.  
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.  
 : Zone 3 indoor average level < 2 pCi/L.

---

Federal Area Radon Information for Zip Code: 53703

Number of sites tested: 1

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.000 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	1.200 pCi/L	100%	0%	0%

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## TOPOGRAPHIC INFORMATION

### USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Source: U.S. Geological Survey

## HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

## HYDROGEOLOGIC INFORMATION

### AQUIFLOW<sup>R</sup> Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

## GEOLOGIC INFORMATION

### Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

### STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

### SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## LOCAL / REGIONAL WATER AGENCY RECORDS

### FEDERAL WATER WELLS

#### PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

#### PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

#### USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

### STATE RECORDS

#### Wisconsin Well Construction Report File

Source: Department of Natural Resources

Telephone: 608-266-0153

In the past, not all latitude/longitudes were accurate. Many were protracted from centroid (center of the quarter sections given in PLSS). The ones that were not accurate were removed from the well database.

## OTHER STATE DATABASE INFORMATION

### RADON

#### State Database: WI Radon

Source: Department of Health & Family Services

Telephone: 608-266-1865

Wisconsin Measurement Summary

#### Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

#### EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

### OTHER

#### Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

#### Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey



# PHYSICAL SETTING SOURCE RECORDS SEARCHED

## STREET AND ADDRESS INFORMATION

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**APPENDIX D**

**City Directory Report**

**1316-1318 East Washington Avenue**

1316 East Washington Avenue

Madison, WI 53703

Inquiry Number: 4432027.5

October 08, 2015

## The EDR-City Directory Image Report

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### SECTION

Executive Summary

Findings

City Directory Images

*Thank you for your business.*  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

### DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available city directory data at 5 year intervals.

### RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Target Street</u>	<u>Cross Street</u>	<u>Source</u>
2013	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2008	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
2003	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1999	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1992	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cole Information Services
1987	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1982	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1977	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1972	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1967	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1962	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory
1958	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wright's City Directory

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## FINDINGS

### TARGET PROPERTY STREET

1316 East Washington Avenue  
Madison, WI 53703

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
<b><u>E WASHINGTON AVE</u></b>		
2013	pg A4	Cole Information Services
2008	pg A7	Cole Information Services
2003	pg A10	Cole Information Services
1999	pg A13	Cole Information Services
1995	pg A17	Cole Information Services
1992	pg A21	Cole Information Services
1987	pg A26	Wright's City Directory
1982	pg A28	Wright's City Directory
1977	pg A30	Wright's City Directory
1972	pg A32	Wright's City Directory
1972	pg A33	Wright's City Directory
1967	pg A35	Wright's City Directory
1962	pg A38	Wright's City Directory
1958	pg A40	Wright's City Directory

## FINDINGS

### CROSS STREETS

<u>Year</u>	<u>CD Image</u>	<u>Source</u>
-------------	-----------------	---------------

### E MIFFLIN ST

2013	pg. A2	Cole Information Services
2008	pg. A5	Cole Information Services
2003	pg. A8	Cole Information Services
1999	pg. A11	Cole Information Services
1995	pg. A15	Cole Information Services
1992	pg. A20	Cole Information Services
1987	pg. A24	Wright's City Directory
1987	pg. A25	Wright's City Directory
1982	pg. A27	Wright's City Directory
1977	pg. A29	Wright's City Directory
1972	pg. A31	Wright's City Directory
1967	pg. A34	Wright's City Directory
1962	pg. A36	Wright's City Directory
1962	pg. A37	Wright's City Directory
1958	pg. A39	Wright's City Directory

## **City Directory Images**



## E MIFFLIN ST

2013

1225	JOHN FEITH
1229	EVAN WEDELL
1234	ASHLEY HOSTER
	BRAD GAVIGAN
	CHIAHUI CHENG
	CHUN LEZHENG
	DAVID CAPPARERT
	DONALD PANNELL
	EDDIE JACKSON
	JENNIFER MIRRIELEES
	JUSTIN HELICKSON
	KATHLEEN DAVIS
	MEGAN SONEBERG
	RALPH BROWN
	RENEE FISCHER
	SUMANTH VISWANATHAN
1235	ANDREW JONES
1236	SAMUEL BATES
1239	BERNARD SEEKINGS
	DAWN BENWAY
	FAITH CHOLVIN
	FRANKLIN WILSON
	NATHANIEL MITCHELL
	RONALD FRAZIER
1242	ADRIAN REIF
	STUART MAMMEL
1244	DAVID CORNELL
1245	MARY COLLINS
1247	BRIAN HAMILTON
1249	KELLY LYNAUGH
1307	JONATHAN SCHMIDT
	JOSEPH KOWALCZYK
1310	KRISTIN MAENNER
1315	NATHAN SHOULTZ
1316	LAURA DRIES
1318	JOSEPH HOEY
1320	KERMAN ECKES
1321	EAST ISTHMUS NEIGHBORHOODS PLANNING
	FIREPOWER DESIGN
	GRASS ROOTS LEADERSHIP COLLEGE
	MANI & COMPANY
	TENNEY NURSERY & PARENT CENTER INC
1326	PETER PAGEL
1330	OCCUPANT UNKNOWN
1332	TERRY GRAY
1338	DONALD BOLSTAD
1905	CYNTHIA BURNS
1906	CANDICE LEWIS
	KEVIN CLEVELAND
1910	TRACEY TEODECKI

**E MIFFLIN ST**

**2013**

**(Cont'd)**

1914 CHRISTINA HEATON  
1915 DAN STEARNS  
1917 PEGGY GRAVES  
1918 AIMEE LEFKOW  
SPEERELY LLC  
1922 CAROL ROBERTS  
1923 JENNIFER OHLSEN  
1926 CONNIE PAYAS

**E WASHINGTON AVE 2013**

1128	AVENUE BAR MADISON
1129	MARY ORTON
1136	AVIS
1146	BLUE HILL BY HAND
1150	JOHN PASZKOWSKI
1154	AARICK BEHER
1158	OCCUPANT UNKNOWN
1200	AMERICAN AUTOMOTIVE LLC
1210	DIONZA MOTORS MAD MOTORS
1212	PATRIOT GLASS CO
1240	FULL SPECTRUM SOLAR
1245	BUS CO METRO TRANSIT SYSTEM
1250	E VP COFFEE COMPANY
1304	BALDWIN ST GRILLE
1314	JAMES PURCELL MATTHEW STOLTE
1326	MESSNER INC
1332	MAE WATER
1400	BURSE SURVEYING & ENGINEERING INC DAAR ENGINEERING STATE STATE OF WISCONSIN
1440	HEALTHY PET VETERINARY CLINIC
1444	ART IN
1457	CANOPY CENTER STATE
1801	MARLING LUMBER CO
1806	VAL TYTOR
1831	A R A LEISURE SERVICES ARA OF MADISON AUTOMOTIVE REPAIR ACCESSORIES
1858	H&R BLOCK

## E MIFFLIN ST

2008

1225	JOHN FEITH
1229	EVAN WEDELL
1233	PAMELA KARSTENS
1234	ANITA RAY
	BRIAN ERICKSON
	ERIC ROOB
	J RICHARDS
	JOHN ANDERSEN
	JUSTIN HELICKSON
	L REULAND
	LARRY JONES
	MANZANO ALEMAN
	MATTHEW GREULICH
	MATTHEW SCHROEDER
	NATHANAEL MAKOOL
	PATRICK HOCKERS
	ROBERT MARKS
	SETH FOSS
	SURAPHON CHAIWONGSAR
	SURAPHON CHIWUNTSAR
	WYATT ADDISON
1235	BRIAN DALY
1236	SAMUEL BATES
1239	ALAN RILEY
	BERNARD SEEKINGS
	FRANKLIN WILSON
	LEONARD BROWN
	MICHAEL CAMINO
	PHIL HINOJOSA
	RONALD FRAZIER
	TYSHEA GRANDBERRY
1242	CHRISTOPHER DORSEY
	QUINN MCCONNELL
1243	AUTUMN NERO
1244	WILL SCHIRA
1245	MARY COLLINS
1247	JOHN SCHELLER
	TEGAN HIPPLE
1249	KELLY LYNAUGH
1307	ALEXANDER MIELKE
	J TRAPPEN
1310	CARLA KOYKKARI
1315	LATONYA FOUNTAIN
	MAUREEN EAGON
	NANETTIE NEGRI
	NICOLE HUFF
1316	BRIAN WILD
1317	W BARG
1318	JOSEPH HOEY
1320	KERMAN ECKES

**E MIFFLIN ST****2008****(Cont'd)**

1321	CONSOLIDATED GRAPHICS & FIREPOWER IN EAST ISTHMUS NEIGHBORHOODS FIREPOWER DESIGN CO LEADERSHIP COLLEGE MADISON AREA GRASSROOTS LEADERSHIP MANI G RAPS TENNEY NURSERY & PARENT CENTER INC
1322	DINO MANIACI
1326	PETER PAGEL
1330	ROBERT KELLY
1332	TERRY GRAY
1336	BRIAN NELS TIM LENIHAN
1338	BRA VANDEN DONALD BOLSTAD FERNANDA LEPORACE
1905	CYNTHIA BURNS
1906	CANDICE LEWIS KEVIN CLEVELAND
1910	TRACEY TEODECKI
1914	JAMES ZURLO
1915	DAN STEARNS
1917	GWENDOLYN CORCORAN
1918	AIMEE LEFKOW SPEER ELY MARKETING LLC
1922	CAROL ROBERTS
1923	JENNIFER OHLSEN
1926	CONNIE PAYAS

**E WASHINGTON AVE 2008**

1128 ZACHS AVENUE BAR  
1136 CARTEL LLC  
1146 LAURA CRAWFORD LLC  
1150 JOHN PASZKOWSKI  
1154 AARICK BEHER  
1158 LLOYD BUCHMEIER  
1212 BOB COOPER GLASS CO  
1240 QUALITY COLLISION REPAIR INC  
1245 VANG LAW OFFICE  
1250 CLEAN POWER  
ETES VOUS PRETS  
1254 SMART STUDIOS INC  
1310 LISA THRELKELD  
PETTIE TRIEU  
TALESA ALLEN  
1314 ANDREW MATUS  
JAMES DUBEAU  
JAMES PURCELL  
VALERIE REED  
1326 MESSNER INC  
1400 BARRY WEHMILLER CO INC  
BURSE SURVEYING & ENGINEERING INC  
INDEPENDENT BUS ASSN WSCNSN  
MADISON FACILITY  
MARQUIP  
NEW HIRE REPORTING PROGRAM  
NEWSWIRE INFORMATION SYSTEMS  
REGULATION LCNSING WSCNSIN DEPT  
RIVERVIEW CLAIMS SERVICE INC  
WORLD INNOVATIONS  
1414 MADISON PHYSCO THERAPY ASSOCIATION  
1440 HEALTHY PET VETERINARY CLINIC  
1806 VAL TYTOR  
1831 A R A LEISURE SERVICES  
ARA OF MADISON INC

## E MIFFLIN ST

2003

1225	JOHN FEITH
1229	GARY LAKEMAN
1233	PAMELA KARSTENS
1234	AARON LINDAS
	BONNIE WILLIAMS
	JOEL DITTMAR
	JOSE LOPEZ
	KATHRYN CAVALLO
	KEVYN HOWARD
	MATTHEW LAUFENBERG
	MELINDA SPANG
	MORRIS LORNITZO
	NICOLE ELSE
	PATRICK HOCKERS
	ROGER MIDMORE
	SHIRA LEFFEL
	TALITHA HOLVENSTOT
	TERRI JOHNSON
	WYATT ADDISON
1235	BRIAN DALY
	DALY & WHITCOMB LLC
1236	SAMUEL BATES
1239	BERNARD SEEKINGS
	MICHAEL CAMINO
	PETER FARRENS
	PHIL HINRICHS
	RONALD FRAZIER
1242	JARED JOHNSON
	PETER VANSUNTUM
1243	CHRISTOPHER BARTON
	NICHOLAS SMITH
	S SCHUMACHER
1245	MARC SHAFROTH
1247	NICHOL NORMAN
	PATRICE KOHL
	TANG HER
	TRISHA PROSISE
1249	KELLY LYNAUGH
1252	MARILEE KARAMANSKI
1307	JENNIFER CARLSON
	LARA NATZKE
1310	CARLA KOYKKARI
1315	RACHEL KITSON
	STEVE EAGLETON
1316	BRIAN WILD
1318	JOSEPH HOEY
1320	KERMAN ECKES
1321	CENTRO HISPANO OF DANE COUNTY
	CONSOLIDATED GRAPHICS & FRPWR
	FIREPOWER DESIGN CO

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**E MIFFLIN ST**

**2003**

**(Cont'd)**

1321	TENNEY NURSERY & PARENT CTR INC
1322	DINO MANIACI
1326	PETER PAGEL
1330	VICKIE GALLAGHER
1336	CHRISTIAN FRASER
	NIKKI SLAETS
	TANYA KUOPPALA
1338	CECILIA POHS
1906	CANDICE LEWIS
	KEVIN CLEVELAND
	M KRECKER
1910	TRACEY TEODECKI
1915	ROBERTA WARD
1918	ELY SPEER
	MICHAEL ELY
1921	LAURA SPARKS
1922	CAROL ROBERTS
1923	JENNIFER OHLSEN
1926	CONNIE PAYAS





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**E WASHINGTON AVE 2003**

1128 AVENUE BAR  
 DONALD ZACH  
 1136 MAD CITY SALES  
 1146 MARY GEBHARDT  
 1154 AARICK BEHER  
 1200 NICOLE WEBER  
 ROADWAY TRANSMISSIONS INC  
 1210 AVENUE AUTO SALES  
 1212 BOB COOPER GLASS CO  
 1234 FIRE DEPARTMENTS MDSN CITY  
 MADISON CITY OF FIRE MNTNNC  
 1240 QUALITY CLLSION RPR RFNSHNG  
 QUALITY COLLISION REPAIR  
 1245 JEAGER P KAREN  
 PURDY RAYMOND H MD  
 1254 SMART STUDIOS  
 1302 KENS BARBER SHOP  
 1304 JTS FRIENDLY TAVERN  
 1306 JEFFREY KELLER  
 JODI DUMDIE  
 1310 DJ EXPRESS  
 JASON CLARK  
 MICHAEL PACKARD  
 TALESA ALLEN  
 1314 AMANDA MATUS  
 J PURCELL  
 1326 MESSNER INC  
 1344 FYFES CORNER BISTRO  
 1400 BDM INTERNATIONAL  
 BURSE SURVEYING & ENGINEERING INC  
 INDEPENDENT BSNS ASCTN OF WIS INC  
 ISSC KIDS PROJECT OFFICE  
 WIS STATE  
 WIS STATE OF AIDS  
 WISCONSIN STATE OF CONTROLLED  
 1414 DONALD COOPER  
 MADISON PSYCHOTHERAPY ASSOCS  
 WISCONSIN STAT OF OCPTNL HLTH  
 WISCONSIN STATE OF X RAY  
 WSCNSN STAT OF EMER MDCL SRVC  
 WSCNSN STAT OF WMN INFNT & CHI  
 1440 HEALTHY PET VETERINARY CLINIC  
 1441 YAHARA SQUARE II  
 1444 GREAT BIG PICTURES INC  
 1462 GORDON VERGERONT  
 1464 AL WALLERS SPRKL AUTO BODY  
 1831 A R A LEISURE SERVICES  
 A R A OF MADISON  
 AUTOMOTIVE REPAIR & ACC

## E MIFFLIN ST

1999

1225	ANGELA RICHARDSON JOHN FEITH
1229	GARY LAKEMAN
1234	ANDREW KETTER ERIC SCHNEIDERMAN G MARTINEZ HENRY AMAYA JAY SCHOWALTER JENIFER KOX JODI VANDERMOLEN JOE CHERRY LYNETTE GRITTNER ROBERT HAAKENSTAD STEVEN JOHANOWICZ THOMAS JONES WYATT ADDISON
1235	CORRIE HART
1236	SAMUEL BATES
1239	CHARLES KARGAS CHRIS NEWHOUSE DANIEL VANLANEN GLENN WEAVER JOHN BURGDORFF PHIL HINRICHS RYAN RIGSBY
1242	C STEFFES JEFFREY ERICKSON NOEL ADAMS
1243	DEREK THIEL LEAH DONOHUE SALLY ISLEB
1244	KERRY CLANCY
1245	MARC SHAFROTH
1247	AARON LEVENTHAL JACK BREMER LANY NANTHASANE THERESA WANTUCH
1249	KELLY LYNAUGH
1307	BRYAN STEEL DANYA EISMAN
1310	CARLA KOYKKARI
1315	CLAUDIA NASCIMENTO GABRIEL ACHTEN
1316	BRIAN WILD
1317	N FOOTE STEVE WESSING
1318	JOAN CHASE JOSEPH HOEY TODD GRAY
1320	KERMAN ECKES

**E MIFFLIN ST**

**1999**

**(Cont'd)**

1321	CENTRO HISPANO OF DANE COUNTY TENNEY NURSERY & PARENT CENTER INCORPORATED
1322	DINO MANIACI
1326	PETER PAGEL
1336	C FRASER JACOB GOTZ JOCELYN BEECHAM
1338	JOHN KOSS
1905	CYNTHIA BURNS
1906	KEVIN CLEVELAND
1910	TRACEY TEODECKI
1914	RUTH HARDY
1915	MARCEL DUBOIS
1917	WILLIAM CORCORAN
1918	KATE SPEER KATE SPEERILY
1921	LAURA SPARKS
1922	CAROL ROBERTS
1923	PETER ROBERTSON

**E WASHINGTON AVE 1999**

1128 AVENUE BAR  
 1136 MADISON MOTORS  
 1146 OTTO GEBHARDT  
 1154 AARICK BEHER  
 SAUL GLAZER  
 1158 LLOYD BUCHMEIER  
 1200 ROADWAY TRANSMISSIONS INCORPORATED  
 1208 STACEY COLLAR  
 1210 AVENUE AUTO SALES  
 1212 BOB COOPER GLASS COMPANY INCORPORATED  
 1234 FIRE DEPARTMENT 911 MADISON CITY OF  
 MADISON CITY OF EMER MANAGEMENT DEPARTMENT FIRE DEPARTMENT  
 1240 QUALITY COLLISION REPAIR AND REFINISHING  
 1245 AMERICAN FAMILY INSURANCE  
 CORNUCOPIA INCORPORATED  
 CREATIVE COMMUNITY LIVING SERVICES  
 MARQUIP INCORPORATED  
 PURDY RAYMOND H MD  
 UNITED REFUGEE SERVICES OF WIS  
 1250 CLEAN POWER  
 1254 SMART STUDIOS  
 1302 KENS BARBER SHOP  
 1306 RALPH BAKER  
 1310 DJ EXPRESS  
 NANSE WOOD  
 1314 C BOEGER  
 ERIC BRUSEWITZ  
 JESSICA STANISLAWSKI  
 1326 MESSNER INCORPORATED  
 1344 FYFES CORNER BISTRO  
 1400 COALITIONS OF OLDER ADULTS NORTH EAST SIDE  
 INDEPENDENT BUSINESS ASSOCIATION OF WIS INCORPORATED  
 WASHINGTON SQUARE  
 WIS STATE OF  
 WIS STATE OF AIDS  
 WIS STATE OF REGULATION AND LICENSING DEPARTMENT OF  
 1414 AJAYA S PSYCHOLOGIST  
 APPELLATE DIVISION PUBLIC HEALTH  
 COOPER DONALD COUNSLR  
 D COOPER  
 EXAMINING BOARD SEE REGULATION AND UCENSING DEPARTMENT  
 FARRELLY FRANK SOC WKR  
 KAU CAROLYN COUNSLR  
 L MOSTON  
 MADISON PSYCHOTHERAPY ASSOCIATES  
 MOSTON LINDA COUNSELOR  
 RACING BOARD GAMING  
 RACING BOARD GAMING RADIATION  
 RACING BOARD GAMING RADON  
 RUNDE RAY E REV PSYCHOLOGIST



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**E WASHINGTON AVE 1999 (Cont'd)**

- 1414 RUSSO DICK SOCIAL WKR  
WIS STAT OF HEALTH & FAMILY SERVICES DEPARTMENT OF  
WIS STATE OF ASBESTOS  
WIS STATE OF OCCUPATIONAL HEALTH HEALTH & FAM SERVICE  
WIS STATE OF PUBLIC HEALTH  
WIS STATE OF RADIATION  
WIS STATE OF RADIATION PROTECTION COUNCIL  
WIS STATE OF RADON  
WIS STATE OF WOMEN INFANTS & CHILDREN WIC  
WIS STATE OF X RAY
- 1439 HALLMAN/LINDSAY PAINTS CENTRAL
- 1441 YAHARA SQUARE II
- 1444 BIG PICTURES  
DESIGN SERVICES MIDWEST INCORPORATED  
GREAT BIG PICTURES INCORPORATED
- 1462 THREE G AUTO SALES
- 1464 AL WALLERS SPARKLE AUTO BODY  
SPARKLE AUTO BODY
- 1801 MARLING LUMBER COMPANY
- 1831 A R A OF MADISON  
A R A OF MADISON TOWING  
A R A SPEED WORLD

## E MIFFLIN ST

1995

1225	DAMATO, CARL
1229	LAKEMAN, GARY J
1234	ALBRECHT, M
	ANDAC, EROL
	ANDERSON, JOHN R
	BREBNER, CONNIE
	CHERRY, JOE
	DOHM, JOHN F
	DUROSE, DAVID
	ECHOLS, JOHN J
	GOMEZ, IRENE
	GRITTNER, L
	HOCKERS, PAT
	ILLIES, J L
	INNIS, DAVID F
	LARSON, RICHARD E
	LESH, ROBERT
	MAGNAN, ROBERT J
	MONSON, KURT A
	RENNICK, PAMELA
	SHELDON, P
	STEBBINS, KARL W
1235	CHOP, MARIKA
1236	FETHERSTON, C
1239	BEVINEAU, KIM
	BURGDORFF, JOHN
	FITTSHUR, STEVEN
	HINRICHS, PHIL
	HOFFMAN, JEANNE
	JACKSON, THOMAS W
	ZIELKE, MARK
1242	ODOM, S
	RODGERS, TONYA R
1243	ALMLIE, LISA L
	NAPP, ANDREW R
	OROURKE, SEAN D
1244	KRUGER, MIKE
1245	SHAFROTH, MARC
1247	BELLEHUMEUR, J
	HEINECK, SUSAN M
	POLASKY, K
1249	LYNAUGH, K S
1307	DIETER, A M
	PEYTON, PAT
1310	DOANE, PETER
1315	SCHAFFER, PAUL
	ZUROWSKI, THOMAS
1316	HUBBARD, WILLIAM C
1317	MAES, PAUL
	WASNI, E

**E MIFFLIN ST****1995****(Cont'd)**

1317	WESSING, STEVE
1318	SWENSON, GERHARD A
1320	ECKES, KERMAN S
1321	TENNEY NURSERY & PARENT CTR TENNEY SCHOOL CONSTRUCTION
1322	DAVIS, JOEL C MANIACI, DINO A
1326	PAGEL, PETER E
1330	CLARK, ELAINE F
1332	DAVIS, C C
1336	MCGEE, JEANNE L SANFORD, DEBORAH STAFFORD, ROBBIE STEWARD, DAN
1338	KNUDSON, PAUL
1905	CHARNESKI, JAMES
1906	DODDS, BERT KASPER, ROGER A
1910	GEISE, KATHRYN
1914	MCCANN, JOSEPH M TERRACIANO, ANNMARI M
1917	CORCORAN, WILLIAM E
1918	SPEER, KATE
1921	BYRNES, HARRIET L
1922	ROBERTS, CAROL G
1923	ROBERTSON, PETER
1926	MORSCHAUSER, TINA

**E WASHINGTON AVE 1995**

1128 AVENUE BAR  
 1136 SOS AUTO SALES  
 1146 BELLILE, JULIE L  
 GEBHARDT REALTY INC  
 1150 POLGLASE, EVERETT D  
 1154 BEHER, AARICK A  
 GLAZER, SAUL  
 1158 OCCUPANT UNKNOWNN  
 1200 ROADWAY TRANSMISSIONS  
 1210 JIMS USED CARS  
 1212 BOB COOPER GLASS CO  
 1234 MADISON FIRE MAINTENANCE  
 1240 QUALITY COLLISION REPAIR  
 1245 ALLIANCE FOR THE MENTALLY ILL  
 ALLNCE MENTALLY ILL  
 CAFFE A ROMA  
 CENTRAL CITY FAMILY DAY CARE  
 COALITION OF WISCONSIN AGING  
 COMPTON, KATE  
 CONVEREX INC  
 CREATIVE COMMUNITY LIVING SVC  
 ELDER LAW CTR  
 EPILEPSY ACTION LINE  
 EPILEPSY CENTER SOUTH CENTRAL  
 FAIR HOUSING COUNCIL OF DANE  
 FAIR HOUSING COUNCL  
 JOB CORPS RECRUITMENT  
 MADISON AREA CONSTR EMPLOYEES  
 MADISON AREA MECHANICAL CONTRS  
 MADISON ASSOCIATION PLUMBING  
 MARQUIP INC  
 ORGANIZATION SERVICES  
 OVER 55 EMPLOYMENT SVC  
 PAPER SOURCE INC  
 REGISTRY THE  
 TRAVEL EASE INC  
 UNITED REFUGEE SVC OF WIS  
 WISCONSIN ASSOCIATION RESD FCL  
 WISCONSIN EARLY CHILDHOOD ASSN  
 1250 CLEAN POWER  
 1254 SMART STUDIOS  
 1302 KENS BARBER SHOP  
 1304 JANS FRIENDLY BENNETTS  
 OCCUPANT UNKNOWNN  
 1306 BOWENS, G  
 1310 BARCA, ERIC C  
 BLACKBURN, PAM  
 SCHUSTER, STEVEN  
 1314 BOGENSCHNEIDER, ROBERT L  
 ISLEB, SALLY



**E WASHINGTON AVE 1995 (Cont'd)**

1314	LENIHAN, CHERI PUGH, DANIEL
1326	MESSNER INC
1344	FYFES WASHINGTON HOST
1400	CHARITABLE GAMING OFFICE COALITIONS OF OLDER ADULTS CREDIT BUREAU OF MADISON CREDIT BUREAU OF MADISON CR UN EMPLOYMENT & TRAINING ASSN EMPLOYMENT ANALYSTS FORWARD SERVICE CORP JOBS HIRE STAFFING INC HOME MORTGAGE SVC LARIS REHABILITATION REGULATION & LICENSING DEPT REGULATION DEPT WASHINGTON SQUARE WI COALITION AGAINST SEXUAL WISCONSIN ALLIANCE FOR JOBS WORK SERVICES
1414	ASBESTOS DEPARTMENT COOPER, DONALD CRIPPLED SERVICE DICK RUSSO DONALD COOPER EMERGENCY MEDICAL SVC FARRELLY, FRANK FRANK FARRELLY HOTEL & RESTAURANT HEALTH LABORATORY CERTIFICATION LINDA MOSTON MADISON PSYCHOTHERAPY ASSOC MILK CERTIFICATION HEALTH MOSTON, LINDA OCCUPATIONAL HEALTH DEPT PUBLIC HEALTH DEPT RADIATION DEPT RADIATION PROTECTION COUNCIL RADON DEPT RUSSO, DICK STATE AIDS WOMEN & INFANTS HEALTH X RAY
1439	HALLMAN/LINDSAY PAINTS
1440	ANDERSON, KAREN BIERMAN, NAOMI BORTNOWSKI, HATTIE CITY WIDE PET CLINIC ELIZABETH LAING DVM

**E WASHINGTON AVE 1995 (Cont'd)**

- 1440 HATTIE BORTNOWSKI DVM
- KAREN ANDERSON DVM
- KIDD, LINDA
- LINDA KIDD DVM
- NAOMI BIERMAN DVM
- SCHROEDER, DEBORAH L
- 1441 YAHARA SQUARE II
- 1444 DESIGN SERVICES
- GREAT BIG PICTURES INC
- 1462 HELPFUL MOTORS
- KENNEDYS FACTORY
- 1464 AL WALLERS SPARKLE AUTO BODY
- 1820 MADISON CURLING CLUB
- 1831 A R A OF MADISON TOWING
- A R A SPEED WORLD
- A-R-A TOWING

## E MIFFLIN ST

1992

1225	BARTELS, FRED L
1229	SLATTERY, JIM
1234	DOHM, JOHN F
	LUEDTKE, THOMAS A
	MOONEY, PATRICK J
	PROCTOR, K M
	ZIETLOW, R
1236	TRADEWELL, JOHN E
1239	BELOW, TODD L
	BURGDORFF, JOHN
	EWING, JEFF
	FETTERHOFF, TOM
	FITTSBUR, STEVEN
	PILOTTE, DENNIS
	SCHREIBER, GENE
	ZIELKE, MARK
1244	WALKER, BRYON
1245	SHAFROTH, MARC
1249	SMITH, ROBERT L
1307	TUMINARO, C
1310	CARAVELLO, PHILIP J
1315	ZUROWSKI, THOMAS
1317	KENNEBECK, E
	KILDAHL, ANN
	WASNI, E
	WESSING, STEVE
1318	SWENSON, GERHARD A
1320	ECKES, KERMAN S
1322	HUTCHINSON, DAVID H
1326	PAGEL, PETER E
1330	CLARK, ELAINE F
1338	KNUDSON, PAUL
1905	CHARNESKI, JAMES
1906	KASPER, ROGER A
1910	GEISE, WALTER M
1917	CORCORAN, WILLIAM E
1918	FEUERER, LAURA L
1921	BYRNES, HARRIET L
1922	ROBERTS, CAROL G
1923	EVANS, G

**E WASHINGTON AVE 1992**

1128	AVENUE BAR
1136	S O S AUTO SALES
1146	GEBHARDT REALTY INC WARREN, TANNA M
1150	POLGLASE, EVERETT D
1154	BEHER, AARICK A
1158	BUCHMEIER, LLOYD JR
1200	ROADWAY TRANSMSSN
1210	JIM'S USED CARS
1212	BOB COOPER GLASS CO
1234	CTY-MAINT DIV FIRE MAINTENANCE DV
1240	QUALITY COLLISION
1245	ALLIANCE FOR ILL ALLIANCE FOR MENTAL AMI COALITION WISCONSIN CONVEREX INC CREATIVE COMMUNITY EPILEPSY ACTION EPILEPSY CENTER FAIR HOUSING COUNL HEATING PIPING CLG MADISON AREA MECH MADISON CONST EMPL MADISON PLUMBING MADISON SHEET METAL MADISON STEAMFITTER MARQUIP INC MECHANICAL CONTRCTR MENTAL HLTH-ALLIANC MERCHANTS POLICE NATL CERTIFIED PIPE ORGANIZATION SERVCS OVER 55 EMPLOYMENT PAPER SOURCE INC PEER CONNECTION PLUMBING INDUSTRY SHEET METAL TRAVEL EASE INC WIS ASSOC RES FCLTY WIS CLEARINGHOUSE
1250	CLEAN POWER
1254	SMART STUDIOS
1302	KENS BARBER SHOP
1304	JANS FRIENDLY
1310	DARCA, ERIC C
1314	WOERPEL, D J
1326	MESSNER INC
1344	WASHINGTON HOST THE

## E WASHINGTON AVE 1992 (Cont'd)

1400	ASSOCIATED CREDIT CREDIT BUREAU MADSN CREDIT BUREAU REPRT EMPLOYMENT & TRAIN RIGHT TO WORK TRANS UN CREDIT INF WASHINGTON SQ BLDG WIS ALLIANCE JOBS WIS FOREIGN NURSE WIS REGULATION DEPT YOUTH EMP SVC
1406	MARINE CORPS RECRTG U S AIR FORCE RECR U S ARMY RECR STA U S MARINE RECR U S NAVY RECR STAT
1414	COOPER DONALD COOPER, DONALD ENVIRONMENTAL SVCS FARRELLY FRANK HEALTH & SOCIAL SVC HOTEL & RESTAURANT LICENSING EMPLYMNT MADISON PSYCHTHRPY MOSTON LINDA CNSLR MOSTON, LINDA RUNDE RAY REV PSYCH RUSSO DICK RUSSO, DICK STATE AIDS SERVICE STATE ASBESTOS DEPT STATE MILK CRTFCTN STATE OCCUPATIONAL WIS EMERGENCY MDCL WIS RADIATION
1425	WIS RIDESHARING WIS VANPOOL
1440	ANDERSON KAREN VET BORTNOWSKI HATTIE CITYWIDE PET CLINIC KANTON KARIN VET LAING ELIZABETH VET MOBILE VETERINARY SCHROEDER D L VET
1441	YAHARA SQUARE 2
1444	BIG PICTURES DESIGN SERVICES GREAT BIG PICTURES
1464	AL WALLERS AUTO BDY SPARKLE AUTO BODY



-

**E WASHINGTON AVE 1992 (Cont'd)**

1801 MARLING LUMBER CO  
1820 MADISON CURLING CLB  
1831 A-R-A OF MADISON  
A-R-A SPEED WORLD  
A-R-A- MADISON

## E MIFFLIN ST

1987

2 Campbell Bruce B 256-2117  
1244 Foster John F 257-9038  
1245 Shafroth Marc © 257-1584  
Kier Lynelle 251-0084  
1247★Hoffland John R 251-3050  
Gobler Ron L 251-4979  
1249★Smith Robt L 258-9643  
BALDWIN ST INTERSEECTS  
1307 Apartments  
1 Sayles Tammy L 255-0859  
2 Mc Fadden Mark 255-2924  
1310 Mosley Brian A © 251-4175  
1315 Apartments

## E MIFFLIN ST

1987

1 Vacant  
 2 Armstrong C M 257-0778  
 1315½ Apartments  
 1316 Burdick John C 251-5485  
 1317★Stevenson Robt F 257-9678  
 1318 Swenson Gerhard A © 255-2524  
 1320 Murphy J J 257-3855  
 1321 Union Cab Of Madison Co-Op Inc  
 256-4400  
 1322 A Corp The appl repr & serv 255-0777  
 ★Giswold Greg 255-0777  
 1326★Schaeffer S 256-8269  
 1330 Clark Elaine F © 251-9543  
 1332 Frazier Pinkie Mrs © 256-3498  
 1336 Apartments  
 1★Hogan Timothy J 255-9615  
 2★Janetos John M 251-1945  
 3 Cuadra-Baez Hector 255-0814  
 4 Kwasau Isaiah A 256-2791  
 1338 Brechtl Bruce J © 257-4949  
 N DICKINSON ST INTERSECTS

N 1ST ST INTERSECTS

ZIP CODE 53704

1905 Geise Walter © 249-7237  
 1906★Roberts Oscar  
 1910 Ottum Orin J © 244-1774



**E WASHINGTON AVE 1987**

2 Armstrong C M 257-0778  
 1315½ Apartments  
 1316 Burdick John C 251-5485  
 1317★Stevenson Robt F 257-9678  
 1318 Swenson Gerhard A © 255-2524  
 1320 Murphy J J 257-3855  
 1321 Union Cab Of Madison Co-Op Inc  
 256-4400  
 1322 A Corp The appl repr & serv 255-0777  
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 N DICKINSON ST INTERSECTS

N 1ST ST INTERSECTS

ZIP CODE 53704

1905 Geise Walter © 249-7237  
 1906★Roberts Oscar  
 1910 Ottum Orin J © 244-1774

## E MIFFLIN ST

1982

## BALDWIN ST INTERSECTS

1307★Cox Davis W 251-1243

1310 Mosley Brian A © 251-4175

1315★Cochran Susan T 257-0513

★Armstrong C M 257-0778

1315½ Vacant

1316 Vacant

1317 Rehwaldt Lisa M 255-4344

1318 Swenson Gerhard A © 255-2524

1320★Vigil Ellen J 257-7502

1321 Vacant

1322 A R A Services food serv 251-2171

1326 Goldstein Walter A 257-1361

1330 Clark Elaine F © 251-9543

1332 Frazier Pinkie Mrs © 256-3498

1336★Hulbert Mike 255-8425

1338 Brechtl Bruce J 257-4949

## N DICKINSON ST INTERSECTS

**E WASHINGTON AVE 1982**

**BALDWIN ST INTERSECTS**

1302 Ken's Barber Shop 255-7755

1304 Friendly Tavern 256-6356

1306★Baker S N 258-8709

1310 Girton Beatrice E 257-6121

★Grimm Danl G 256-2049

1314★Hall B

1310★Hessell Craig

1314★Ames C D

1318 Messner Inc (Serv Dept) 256-0695

1325 Tai Chi Chuan Center 256-1056

1326 Messners Inc refer-freezers 256-0695

1344 Washington Post Ltd restr 251-6989

## E MIFFLIN ST 1977

## BALDWIN ST INTERSECTS

- 1307★Gahan Wm T 251-0405  
1310 Mosley Wayne © 251-4175  
1315★Gallagher Patk J 251-2120  
1315½ Vacant  
1316 Bernstein Gail S 256-7976  
1317★Krolikowski Larwence P 251-7367  
★Strasbaugh Louise R 256-0783  
1318 Swenson Gerhard A © 255-2524  
1320 Bredeson Pearl Mrs © 255-9375  
1321 Vogel Brothers Building Co genl contrs  
257-2576  
1322 Fort Dodge Laboratories Inc veterinary  
sup 255-6075  
1326 Vacant  
1330 Hauge G Mrs 257-5260  
1332 Frazier Pinkie Mrs © 256-3498  
1336 Abernethy Geo W  
★Doyle M R 251-8116  
Aaronson Jon 251-0426  
1338 Brechtl B 257-4949  
Jaberg Alan D 255-8576

## N DICKINSON ST INTERSECTS

**E WASHINGTON AVE 1977**

1294 1300 1310 1320 1330 1340 1350 1360 1370 1380 1390 1400 1410 1420 1430 1440 1450 1460 1470 1480 1490 1500

**BALDWIN ST INTERSECTS**

1302 Ken's Barber Shop 255-7755

1304 Friendly Tavern 256-9719

1306★Magnuson Jeff 256-6051

Vacant

1310 Girton Beatrice E 257-6121

Capesius

★Hart Delbert L

1314★Doyle Thos ©

★Hollenbeck Kurt

★Hausenbauer Tom

1318 Messner Inc (Serv Dept)

1326 Twentieth Century Wholesale 256-0695

Messner Incorporated coml refgrs

256-0695

1344 Vacant

**DICKINSON ST INTERSECTS**

1400 1410 1420 1430 1440 1450 1460 1470 1480 1490 1500

## E MIFFLIN ST 1972

1249 Cheriton Irving T © 251-0608

## BALDWIN ST INTERSECTS

1307 Lund Helen M Mrs 255-3471

1315 Vacant

1315½ Heyroth Jerome 257-7568

1316 Brandenburg James © 255-0757

1317 Ezrow Phyllis Mrs 255-8961

Herrick Collette

1318 Swenson Gerhard A © 255-2524

1320 Bredeson Pearl Mrs © 255-9375

1321 Vogel Brothers Building Co contra  
257-2576

1322 Fort Dodge Laboratories Inc  
veterinary sup 255-6075

1326 Barron Amy Mrs © 257-0528

1330 Grefsheim Norman P © 251-0241

1332 Lee Wayne C © 255-3964

1336 Voigt Danl E 257-9425

Matarrese Michl 256-3618

Rear Hertel Harry

1338 Karow Carol 257-2603

## N DICKINSON ST INTERSECTS

## E WASHINGTON AVE 1972

1240 Budget Auto Sales used cars 251-0221

1244 Vacant

1245 Gisholt Foundry Div Of Giddings &  
Lewis tool mfrs 256-5542

1250 Citizens Loan & Finance Co 257-1066

1252 Vacant

1254 Scheib Realty Service 257-0086

## BALDWIN ST INTERSECTS

1302 Ken's Barber Shop 255-7755

1304 Friendly Tavern 256-9719

1306 Thurow Elma

Thurow Larry E 251-2175

1310 Ewers Janet

Powers Danl 255-5565

Suddarth L C 256-5847

1314 Andrews Lyle R © 255-9841

Mc Farlane Mary Mrs 257-6519

Noll Robt A 256-1057

1318 Commonwealth Credit Union 255-0059

## E WASHINGTON AVE 1972

1326 Twentieth Century Wholesale air  
condtng 256-0695

Messner Inc coml refgrs 256-0695

## DICKINSON ST INTERSECTS

1400 Beatrice Foods Co Agriproducts Div  
whol dairy prod 257-6074

Madison Adjustment System 251-9292

National Multiple Sclerosis Society  
257-5544

Mortgage Association Inc 238-5801

Midwest Veterinary Supply Inc (Br)

Rhodes-Gallagher & Assocs Inc  
257-0636

228 Rhodes Walter C Insurance  
Agency 257-0636

Time Insurance Co 257-0636

1401 Zephyr Station gas 256-9608

## C&amp;NW CROSSES

## CM ST P&amp;P CROSSES

1435 Evon H H Co food prod mfrs  
249-0163

1440 Zulty Wesley J lwyr 249-6466

Zulty Wes Sports Distributor sporting  
goods ret 249-6466

1444 Avco Financial Services loans  
244-6286

1462 Mueller Motors used cars 249-5411



## E MIFFLIN ST

1967

1239 Doran Rodney 255-1278  
 Christian Helma 256-6550  
 Gruber Lorraine 256-6681  
 Fosnot Dorothy L 257-7430  
 1242 Hogan Leo M 256-6491  
 Wright Jas E 255-3424  
 1243 Currie Thos E 257-1995  
 Currie Mary Mrs 256-3369  
 1244 Ritter Lyle H © 256-0011  
 1245 Swenson Arth E 257-1379  
 Swoegler Don A 255-5219  
 1247 Fassnacht Robt E 255-6067  
 Schwoegler Richd J 255-5219  
 1249 Langlois Fredk R 256-8239  
 1307 Vogel David  
 1310 Dickens Hannah Mrs ©  
 256-0056  
 1315 Minter Paul P 256-7620  
 Musolf Melvin 255-6191  
 1315 $\frac{1}{2}$  Heyroth Jerome  
 1316 Desotell Harry © 256-0324  
 1317 Luher Arlene 256-0965  
 rear Kidder Milton H ©  
 1318 Swenson Gerhard A © 255-2524  
 1320 Bredeson Pearl H Mrs © 255-9375  
 1321 Vogel Bros Bldg Co contr  
 257-2576  
 1322 Fort Dodge Labys Inc  
 veterinary sups 255-6075  
 1330 Janus Robt R © 256-5157  
 1332 Sayles Ben H © 257-1283  
 1336 Weber John 257-2731  
 rear Amble Ray E 256-3715  
 1338 Bond Philip J 257-5990  
 Borreson Earl P 257-5498  
 N Dickinson st intersects  
 (Not open bet  $\frac{1}{2}$  blk northeast of  
 N Dickinson st and N 1st st)

16

N 1st st intersects  
 Zip Code 53704

## E WASHINGTON AVE 1967

1306 Davis Lee  
 1310 Scheib Rlty 257-0086  
       Lokken Elec Inc contrs 255-5313  
 1314 Andrews Lyle R © 255-9841  
       Hill Kenneth 255-3513  
       Tomas Ruth O Mrs 256-5058  
 1318 Kidder's Radio & TV Inc  
       256-0918  
 1325 Twentieth Century Wholesale  
       air condng 256-0695  
 1326 Messner Inc coml refgrs  
       256-0695  
 1330 Ohio Chem & Surgical Equip Co  
       stge  
 Dickinson et interests

## E MIFFLIN ST

1962

AL5-3200

Niebuhr Orlando J AL5-5775

1310 Dickens Hannah Mrs ©

AL6-0056

1315 Minter Paul P AL6-7620

1315½ Heyroth Jerome AL6-2741

1316 Desotell Harry © AL6-0324

1317 Ezrow Roland AL7-3390

Pippin Jessie B Mrs

AL6-2414

1317½ Kidder Milton H ©

1318 Swenson Gerhard A ©

AL5-2524

## E MIFFLIN ST

1962

1320 Bredeson Roy W ©	AL5-9375
1321 Vogel Bros Bldg Co contrs	AL7-2576
1322 Fort Dodge Laboratories Inc	veterinary supplies AL5-6075
1326 Bergh Arth W jr	AL5-4838
1330 Janus Robt R ©	AL6-5157
1332 Sayles Ben H ©	AL7-1283
1336 Rodell Albin C	AL5-1100
Hurst LaVerne H	Nelson Otilie Mrs AL7-3328
rear Holmes Merle	AL5-1552
1338 Bond Philip	Holly Chas J jr AL5-7970
N Dickinson intersects (Not open bet $\frac{1}{2}$ blk north east of N Dickinson and N 1st)	
16	
N 1st intersects	
1005 Leiser Chester ©	CH4-0700

**E WASHINGTON AVE 1962**

1240 Schappe Pontiac Inc br used  
cars AL7-2037

1244 Nibble Nook Inc restr  
AL6-9673

1245 Gisholt Mach Co tool mfrs  
AL6-9081

1250 Haack's Bike Shop AL6-3980

1250½ Haack's Bike Shop storage

1252 Sunshine Cafe restr

1254 Dykman's Bakery & Delicates-  
sen AL7-3350

1254½ Scalissi Frances Mrs  
AL5-0809

**Baldwin intersects**

1302 Allen Barber Shop AL6-9719

1304 Friendly Tavern AL6-9719

1306 Warczak John E  
Long Arth

1310 Hocking Grace Mrs AL5-9289  
Sauk James R

1314 Andrews Lyle R © AL5-9841

Rusu Daniel P AL5-2243

Tomas Ruth O Mrs AL6-5058

1318 Kidder's Radio & TV AL6-0918

1326 Twentieth Century Wholesale  
air conditioning AL6-0695

Messner Inc coml refgrs  
AL6-0695

1330 Ohio Chem & Surgical Equip  
Co stge

**Dickinson intersects**

1400 Ohio Chem & Surgical Equip  
Co hosp sups mfrs  
AL6-5421

1401 Ficken Oil Co gas sta  
AL6-9608

**C&NW crosses****CMStP&P crosses**

1435 Frito Lay Inc potato chips  
CH4-3551

1440 Zulty Wesley J lwyr CH9-6466

Zulty Wes Sports Distributor  
ret CH9-6466

1444-46 Mechanical Design Inc  
consulting engs AL9-4311

1462 Vacant

14

**N Thornton av intersects**

**Yahara River Bridge**

## E MIFFLIN ST

1958

## MIFFLIN E—Contd

- 1135 Meuer Donald F ΔAL6-2212  
Breidenstein Blaine B  
ΔAL7-4206
- 1137 Garland Vernon M ΔAL6-2925
- 1138 Koch Melchior B ΔAL5-5602
- 1139 Minter Henry J @ ΔAL5-0248
- 1140 Newland Rolland E ΔAL6-7598
- 1141 Schmitt Donald J @ ΔAL5-3862
- 1142 Arnold Wm T ΔAL5-6618
- 1143 Topper Clarence ΔAL6-8154  
Gleason Harry L @ ΔAL5-5042
- 1144 Mergen Michl N @ ΔAL5-2509  
Beecher Douglas ΔAL5-0370
- 1147 Korn Carrie P Mrs ΔAL6-5295
- 1149 Barber Betsy Mrs @  
ΔAL5-4173
- 1150 True Harry E @ ΔAL6-0311
- 1151 McCann Wm P @ ΔAL5-2030
- 1152 McKenna Clarence E @  
ΔAL5-9321
- 1154 Peterson Leonard J @  
ΔAL6-6753
- 1156 Rust Pearl Mrs ΔAL6-1105
- N Few intersects**
- 1201 Lankie Leo A ΔAL6-8768  
Kauffman Wayland ΔAL5-5873  
Burgess Robt L ΔAL7-3092  
Hovland Ernest O ΔAL7-1885
- 1205 Judd Francis F ΔAL5-6662  
Clock Lucille ΔAL5-4934  
Richter Alida G Mrs  
Kopan Klyde H ΔAL5-8516
- 1209 King Geo A @ ΔAL5-0441
- 1210 Gardner Glenn M  
ΔAL6-8761
- 1212 Richter Chas @ ΔAL5-0103
- 1213 Gullickson Richd D @
- 1214 Rechenberg Arnold P @  
Petkus Ervin ΔAL5-9172
- 1218 Kabat Cyril @ ΔAL6-7214
- 1220 Karney Wm J @ ΔAL6-6517
- 1222 Moore Chas H @ ΔAL6-6162
- 1223 Koch Harold F @ ΔAL5-2080
- 1225 Mickelson Jens @ ΔAL5-0798
- 1228 Showers R Earl @ ΔAL5-5642
- 1229 Hinrichs Jos A @ ΔAL5-4123  
Smith Thos J
- 1233 Dietrich Harold A @ ΔAL5-3586
- 1234 Kennedy Gerald R @  
ΔAL5-3660
- 1235 Heiss Anna C Mrs @  
ΔAL5-2363
- 1236 Roth Jos @ ΔAL5-8942
- 1239 Livesey Edw L ΔAL6-7107
- 1242 Hogan Leo M ΔAL6-6491  
Fosnot Frank H  
Wright Everett
- 1243 Swenson Gerhard A  
ΔAL5-2524  
Schwenn Raymond W  
ΔAL6-7830
- 1244 Ritter Lyle H @ ΔAL6-0011
- 1245 Swenson Arth E ΔAL7-1379
- 1247 Schwoegler Richd J  
ΔAL5-5219  
Jewell Wm R ΔAL7-2969
- 1249 No Return
- 1307 Gersbach Phillip M @  
ΔAL5-3200  
O'Donnell Kenneth E  
ΔAL7-3944
- 1310 Dickens Hannah Mrs @  
ΔAL6-0056
- 1315 Minters Paul  
Blaker Kermit
- 1315½ Bartels Fred L ΔAL5-8506
- 1316 Simmonds Reed W @  
ΔAL6-7181
- 1317 Pedicone Sabatine A @  
ΔAL5-7355  
Ferrand Floyd C ΔAL5-6075
- 1317½ Kidder Milton H @  
ΔAL6-0918
- 1318 Ross Erwin E @ ΔAL5-7795
- 1320 Bredeson Roy W @  
ΔAL5-9375
- 1321 Vogel Bros Bldg Co  
contrs ΔAL7-2576
- 1322 Fort Dodge Laboratories  
Inc vet supplies  
ΔAL5-6075
- 1326 Bergh Arth W jr ΔAL5-4838
- 1330 Christenson Oscar K  
ΔAL5-1904
- 1332 Sayles Ben H @ ΔAL7-1233
- 1336 Wesseley Anna
- 1338 Brechtl Clayton J @  
ΔAL6-1210  
Draper Geo  
**N Dickinson intersects**  
(Not open between ½  
block northeast of  
N Dickinson and N  
1st)
- N 1st intersects**
- 1905 Leiser Esther M Mrs @  
ΔCH4-0700
- 1906 Roberts Oscar W @  
ΔCH9-4471  
Shields Robt C ΔCH9-4451
- 1910 Ottum Orin J @ ΔCH4-1774
- 1914 Ladell Elnor C @  
ΔCH4-8008  
Ladell Gregory J
- 1915 Thomas Herman J @  
ΔCH4-0904
- 1917 Corcoran Wm E @  
ΔCH4-8085
- 1918 Schnurbusch Walter H @  
ΔCH4-1966
- 1921 Schou Werner O @  
ΔCH4-2291
- 1922 Ferguson Henry P @  
ΔCH4-6833
- 1923 Ames Ammon B @ ΔCH4-7051
- 1926 Houston Geo T @ ΔCH4-7162
- 1929 Levrentz Bertha E Mrs @  
ΔCH4-7153
- 1932 Thune Robt L
- 1932 Coll ns Everett @
- 1933 Kammer Marvin J  
ΔCH4-1995  
Klarer Kath
- 1934 Dolderer Jas ΔCH4-8644
- 1937 Gotstein Paul H ΔCH4-9583
- 1938 Frydenlund Ingeman @  
ΔCH9-8092
- 1939 Dunn Gregory D @  
ΔCH4-1832
- 1946 Hall Fred E @ ΔCH4-6132
- 1948 Thatcher Philip @  
ΔCH4-8152
- N 2d intersects**
- 2005 Holliday Stanley R @  
ΔCH4-0885
- 2006 Berry Geo ΔCH4-9345
- 2009 McDowell Earl W @  
ΔCH4-8872
- 2012 Hamilton Clifford J @  
ΔCH4-7006
- 2013 Johnson Jas S @  
ΔCH4-0775

## E WASHINGTON AVE 1958

- lot No 1 ΔAL5-1686  
 1244 Nibble Nook Inc restr  
 ΔAL6-9673  
 1245 Gisholt Machine Co tool mfrs  
 ΔAL6-9081  
 1250 Haack's Bike Shop ΔAL6-3980  
 1250<sup>1</sup>/<sub>2</sub> Ibenthal Doris ΔAL6-0810  
 1252 Bringe's Cafe ΔAL5-9248  
 1254 Dykman's Bakery & Delicates-  
 sen ΔAL7-3350

Clasen Ernest

**Baldwin intersects**

- 1302 Allen Barber Shop  
 1304 Friendly Tavern ΔAL6-9719  
 1306 Vorlop Walter F © ΔCH5-7376  
 Persen Donald M  
 1310 Desotell Harry ΔAL6-0324  
 Waddell Keith E ΔAL5-6664  
 Caron Wm A ΔAL6-0830  
 1314 Andrews Lyle R © ΔAL5-9841  
 Ramsey Robt B ΔAL7-3279  
 1318 Kidder's Radio Shop  
 ΔAL6-0918  
 1326 Refrigeration Equip Co  
 ΔAL6-0695  
 Twentieth Century Wholesale  
 refgr ΔAL6-0695

**Dickinson intersects**

- 1400 Ohio Chem & Surgical Equip  
 Co hosp supplies  
 ΔAL6-5421  
 1401 Butler's Service Sta  
 ΔAL5-9591

**C&NWRy crosses**

**CMStP&PRR crosses**

- 1435 Red Dot Foods Inc food  
 distributors  
 ΔCH4-3551  
 1440 Sullivan Bros Inc contr  
 ΔCH4-4771

**APPENDIX E**

**Aerial Photographs**



**1316-1318 East Washington Avenue**

1316 East Washington Avenue

Madison, WI 53703

Inquiry Number: 4432027.9

October 08, 2015

## The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th Floor  
Shelton, Connecticut 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

# EDR Aerial Photo Decade Package

Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

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***Thank you for your business.***  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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**Date EDR Searched Historical Sources:**

Aerial Photography October 08, 2015

**Target Property:**

1316 East Washington Avenue

Madison, WI 53703

<u><i>Year</i></u>	<u><i>Scale</i></u>	<u><i>Details</i></u>	<u><i>Source</i></u>
1937	Aerial Photograph. Scale: 1"=500'	Flight Date: July 05, 1937	USGS
1949	Aerial Photograph. Scale: 1"=500'	Flight Date: September 25, 1949	PMA
1955	Aerial Photograph. Scale: 1"=500'	Flight Date: July 12, 1955	CSS
1962	Aerial Photograph. Scale: 1"=500'	Flight Date: September 11, 1962	ASCS
1968	Aerial Photograph. Scale: 1"=500'	Flight Date: May 08, 1968	ASCS
1976	Aerial Photograph. Scale: 1"=500'	Flight Date: September 12, 1976	USGS
1980	Aerial Photograph. Scale: 1"=500'	Flight Date: November 21, 1980	USGS
1986	Aerial Photograph. Scale: 1"=500'	Flight Date: June 02, 1986	USGS
1993	Aerial Photograph. Scale: 1"=500'	Flight Date: May 06, 1993	USGS
2000	Aerial Photograph. Scale: 1"=500'	DOQQ - acquisition dates: May 16, 2000	USGS/DOQQ
2005	Aerial Photograph. Scale: 1"=500'	Flight Year: 2005	USDA/NAIP
2006	Aerial Photograph. Scale: 1"=500'	Flight Year: 2006	USDA/NAIP
2008	Aerial Photograph. Scale: 1"=500'	Flight Year: 2008	USDA/NAIP
2010	Aerial Photograph. Scale: 1"=500'	Flight Year: 2010	USDA/NAIP

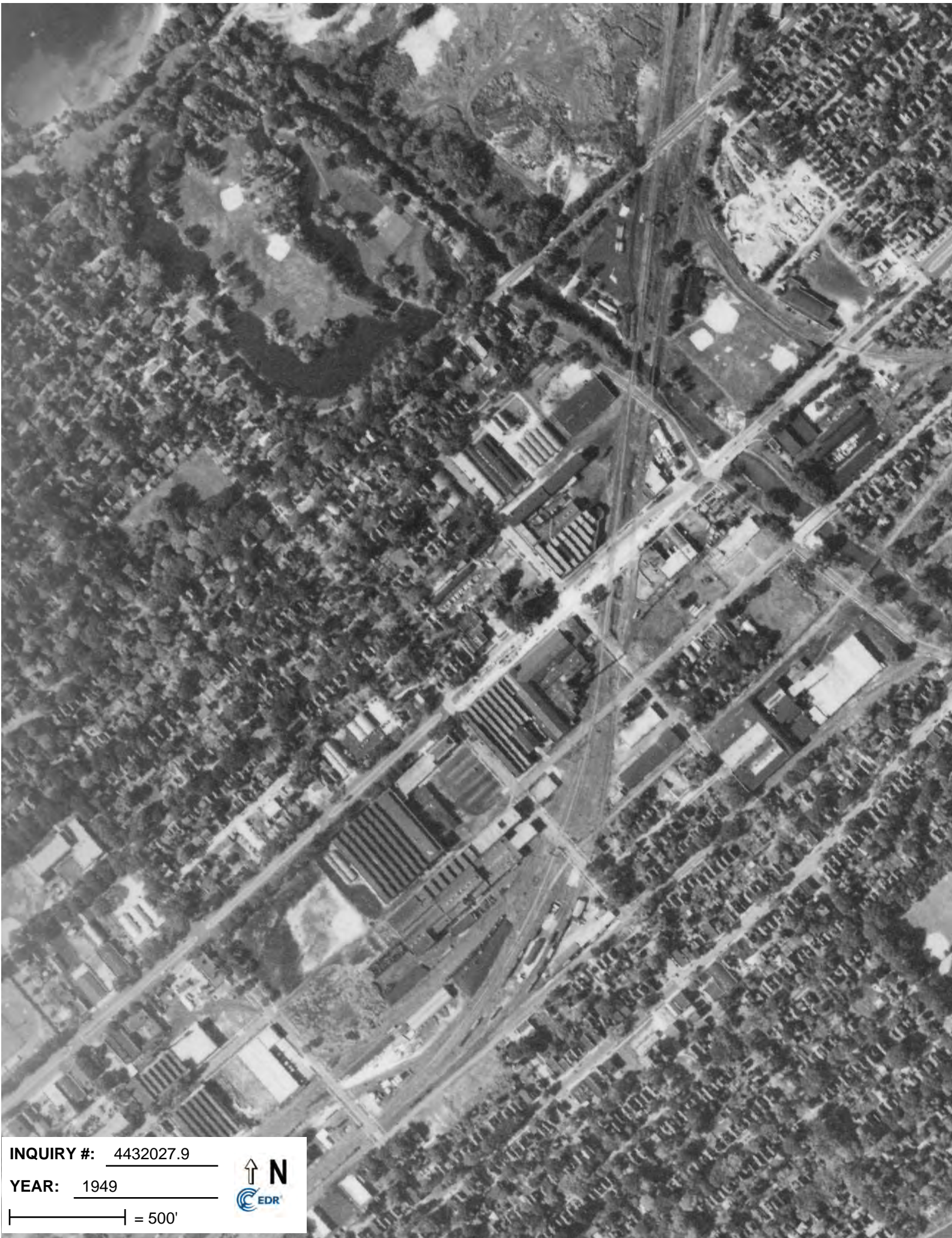


INQUIRY #: 4432027.9

YEAR: 1937

| = 500'





**INQUIRY #:** 4432027.9

**YEAR:** 1949

| = 500'





INQUIRY #: 4432027.9

YEAR: 1955

| = 500'





INQUIRY #: 4432027.9

YEAR: 1962

| = 500'





INQUIRY #: 4432027.9

YEAR: 1968

| = 500'







INQUIRY #: 4432027.9

YEAR: 1976

| = 500'





**INQUIRY #:** 4432027.9

**YEAR:** 1980

| = 500'





**INQUIRY #:** 4432027.9

**YEAR:** 1986

| = 500'





INQUIRY #: 4432027.9

YEAR: 1993

| = 500'





INQUIRY #: 4432027.9

YEAR: 2000

| = 500'





**INQUIRY #:** 4432027.9

**YEAR:** 2005

| = 500'





INQUIRY #: 4432027.9

YEAR: 2006

| = 500'





INQUIRY #: 4432027.9

YEAR: 2008

| = 500'







INQUIRY #: 4432027.9

YEAR: 2010

| = 500'



**APPENDIX F**

**Sanborn Map Report**

**1316-1318 East Washington Avenue**

1316 East Washington Avenue

Madison, WI 53703

Inquiry Number: 4432027.3

October 07, 2015

## Certified Sanborn® Map Report



6 Armstrong Road, 4th Floor  
Shelton, Connecticut 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

# Certified Sanborn® Map Report

10/07/15

**Site Name:**

1316-1318 East Washington  
1316 East Washington Avenue  
Madison, WI 53703

**Client Name:**

Sigma Env. Services, Inc.  
1300 W. Canal Street  
Milwaukee, WI 53233



EDR Inquiry # 4432027.3

Contact: Mary Trotta

The Sanborn Library has been searched by EDR and maps covering the target property location as provided by Sigma Env. Services, Inc. were identified for the years listed below. The Sanborn Library is the largest, most complete collection of fire insurance maps. The collection includes maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow, and others. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by the Sanborn Library LLC, the copyright holder for the collection. Results can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn).

The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

## Certified Sanborn Results:

**Site Name:** 1316-1318 East Washington Avenue  
**Address:** 1316 East Washington Avenue  
**City, State, Zip:** Madison, WI 53703  
**Cross Street:**  
**P.O. #** NA  
**Project:** 15737  
**Certification #** 4A86-4243-8B42



Sanborn® Library search results  
Certification # 4A86-4243-8B42

**Maps Provided:**

1986            1892  
1950  
1942  
1908  
1902  
1898

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

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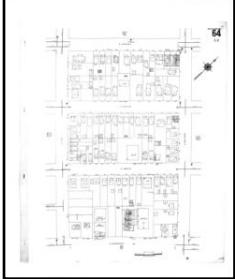
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## Sanborn Sheet Thumbnails

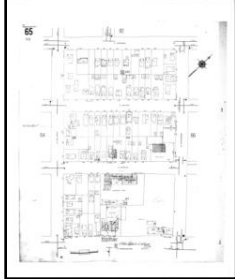
This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



### 1986 Source Sheets



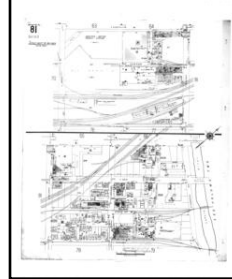
Volume 1, Sheet 64



Volume 1, Sheet 65



Volume 1, Sheet 66

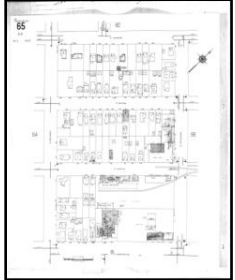


Volume 1, Sheet 81

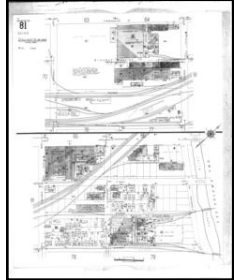
### 1950 Source Sheets



Volume 1, Sheet 64

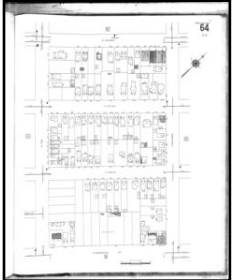


Volume 1, Sheet 65

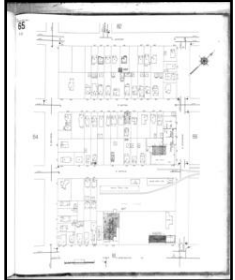


Volume 1, Sheet 81

### 1942 Source Sheets



Volume 1, Sheet 64

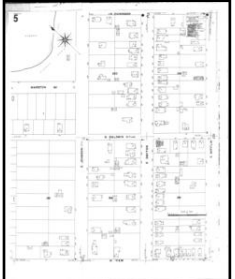


Volume 1, Sheet 65



Volume 1, Sheet 81

### 1908 Source Sheets



Volume 1, Sheet 5



Volume 1, Sheet 6

**1902 Source Sheets**



Volume 1, Sheet 13

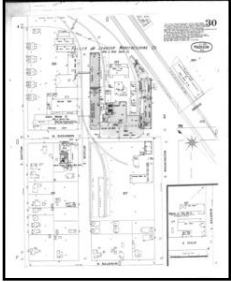


Volume 1, Sheet 17



Volume 1, Sheet 18

**1898 Source Sheets**



Volume 1, Sheet 30

**1892 Source Sheets**



Volume 1, Sheet 24

# 1986 Certified Sanborn Map



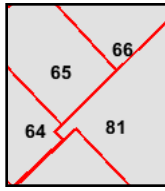
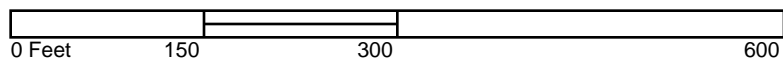
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Site Name: 1316-1318 East Washington Avenue  
 Address: 1316 East Washington Avenue  
 City, ST, ZIP: Madison WI 53703  
 Client: Sigma Env. Services, Inc.  
 EDR Inquiry: 4432027.3  
 Order Date: 10/7/2015 4:49:03 PM  
 Certification # 4A86-4243-8B42



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# 1950 Certified Sanborn Map

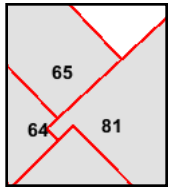
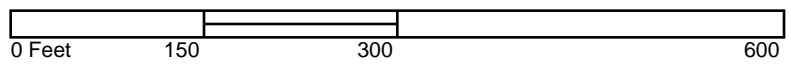
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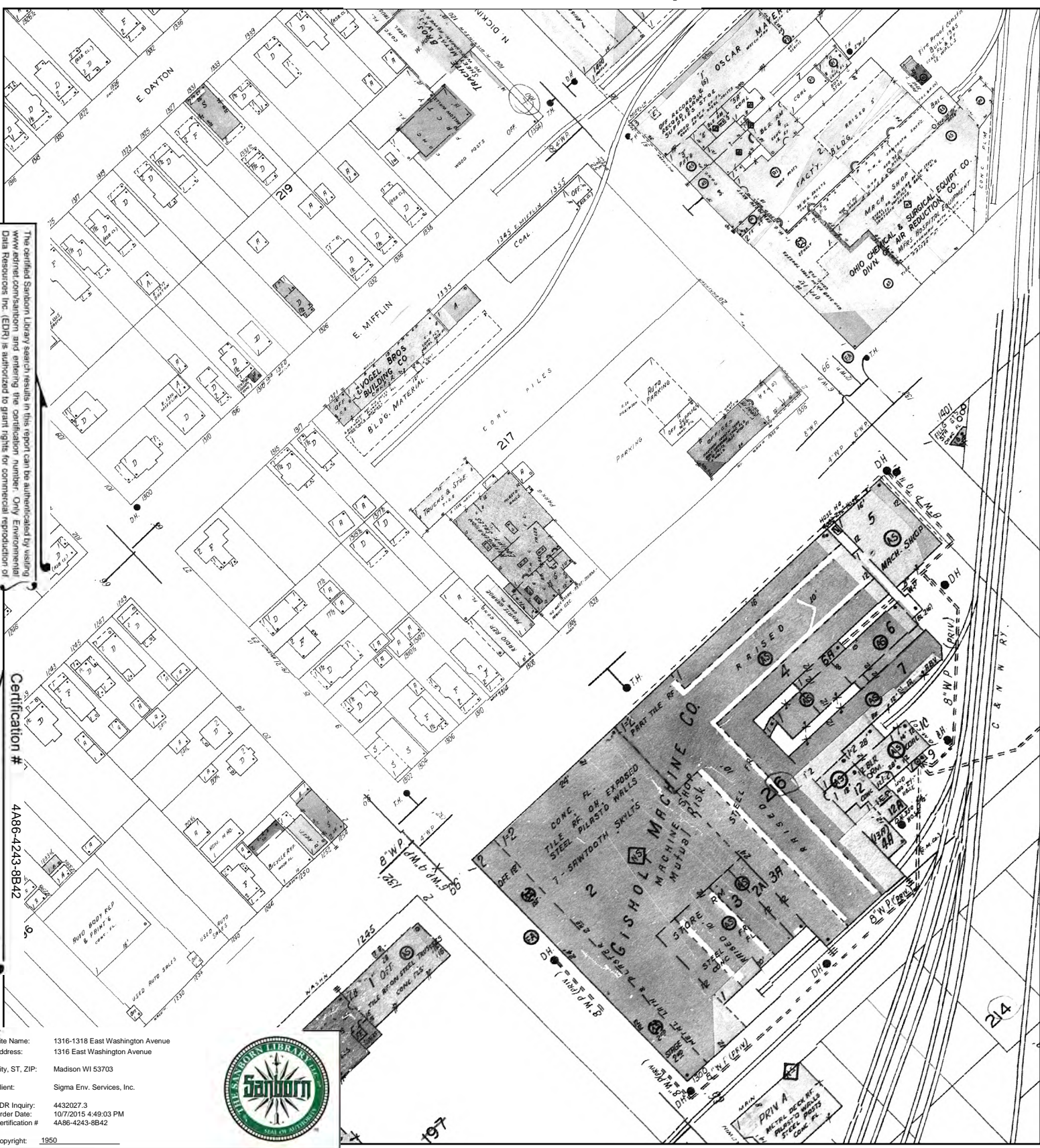
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 Address: 1316 East Washington Avenue  
 City, ST, ZIP: Madison WI 53703  
 Client: Sigma Env. Services, Inc.  
 EDR Inquiry: 4432027.3  
 Order Date: 10/7/2015 4:49:03 PM  
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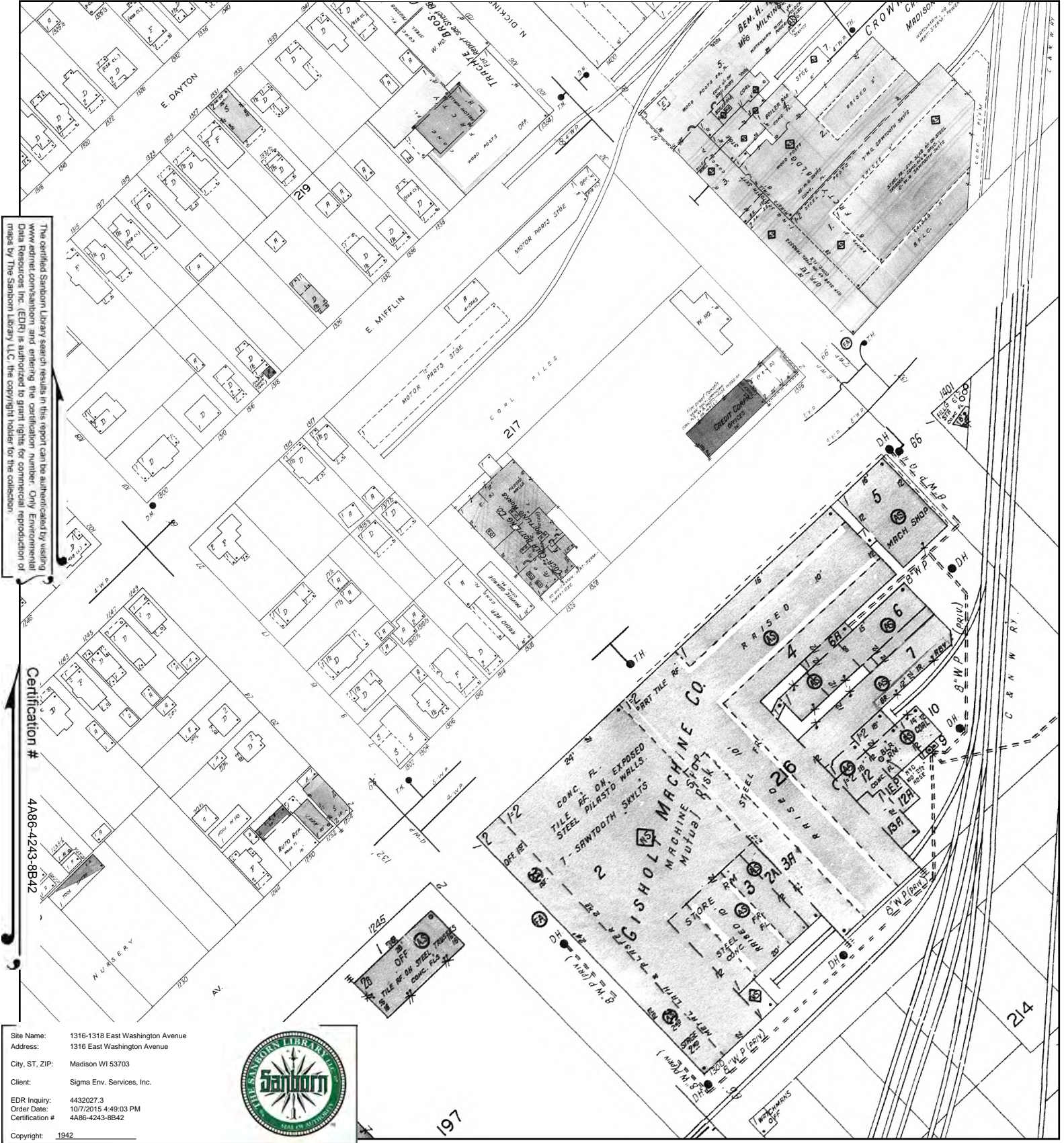


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# 1942 Certified Sanborn Map



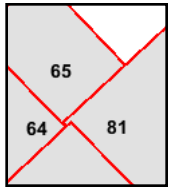
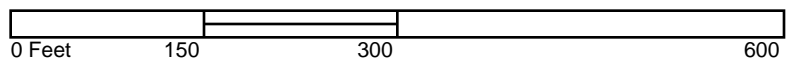
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 Address: 1316 East Washington Avenue  
 City, ST, ZIP: Madison WI 53703  
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# 1908 Certified Sanborn Map

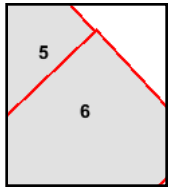
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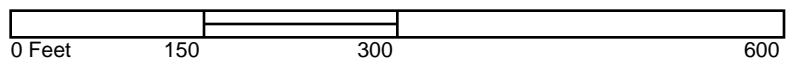
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 Volume 1, Sheet 6



# 1902 Certified Sanborn Map

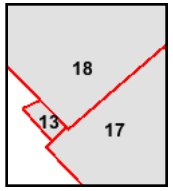
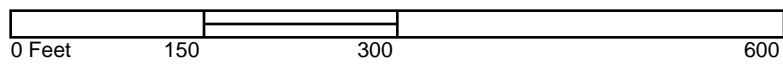
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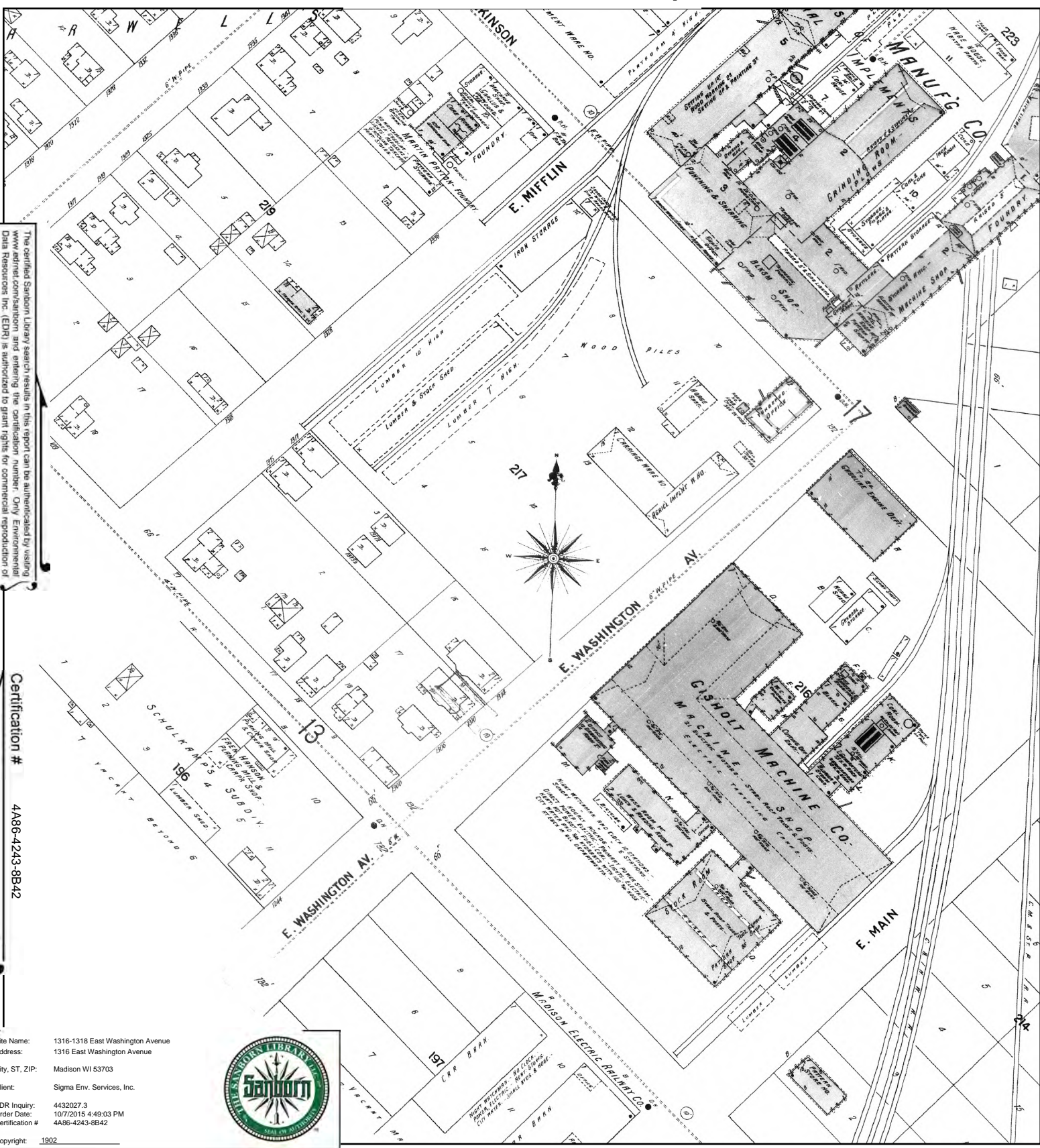
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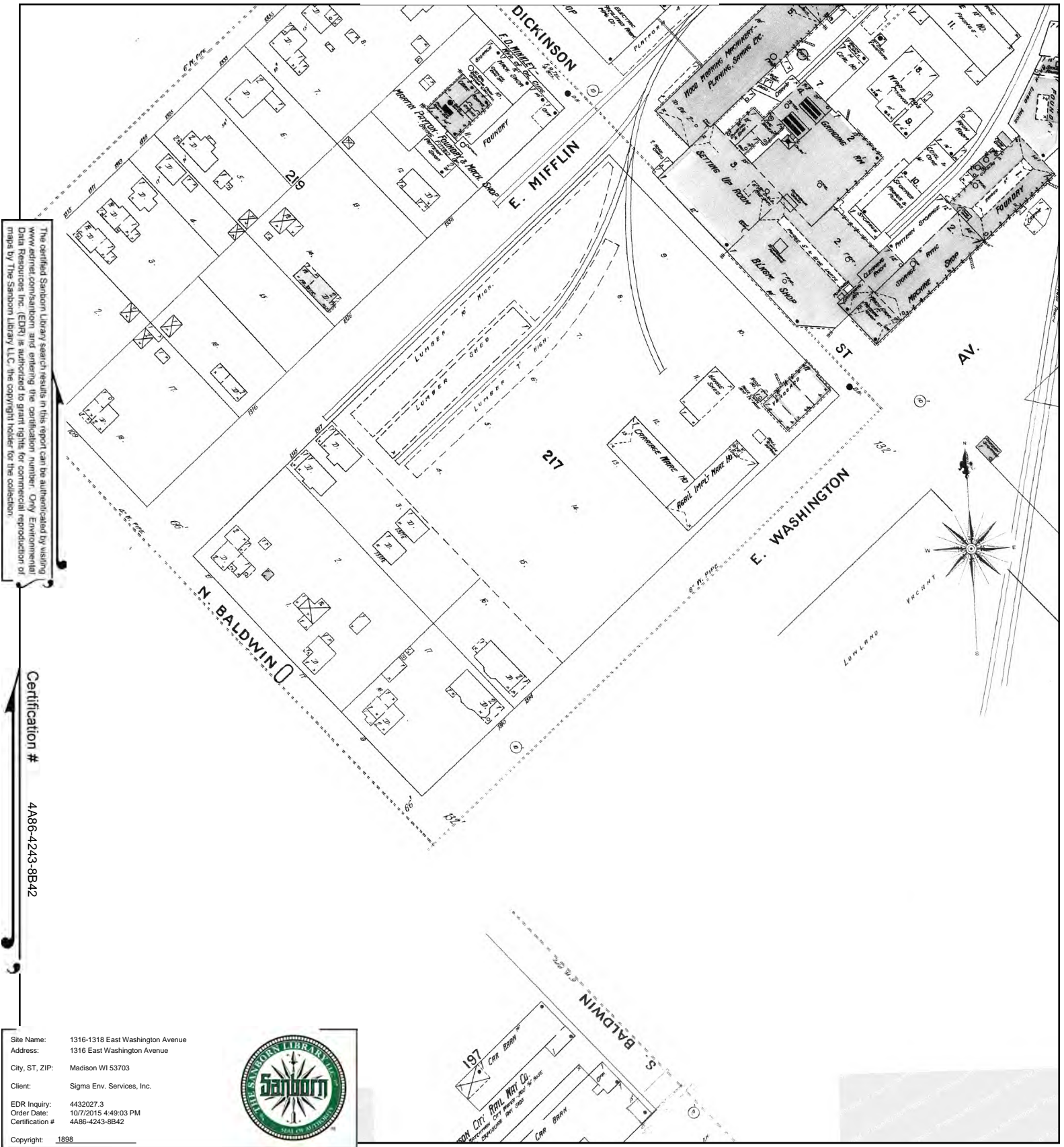
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- Volume 1, Sheet 13
- Volume 1, Sheet 17
- Volume 1, Sheet 18



# 1898 Certified Sanborn Map



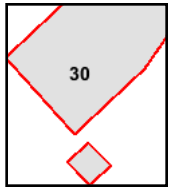
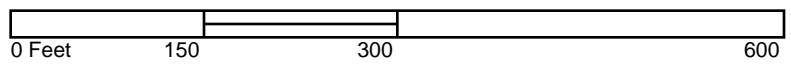
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Certification # 4A86-4243-8B42

Site Name: 1316-1318 East Washington Avenue  
 Address: 1316 East Washington Avenue  
 City, ST, ZIP: Madison WI 53703  
 Client: Sigma Env. Services, Inc.  
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 Certification # 4A86-4243-8B42  
 Copyright: 1898



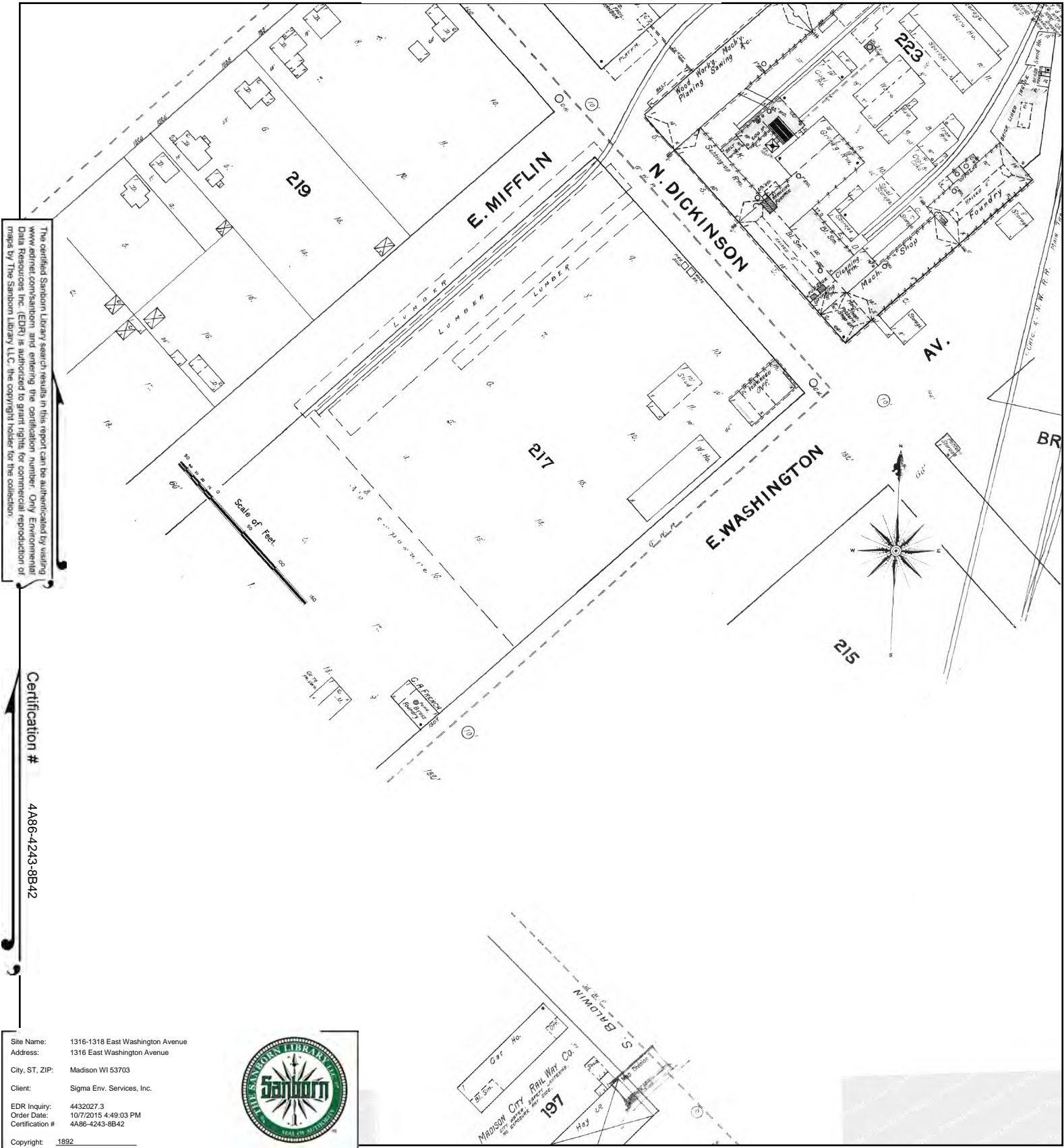
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Volume 1, Sheet 30



# 1892 Certified Sanborn Map



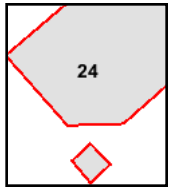
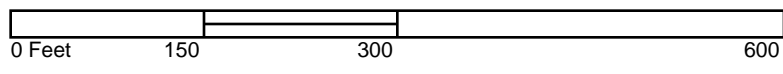
The certified Sanborn Library search results in this report can be authenticated by visiting [www.edrnet.com/sanborn](http://www.edrnet.com/sanborn) and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by The Sanborn Library LLC, the copyright holder for the collection.

Certification # 4A86-4243-8B42

Site Name: 1316-1318 East Washington Avenue  
 Address: 1316 East Washington Avenue  
 City, ST, ZIP: Madison WI 53703  
 Client: Sigma Env. Services, Inc.  
 EDR Inquiry: 4432027.3  
 Order Date: 10/7/2015 4:49:03 PM  
 Certification # 4A86-4243-8B42  
 Copyright: 1892



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Volume 1, Sheet 24



**APPENDIX G**

**Site Photographs**



Photo 1: View of the subject property from the south.



Photo 2: View of the 1326 Washington Avenue subject property parcel from the east.



Photo 3: View from the 1316/1318 Washington Avenue subject property parcel from the northwest.



Photo 4: View from the entire of the historic garage building (now fully enclosed in the 1326 Washington Avenue building).





Photo 5: View of the warehouse area in the 1326 Washington Avenue building.



Photo 6: View of the interior of the 1316/1318 Washington Avenue building.



Photo 7: View of the AST observed in the basement of the 1326 Washington Avenue building

## **APPENDIX H**

### **Resumes of Project Team**

## Profile

Ms. Trotta provides environmental consulting services for a variety of residential, commercial and industrial clients. Her experience includes implementing subsurface investigations, interpreting soil and groundwater data, performing computer analyses, and completing reports for clients and regulatory agencies. In addition, to the Phase II Environmental Site Assessment activities detailed above, Ms. Trotta is also responsible for conducting Phase I ESAs and asbestos, lead-based paint, and hazardous material assessment services. Ms. Trotta has 12 years of environmental consulting experience.

### Areas of Expertise

- Environmental Site Assessments
- Soil/Groundwater Investigations
- USEPA funded Hazardous & Petroleum Brownfield Assessments

### Education / Training

- B.S. Environmental Science, St. Norbert College – De Pere, 2001
- OSHA 40-Hour Health & Safety Training

### Registrations / Certification

- Asbestos Inspector: AI-124773
- Lead Hazard Investigator: LHI-124773

## Representative Experience

### Phase I Environmental Site Assessments

Project Manager for over 100 Phase I ESAs in Wisconsin, Indiana and Michigan. Activities completed in accordance with the ASTM requirements include the research of historical operations and state and municipal record databases in addition to site reconnaissance to evaluate business environmental risk.

### EPA Petroleum and Hazardous Assessment Fund Programs – City of Milwaukee

Project Scientist for City of Milwaukee properties participating within the USEPA Funded Petroleum and Hazardous Assessment Fund programs. Responsible for the preparation of the USEPA approved Quality Assurance Project Plan (QAPP) and assisting the City with the completion of Phase I ESA, Phase II ESA and Remedial Options development. Completed all relevant USEPA correspondence and compliance of all activities within the constraints of the grant program.

### Wisconsin Plant Recovery Initiative Assessment Monies – Wisconsin Department of Natural Resources

Project Scientist for the Wisconsin Dept. of Natural Resources properties/grantees participating in the Wisconsin Plant Recovery Initiative Assessment Monies program funded by the USEPA Petroleum and Hazardous Assessment Fund programs. Responsible for the preparation of the WDNR and USEPA approved QAPP and assisting the WDNR with the completion of Phase I ESA, Phase II ESA and Remedial Options development.

### EPA Petroleum Assessment Fund Program – City of Racine

Staff Scientist for the implementation of the USEPA Funded Petroleum Assessment Fund for the City of Racine. Responsible for the preparation of the USEPA approved QAPP and assisting the City with a community wide property search, completion of Phase I ESAs, Phase II ESAs and Remedial Options development. Completed all relevant USEPA correspondence and compliance of all activities within the constraints of the grant program.

### Hospital Expansion – Large Southeastern Wisconsin Hospital

Staff Scientist for a southeastern Wisconsin hospital due diligence investigation and remediation of four phases of renovation and construction. Responsible for various aspects of site investigation activities and remedial planning for construction activities.

### The Cornerstone Project – Mixed Use Redevelopment, Shorewood

Project Scientist for the redevelopment of a former gasoline service station and auto repair property to a mixed-use (residential/retail) development in Shorewood, Wisconsin. Coordinated and conducted and oversaw multiple phases of investigation at the property. Oversaw remedial excavations, directed the proper management of excavated soil, and oversaw the installation of a vapor barrier in conjunction with the redevelopment of the property. Coordinated confirmation groundwater monitoring necessary to obtain case closure.

### Field Services

Performs environmental drilling activities at active/former petroleum storage sites, industrial, and/or brownfields facilities. Responsible for classifying soil, installing monitoring wells and piezometers and collection of soil and groundwater samples for environmental laboratory analyses.

Provides oversight, observation, and documentation services for remediation activities including soil excavation, potassium permanganate injection and groundwater extraction.

Completion of in-situ hydraulic conductivity testing in monitoring wells to determine the hydraulic conductivity of saturated subsurface soils.

## Profile

Mr. Boness is a Senior Project Manager, responsible for the efficient and effective operation of the Sigma Geosciences Department. In this role, he has overall responsibility for identifying project and Client objectives and planning investigation and remediation strategies for soil and groundwater contaminated sites. He has greater than 25 years experience in the geological and management disciplines and has provided technical consulting services for a wide variety of municipal clients and private sector industrial and non-industrial clients.

### Areas of Expertise

- Remediation System Design
- Development of Site Closure Strategies

### Education / Training

- B.S. in Economics, University of Wisconsin-Madison, 1980
- B.S. in Geology, University of Wisconsin-Madison, 1986

### Professional Affiliations

- National Groundwater Association

### Registrations / Certification

- Professional Geologist, Wisconsin No. G-844
- OSHA 40-Hour Health & Safety Training

## Representative Experience

### Investigation and Remediation

Project Manager for a large hydrocarbon terminal project where 950,000 gallons of product was released from an aboveground storage tank system. Work activities included the development of a remedial investigation work plan, completion of a phased soil and groundwater investigation, and development of a comprehensive remedial action plan. Negotiated with the regulatory agency to control/remediate the on-site hydrocarbon source area, and addressed affected soil material using in-situ bioremediation.

Project Coordinator for a superfund landfill project in central Indiana. Soil and groundwater issues included hydrocarbon and chlorinated solvent constituents. Responsibilities included the coordination and implementation of two phases of field work, data validation and analysis, and preparation of the interim and final remedial investigation reports.

Project Coordinator of extensive pesticide investigation in northwestern Wisconsin. Non-point and site-specific soil and groundwater issues resulted in contamination of numerous shallow domestic water supply wells. Remedial technologies employed included source removal and design of a large municipal well system to supplement and/or replace the individual water supplies.

Project Manager performing environmental assessment activities at a large paper mill company in northern Wisconsin. The constituents of concern included nitrate and sulfate. Investigation techniques included the use of surface and down-hole geophysical techniques. Negotiated limited action alternatives with regulatory agency.

Project Manager for a soil and groundwater investigation involving a chlorinated solvent release in southeastern Wisconsin. A groundwater recovery and operation and maintenance program was implemented. The site is presently approaching closure status using natural attenuation as a final remedial strategy.

Client Manager of 34 hydrocarbon contamination investigation and remediation projects for a large national oil company. The project goals generally involved development of a scope-of-work that focused on obtaining site closure in an efficient and cost-effective manner. Worked with the State of Wisconsin Reimbursement Program to maximize coverage of applicable site. The remedial technologies employed included groundwater/product recovery utilizing recovery wells and trenches, vacuum-enhanced groundwater recovery, in-situ soil vapor extraction with thermal and catalytic off-gas treatment, and in-situ bioremediation.

Coordinated and designed the investigation and remediation strategy of a former 360,000 SF tannery facility planned for development.

Provided litigation support for a City of Milwaukee due diligence investigation of a former rail yard in the Menomonee Valley.

Coordinated the completion of the Menomonee Valley U.S. Environmental Protection Agency Brownfield Pilot Project Grant Program. The scope of work included developing a conceptual model of shallow and deep groundwater evaluating regional groundwater quality.

**MICRO ANALYTICAL, INC.**

11521 West North Avenue  
Milwaukee, WI 53226  
(800) 771-9820 (414) 771-0855  
Fax: (414) 771-6570

**BULK ASBESTOS ANALYTICAL REPORT**  
Utilizing PLM and Dispersion Stain Technique

Customer: Dane County Risk Management  
City County Building, Rm. 425  
210 M.L.K. Jr., Blvd  
Madison , WI 53703-3345

Report #: 163675  
Received: 28-Feb-19  
Analyzed: 07-Mar-2019

Job ID: Messner Project - Quansit Hut

Sample ID	% Asbestos	Non-Asbestos		Color	Texture
		Fibrous Components	Non-Fibrous Components		
19-1201	10% Chrysotile		90%	Brown	Floortile
19-1201 II	None Detected		100%	Black	Mastic
19-1202	10% Chrysotile		90%	Brown	Floortile
19-1202 II	None Detected		100%	Black	Mastic
19-1203	10% Chrysotile		90%	Brown	Floortile
19-1204	None Detected		100%	White	Floortile
19-1204 II	None Detected		100%	Tan	Mastic
19-1204 III	None Detected		100%	Black	Mastic
19-1205	None Detected	90% Cellulose	10%	White	Compressed
19-1206	None Detected		100%	Black	Floortile
19-1206 II	None Detected		100%	Tan	Mastic
19-1206 III	None Detected		100%	Black	Mastic
19-1207	None Detected		100%	Tan	Floortile
19-1207 II	None Detected		100%	Tan	Mastic
19-1208	None Detected		100%	Tan	Floortile
19-1208 II	None Detected		100%	Tan	Mastic
19-1209	None Detected		100%	Tan	Floortile
19-1209 II	None Detected		100%	Tan	Mastic
19-1210	None Detected		100%	Gray	Resinous

Analyzed By: Jon Yakish

Test method: EPA/600/R-93/116 and EPA/600/M4-82-020. Quantitation is done by Calibrated Visual Estimation which has an accepted Relative Percent Difference of 35. This report may not be used to claim product endorsement by NVLAP or any agency of the U.S. Government. This test report relates only to the items tested and shall not be reproduced except in full, without the written approval of MICRO ANALYTICAL, INC.

# Analytical Laboratory Report

May 13, 2016

Report ID: 9599091

SCOTT TEUSCHER  
DANE COUNTY RISK MANAGEMENT  
RM 425-CCB  
210 MARTIN LUTHER KING JR. BLVD  
MADISON WI 53709

Company Number: 6217

## MESSNER PROJECT

Date Collected: 3/14/2016  
Date Received: 4/1/2016  
Date Reported: 5/13/2016

Analyst: **JOHN KNIGHT**  
John.Knight@slh.wisc.edu

Reviewer: **LEROY DOBSON**  
LeRoy.Dobson@slh.wisc.edu

The report was reviewed and authorized by the individuals listed above.

If you have any questions regarding this report please feel free to contact the laboratory via email (as listed above) or via telephone at 800-446-0403

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720660</b>	WHITE TILE / YELLOW MASTIC	
201-SHOWROOM ENTRY WHITEL TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin. ///	
	(Analysis Date: 5/9/16)	
<b>1720661</b>	DK BEIGE TILE / BLACK MASTIC	
202-SHOWROOM DARKER TILE/MAT		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Dk BEIGE TILE: mineral grain & resin binder. / BLACK MASTIC: resin.	
<b>1720662</b>	LT BEIGE TILE / BLACK MASTIC	
203-LIGHT TILE NEAR BATHROOM		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Lt BEIGE TILE: mineral grain & resin binder. / BLACK MASTIC: resin.	
<b>1720663</b>	DK BEIGE TILE / BLACK MASTIC	
204-DARKER TILE BATH THRESH		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. /	
	Dk BEIGE TILE: mineral grain & resin binder.	
<b>1720664</b>	BEIGE TILE / YELLOW MASTIC	
205-BATH TILE THRESHOLD		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BEIGE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720665</b>	BLACK VINYL / BROWN GLUE	
206-BLACK VINYL BASE & MASTIC		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BLACK VINYL: mineral grain & resin binder. / BROWN GLUE: resin.	
<b>1720666</b>	BROWN FIBROUS / WHITE PAINT	
207-BATH CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN FIBROUS: 100% plant fiber. / WHITE PAINT: resin.	
<b>1720667</b>	NO SAMPLE RECEIVED	
208-WALL CEMENT MASTIC		
No Analysis	SEE COMMENTS	
COMMENTS:	NO SAMPLE RECEIVED.	



# Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720668</b>	GRAY GRANULAR	
<b>209-GLASS BLACK MASTIC</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720669</b>	GRAY TILE / BLACK MASTIC	
<b>210-SHOWROOM DARKER TILE</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / GRAY TILE: mineral grain & resin binder.	
<b>1720670</b>	WHITE TILE/BLACK MASTIC/YELLOW MASTIC	
<b>211-SHOWROOM TILE/MASTIC LIGHT</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720671</b>	GRAY TILE / BLACK MASTIC	
<b>212-SHOWROOM DARKER TILE</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / GRAY TILE: mineral grain & resin binder.	
<b>1720672</b>	WHITE TILE / BLACK MASTIC	
<b>213-SHOWROOM TILE MASTIC LIGHT</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE TILE: mineral grain & resin binder.	
<b>1720673</b>	WHITE GRANULAR / PAINT	
<b>214-SHOWROOM PAINT SCRATCH</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE GRANULAR: mineral grain matrix. / PAINT: resin.	
<b>1720674</b>	GRAY GRANULAR	
<b>215-BRICK MORTAR AND MASTIC</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720675</b>	BLACK RESIN	
<b>216-BLACK PIPE WRAP</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a resin binder.	
<b>1720676</b>	DK GRAY GRANULAR	
<b>217-ENTRY WINDOW GLAZE</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a mineral grain matrix.	
<b>1720677</b>	GREEN TILE / BLACK MASTIC	
<b>218-ENTRY GREEN TILE MASTIC</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	GREEN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin.	
<b>1720678</b>	BROWN CARPET & PILE DIRT	
<b>219-ENTRY CARPET/MASTIC</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN CARPET: 90% synthetic fiber & binder. / PILE DIRT: 10% plant fiber & other particulate.	
<b>1720679</b>	WHITE GRANULAR	
<b>220-ENTRY WALL MATERIAL</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720680</b>	TAN GRANULAR	
<b>221-WINDOW GLAZE</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720681</b>	GRAY-BROWN TILE/YELLOW MASTIC	
<b>222-CENTER BROWN FLOOR TILE</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY-BROWN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720682</b>	GRAY TILE / YELLOW MASTIC	
<b>223-CENTER LIGHT FLOOR</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720683</b>	ORANGE-TAN TILE / YELLOW MASTIC	
224-ORNAGE TILE/MASTIC		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	ORANGE-TAN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720684</b>	ORANGE-TAN TILE / YELLOW MASTIC	
225-ORANGE TILE NEAR WALL		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	ORANGE-TAN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720685</b>	WHITE GRANULAR	
226-DOCK WINDOW GLAZE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720686</b>	BEIGE GRANULAR	
227-DOCK WINDOW GLAZE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720687</b>	BROWN VINYL / BROWN MASTIC	
228-BROWN STAIR TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN VINYL: mineral grain & resin binder. / BROWN MASTIC: resin.	
<b>1720688</b>	TAN TILE/BLACK MASTIC/BLACK FELT	
229-TAN TILE 2ND FLOOR		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	TAN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin. / BLACK FELT: 90% plant fiber & tar.	
<b>1720689</b>	WHITE GRANULAR/RED PAINT	
230-2ND FLOOR WALL COAT		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE GRANULAR: mineral grain matrix. / RED PAINT: resin.	
<b>1720690</b>	BROWN GRANULAR	
231-BROWN WALL SCRATCH/2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720691</b>	GRAY-WHITE GRANULAR/YELLOW RESIN	
232-FLOORING SURFACE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY-WHITE GRANULAR: mineral grain matrix. / YELLOW RESIN: resin.	
<b>1720692</b>	TAN TILE/BLACK MASTIC/BLACK FELT	
233-TAN TILE & MASTIC		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	TAN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin. / BLACK FELT: 90% plant fiber & tar resin.	
<b>1720693</b>	LT GRAY GRANULAR	
234-2ND FLOOR WINDOW GLAZE		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a mineral grain matrix.	
<b>1720694</b>	GRAY GRANULAR	
235-WALL SURFACE 2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720695</b>	BLACK GRANULAR / MASTIC	
236-BRICK MORTAR AND MASTIC		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / BLACK GRANULAR: mineral grain matrix.	
<b>1720696</b>	LT GRAY GRANULAR/GRAY GRANULAR	
237-E WALL SURFACE FLOOR 2		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Lt GRAY GRANULAR: mineral grain matrix. / GRAY GRANULAR: mineral grain matrix.	
<b>1720697</b>	GRAY FIBROUS / WHITE PAINT	
238-NEW 2X2 CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY FIBROUS: 60% plant fiber & 40% glass mineral wool. / WHITE PAINT: resin.	

# Analytical Results

LAB NUMBER		
FIELD NUMBER	DESCRIPTION	AIR VOLUME
<b>1720698</b>	WHITE VINYL / BLACK MASTIC	
239-2ND FLOOR BATH TILE		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE VINYL: mineral grain & resin binder.	
<b>1720699</b>	GRAY CARPET/BLACK MASTIC/PILE DIRT	
240-CARPET/MASTIC CARPET		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY CARPET: 100% synthetic fiber. / BLACK MASTIC: tar resin. / PILE DUST: miscellaneous mineral grains.	
<b>1720700</b>	BLACK VINYL/PAPER BACKING/GLUE	
241-BLACK VINYL BASE 2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BLACK VINYL: resin. / PAPER BACKING: 100% plant fiber. / GLUE: resin.	
<b>1720701</b>	BLACK TAR RESIN	
242-WALL SURFACE COAT		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a tar resin.	
<b>1720702</b>	GRAY FIBROUS / WHITE PAINT	
243-LARGE CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY FIBROUS: 60% plant fiber, 20% glass fiber, & perlite. / WHITE PAINT: resin.	
<b>1720703</b>	BLACK RUBBER MEMBRANE	
244-ROOF WALL TAR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Resin.	
<b>1720704</b>	BLACK RESIN	
245-ROOF PIPE TAR		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, & resin.	

## Analytical Results

LAB NUMBER		
FIELD NUMBER	DESCRIPTION	AIR VOLUME
<b>1720705</b>	BLACK RESIN	
<b>246-PARAPET JOINT PATCH</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, 20% plant fiber, & tar resin.	
<b>1720706</b>	BLACK RESIN	
<b>247-PARAPET JOINT PATCH</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, & tar resin.	
<b>1720707</b>	BLACK RESIN	
<b>248-BLACK PATCH ON PARAPET CROWN</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, 10% glass fiber, & tar resin.	
<b>1720708</b>	BLACK RESIN	
<b>249-ROOF RUBBER PATCH</b>		
Bulk Asbestos		NO ASBESTOS DETECTED
COMMENTS:	Resin.	

Displayed values on report have been rounded; however all calculations are performed using raw, unrounded intermediate results. Please contact the laboratory if you have any questions regarding our result calculation or rounding. All samples were received by the laboratory in acceptable condition unless otherwise noted.

## **Analytical Methodology**

### **BULK ASBESTOS BY PLM, METHOD WA001blk:**

The analytic method used for analysis was WOHL Method WA001blk.12 BULK ASBESTOS BY PLM. If Point counting was done then WOHL method WA002blk.10 was used. This method is based upon EPA-600/M4-82-020, "Interim Method for the determination of Asbestos in Bulk Insulation Samples", 40 CFR, Part 763, Subpart E, Appendix E, and associated EPA clarifications. Based upon this method, sample results are reported for each layer analyzed. Samples which contain >1% asbestos are regulated as asbestos containing materials.

Samples are initially examined with a low power stereomicroscope. An initial estimation of the type/percent asbestos (if present) is made. A small portion of each sample (or of each layer) is mounted on a glass slide in a few drops of Cargill high dispersion RI oil. The mounted sample is then analyzed using a Polarized Light Microscope at magnifications ranging between 20X-400X. Positive identification of any asbestiform minerals present is done using a 10X Dispersion Staining objective, and measuring other specific identifying optical properties. If an asbestiform mineral is detected in a sample, its' quantity is determined either by calibrated visual estimation or by Point Counting. There are six regulated asbestos minerals which may be present. These varieties are: Chrysotile, Amosite, Tremolite, Actinolite, Crocidolite and Anthophyllite.

If the final value = ND then no asbestiform minerals were detected in the sample.

### **Instrumentation:**

The instruments used may include the following: Nikon SMZ-1B low power stereomicroscope; Nikon Optiphot polarizing light microscope equipped with a 10x dispersion staining objective, 2x, 10x and 20x pol objectives.

Quantitation Limit: 1% asbestos by visual estimation and 0.25% by 400 point count.

Quality control performed as required by AIHA (American Industrial Hygiene Association). Samples are retained for a period of 3 years before disposed of by laboratory unless prior arrangements have been made.

## **End of Analytical Report**

The results in this report apply only to the samples, specifically listed above, tested at the  
Wisconsin Occupational Health Laboratory,  
2601 Agriculture Drive,  
Madison WI 53718  
608-224-6210.

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**Environmental Management Consulting, Inc.**

**PRELIMINARY  
NESHAP'S PRE-DEMOLITION ASBESTOS AND LEAD INSPECTION**

**1314 E. WASHINGTON AVENUE  
MADISON, WI 53704**

**INSPECTION DATE: JULY 3, 2019  
REPORT DATE: JULY 11, 2019  
EMC PROJECT NUMBER: 190446-01**



**PREPARED FOR:**

**MR. RAYMOND TIERNEY  
SCS ENGINEERS  
2830 DAIRY DRIVE  
MADISON, WI 53718**

**PREPARED BY:**

**MR. JEREMY R. NOEGEL  
ENVIRONMENTAL MANAGEMENT CONSULTING, INC.  
W7748 COUNTY HIGHWAY V  
LAKE MILLS, WI 53551**

*Securing Safer Futures...*



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**SECTION I**

**ASBESTOS SURVEY & SAMPLE RESULTS**

## **NESHAP'S ASBESTOS PRE-DEMOLITION INSPECTION**

1314 E. WASHINGTON AVENUE  
MADISON, WI 53704

Environmental Management Consulting, Inc. (EMC) was contacted by Mr. Tierney of SCS Engineers to conduct a pre-demolition asbestos inspection at the above mentioned property. This inspection is intended to comply with NESHAPS regulations.

Mr. Jeremy R. Noegel of EMC inspected the subject property on July 3, 2019. The building was inspected for the presence of asbestos containing building materials. Each homogeneous building material suspected of containing asbestos was sampled or assumed to contain asbestos. All bulk samples that were extracted were submitted to a NVLAP certified laboratory for analysis for the presence of asbestos by Polarized Light Microscopy (PLM).

The following areas were inspected: Entire Building – This was a non-invasive inspection. Two (2) bedrooms on the 1<sup>st</sup> floor were locked. Keys would not access rooms. Further investigation is recommended once the building is unoccupied.

The following is a summary of the findings of this inspection.

### **FRIABLE ASBESTOS CONTAINING MATERIAL (ACM) / REGULATED ASBESTOS CONTAINING MATERIAL (RACM)**

The following is a summary of materials identified by Polarized Light Microscopy, EPA Method: 600/R-93/116, or assumed to contain asbestos that were assessed as friable or would become friable (Regulated Asbestos Containing Material) during the demolition of the building.

#### **PIPE INSULATION – TA5**

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Basement	224 LF	60% Chrysotile
Boiler Room – Basement	7 LF	60% Chrysotile



## CHIMNEY PATCH - TCP

Room/Location  
Boiler Room

Quantity  
1 Sq. Ft.

Asbestos Status  
4% Chrysotile



## EXTERIOR STAIRS CAULK (WHITE)

Room/Location  
Front Stairs

Quantity  
8 LF

Asbestos Status  
3% Chrysotile



The above summarized materials must be properly removed from the building and disposed of prior to demolition

## CATEGORY I & CATEGORY II, NON-FRIABLE ACM

The following is a summary of materials identified or assumed to contain asbestos that were assessed as non-friable materials.

### 12" FLOOR TILE (WHITE) & ADHESIVES – MF12W

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Foyer/Stairs (South)	70 Sq. Ft.	Assumed

*No Photo Taken*

### VINYL (WOOD FLOOR APPEARANCE) & ADHESIVES - MFLN

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
#2 Apartment South (Restroom)	36 Sq. Ft.	Assumed

*No Photo Taken*

### 9" FLOOR TILE & ADHESIVES – MF9

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Foyer/Stairs (South)	70 Sq. Ft. – Under 12" Floor Tile	Assumed
Fire Escape Stairs (2 <sup>nd</sup> -3 <sup>rd</sup> Floor)	12 Sq. Ft.	Assumed

*No Photo Taken*

### 4" VINYL BASEBOARD (BROWN) & ADHESIVES - MV4N

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Apartment #2 South – Kitchen	8 LF	Assumed
Apartment #3 North - Restroom	14 LF	Assumed

*No Photo Taken*

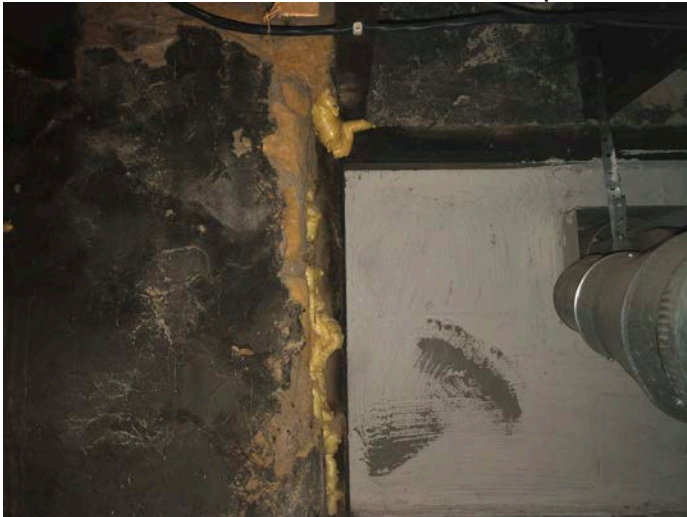
**INTERIOR WALL/FLOOR CAULK (WHITE) – MCLKI(1)**

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Foyer/Stairs – South	20 LF	Assumed
Apartment #2 - South Restroom	6 LF	Assumed
Boiler Room	7 LF	Assumed
North Stairs	20 LF	Assumed
Apartment #2 – North	30 LF	Assumed
Apartment #3 – Restroom	10 LF	Assumed



**FOAM INSULATION - MFI**

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Basement	8 Sq. Ft.	Assumed



## EXTERIOR GRAY WINDOW/DOOR CAULK – MCLKE(1)

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Exterior	18 – 3'x6' Windows	
Exterior	2 – 4'x6' Windows	
Exterior	5 – 2'x5' Windows	
Exterior	4 – Doors	



## ROOF SHINGLES & SUBLAYERS/PATCHES - MRS

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Roof	1,600 Sq. Ft.	Assumed

*No Photo Taken*

At the time of inspection, the above stated materials were assessed in a good condition. Non-friable ACM does not have to be removed prior to a normal demolition if it is not in poor condition prior to starting the demolition and is not likely to become friable during demolition activities. The resulting wastes can be handled as demolition material; contact the accepting landfill. If the demolition materials will be recycled, all ACM must be removed prior to the demolition. Furthermore, if the ACM becomes crumbled, pulverized or reduced to powder as a result of demolition practices, all materials must be treated as RACM including those demolition materials co-mingled with the RACM.

If this building is to be burned as a practice fire burn by the fire department, all non-friable ACM would have to be removed prior to burning.

## REMAINING NON-FRIABLE MATERIALS

Unless otherwise indicated, all caulking, sealants, glazing compounds, gaskets, asphalt roofing materials, fillers, mastics and miscellaneous adhesives are assumed to contain asbestos and were assessed to be non-friable ACM as defined in NR 447. At the time of this inspection these materials were not in poor condition and were not friable. If work methods cause non-friable ACM to become friable, the materials must be treated as RACM.

## NON-ASBESTOS MATERIALS

The following is a summary of materials which have been sampled by Polarized Light Microscopy, EPA Method: 600/R-93/116 and found not to contain asbestos.

<u>Material Code</u>	<u>Material Description</u>
MWF	Wood Floor Paper – Vapor Barrier



<u>Material Code</u>	<u>Material Description</u>
MDW	Drywall & Joint Compound





Material	Material
<u>Code</u>	<u>Description</u>
SP1	Plaster



Material	Material
<u>Code</u>	<u>Description</u>
STT	Troweled on Texture Material on Foam



Material	Material
<u>Code</u>	<u>Description</u>
MSCT1	1'x1' Ceiling Tile (Smooth)

*No Photo Taken*

<u>Material Code</u>	<u>Material Description</u>
SPE	Exterior Texture Material with Tar Layer



<u>Material Code</u>	<u>Material Description</u>
MPP	Stone Wall Patch Coating



<u>Material Code</u>	<u>Material Description</u>
MCTM(1)	Ceramic Floor Tile Grout & Adhesives



<u>Material Code</u>	<u>Material Description</u>
MFLYT	Sheet Floor (Gray & Tan) & Adhesives



No work is necessary for these materials.

### **ADDITIONAL REQUIREMENTS**

Prior to the demolition or burning of any structure, a “Notification of Demolition and/or Renovation and Application for Exemption” (Form 4500-113) must be submitted to the Wisconsin Department of Natural Resources. Residential property as defined by DNR Chapter 447 may be exempt from notification requirements. If asbestos removal is necessary a copy of the notification must be submitted to the Wisconsin Department of Health Services. The owner/operator is responsible for submitting all notifications.

Removal of any asbestos containing material must be completed by persons certified by the Department of Health Services.

If during the course of demolition, suspect materials are found that have not been identified or sampled, work must stop and a State of Wisconsin certified Asbestos Building Inspector must be contacted to assess the material. There are inaccessible areas within the building that could not be accessed during the inspection, which could result in additional suspect material discovered.

#### Vermiculite Insulation

At the date of this inspection/report, OSHA and the DNR recognize the PLM method for asbestos testing of vermiculite insulation. Therefore if the vermiculite insulation tests negative for asbestos by PLM, no further actions are necessary.

However, when applicable, the Wisconsin Department of Health Services (DHS) 159 regulations may still apply. These regulations state:

“Vermiculite insulation is assumed to be asbestos-containing material unless proven otherwise in accordance with EPA recommended sampling and analysis protocols specific to vermiculite insulation. As of the publication of this chapter, the EPA has not published official guidance for sampling and testing protocols to test for the presence or absence of asbestos in vermiculite insulation. When recommended protocols are published, vermiculite insulation may be sampled and analyzed using the EPA recommended protocols to determine any asbestos content. Until such time, vermiculite insulation must be assumed to contain asbestos and be treated as an asbestos-containing material under DHS 159.”

Exceptions to asbestos certification include an individual who operates a motorized vehicle to demolish or remove a facility when asbestos-containing material is allowed to remain in the building during demolition. All other works in the demolition work site must have certification complying with DHS 159.05. Demolition contractors shall follow all DHS regulations.

All bulk sampling information, including a bulk sample chart and the laboratory results, are attached to this report. Please contact the EMC office if you have any questions.

A handwritten signature in black ink that reads "Jeremy Noegel". The signature is written in a cursive style with a large, looped initial "J".

Jeremy R. Noegel  
Certification No. All-105450

## **ASBESTOS BULK SAMPLE RESULTS**

## ASBESTOS BULK SAMPLE CHART

Sampling Date: July 3, 2019  
 Sample Location: 1314 E. Washington  
 Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
 Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
001	MWF	Wood Floor Vapor Barrier Paper	Basement	Northwest	None Detected
002	MWF	Wood Floor Vapor Barrier Paper	Basement	Northwest	None Detected
003	MDW	Drywall & Joint Compound	Boiler Room	Southwest	None Detected
004	MDW	Drywall & Joint Compound	South Stairs	By Landing	None Detected
005	SP1	Plaster	1st North Stairs	Northwest	None Detected
006	SP1	Plaster	#1 Kitchen/LR	Under Window - East	None Detected
007	SP1	Plaster	#2 - North Stairs to Basement	In Kitchen	None Detected
008	SP1	Plaster	2nd North Stairs	Northeast	None Detected
009	SP1	Plaster	2nd North Stairs	Southwest	None Detected
010	STT	Trowelled on Texture Material on Foam	Basement	Northeast	None Detected
011	STT	Trowelled on Texture Material on Foam	Basement	Middle - East	None Detected
012	STT	Trowelled on Texture Material on Foam	Basement	Southeast	None Detected
013	MPP	Stone Wall Patch - Coating	Basement	Middle - East	None Detected
014	MPP	Stone Wall Patch - Coating	Basement	Northeast	None Detected
015	MPP	Stone Wall Patch - Coating	Basement	Southeast	None Detected
016	MCTM(1)	Ceramic Floor Tile Grout & Adhesives	North Stairs	By Basement	None Detected
017	MCTM(1)	Ceramic Floor Tile Grout & Adhesives	North Stairs	By Basement	None Detected
018	TA5	Pipe Insulation	Basement	North	60% Chrysotile
019	TCP	Chimney Patch	Boiler Room	On Chimney	4% Chrysotile
020	MFLYT	Sheet Floor (Gray & Tan) & Adhesives	North Stairs	2nd - Northwest	None Detected
021	MFLYT	Sheet Floor (Gray & Tan) & Adhesives	North Stairs	3rd - Southwest	None Detected
022	SPE	Exterior Texture Material with Tar Layer	Exterior	On Stairs	None Detected
023	SPE	Exterior Texture Material with Tar Layer	Exterior	On Stairs	None Detected
024	SPE	Exterior Texture Material with Tar Layer	Exterior	On Stairs	None Detected
025	MCLKE(2)	Exterior Concrete Stairs Caulk (White)	Exterior	On Stairs	3% Chrysotile



Environmental Management Consulting, Inc.

## ASBESTOS BULK SAMPLE CHART

Sampling Date: July 3, 2019  
Sample Location: 1314 E. Washington  
Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
026	MCLKE(2)	Exterior Concrete Stairs Caulk (White)	Exterior	On Stairs	3% Chrysotile
027	MSCT1	1'x1' Ceiling Tile (Smooth)	#2 South	Kitchen	None Detected
028	MSCT1	1'x1' Ceiling Tile (Smooth)	#2 South	Kitchen	None Detected



Environmental Management Consulting, Inc.

W7748 County Highway V, Lake Mills, WI ■ Phone: 920.648.6343 Fax: 920.648.4370 ■ [www.emc-wi.com](http://www.emc-wi.com)



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917511  
**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
001	Wood floor ... barrier paper	None Detected	90% Cellulose	10% Other	Red, Brown Fibrous Homogeneous
71917511PLM_1					Teased, Ashed
002	Wood floor ... barrier paper	None Detected	90% Cellulose	10% Other	Red, Brown Fibrous Homogeneous
71917511PLM_2					Teased, Ashed
003 - A	Drywall & joint compound	None Detected	10% Cellulose	90% Other	Brown, White Non Fibrous Homogeneous
71917511PLM_3	<i>drywall</i>				Teased
003 - B	Drywall & joint compound	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_29	<i>joint compound</i>				Teased
003 - C	Drywall & joint compound	None Detected	10% Cellulose	90% Other	Brown, White Non Fibrous Heterogeneous
71917511PLM_30	<i>composite</i>				Teased
004 - A	Drywall & joint compound	None Detected	10% Cellulose	90% Other	Brown, White Non Fibrous Homogeneous
71917511PLM_4	<i>drywall</i>				Teased
004 - B	Drywall & joint compound	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_31	<i>joint compound</i>				Teased
004 - C	Drywall & joint compound	None Detected	10% Cellulose	90% Other	Brown, White Non Fibrous Heterogeneous
71917511PLM_32	<i>composite</i>				Teased

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Byron Stroble (48)

Analyst

Approved Signatory





# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
App.E



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Consulting, Inc.  
W7748 Cnty Hwy V  
Lake Mills, WI 53551

**Attn:** Jeremy Noegel

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**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
005 - A	Plaster	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_5	finish				Teased
005 - B	Plaster	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_33	base				Crushed
006 - A	Plaster	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_6	finish				Teased
006 - B	Plaster	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_34	base				Crushed
007 - A	Plaster	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_7	finish				Teased
007 - B	Plaster	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_35	base				Crushed
008 - A	Plaster	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_8	finish				Teased
008 - B	Plaster	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_36	base				Crushed

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Byron Stroble (48)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917511  
**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
009 - A	Plaster	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_9	finish				Teased
009 - B	Plaster	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_37	base				Crushed
010	Trowelled on texture material on foam	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_10	ceramic tile				Crushed
011	Trowelled on texture material on foam	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_11					Crushed
012	Trowelled on texture material on foam	None Detected		100% Other	White Non Fibrous Homogeneous
71917511PLM_12					Crushed
013	Stone wall ... coating	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917511PLM_13					Crushed
014	Stone wall ... coating	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917511PLM_14					Crushed
015	Stone wall ... coating	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917511PLM_15					Crushed

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# Bulk Asbestos Analysis

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 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
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**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917511  
**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
016 - A	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_16	ceramic tile				Crushed
016 - B	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_49	grout				Crushed
016 - C	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_50	mortar				Crushed
016 - D	Ceramic floor tile grout & adh	None Detected		100% Other	Yellow Non Fibrous Homogeneous
71917511PLM_51	adhesive				Dissolved
017 - A	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_17	ceramic tile				Crushed
017 - B	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_46	grout				Crushed
017 - C	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_47	mortar				Crushed
017 - D	Ceramic floor tile grout & adh	None Detected		100% Other	Yellow Non Fibrous Homogeneous
71917511PLM_48	adhesive				Dissolved

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# Bulk Asbestos Analysis

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 App.E



**Customer:** Environmental Management  
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 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917511  
**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
018	Pipe insulation	60% Chrysotile	30% Cellulose	10% Other	Gray Fibrous Homogeneous
71917511PLM_18					Teased
019	Chimney patch	4% Chrysotile		96% Other	Gray Non Fibrous Homogeneous
71917511PLM_19					Crushed
020 - A	Sheet floor (gray & tan) & adh	None Detected	30% Cellulose	70% Other	Gray Non Fibrous Homogeneous
71917511PLM_20	vinyl				Teased
020 - B	Sheet floor (gray & tan) & adh	None Detected		100% Other	White, Yellow Non Fibrous Heterogeneous
71917511PLM_41	adhesive & leveling compound				Dissolved
021 - A	Sheet floor (gray & tan) & adh	None Detected	30% Cellulose	70% Other	Gray Non Fibrous Homogeneous
71917511PLM_21	vinyl				Teased
021 - B	Sheet floor (gray & tan) & adh	None Detected		100% Other	White, Yellow Non Fibrous Heterogeneous
71917511PLM_42	adhesive & leveling compound				Dissolved
022 - A	Exterior texture material with tar layer	None Detected	40% Cellulose	60% Other	Black Non Fibrous Homogeneous
71917511PLM_22	tar				Dissolved
022 - B	Exterior texture material with tar layer	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_43	concrete				Crushed

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Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917511  
**Analysis ID:** 71917511\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/6/2019

**Project:** SCS - Engineerr 1314 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
023 - A	Exterior texture material with tar layer	None Detected	40% Cellulose	60% Other	Black Non Fibrous Homogeneous
71917511PLM_23	tar				Dissolved
023 - B	Exterior texture material with tar layer	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_44	concrete				Crushed
024 - A	Exterior texture material with tar layer	None Detected	40% Cellulose	60% Other	Black Non Fibrous Homogeneous
71917511PLM_24	tar				Dissolved
024 - B	Exterior texture material with tar layer	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917511PLM_45	concrete				Crushed
025	Exterior concrete stairs caulk (white)	3% Chrysotile		97% Other	Gray Non Fibrous Homogeneous
71917511PLM_25					Dissolved
026	Exterior concrete stairs caulk (white)	3% Chrysotile		97% Other	Gray Non Fibrous Homogeneous
71917511PLM_26					Dissolved
027	1'x1' C.T. (smooth)	None Detected	90% Cellulose	10% Other	Brown Fibrous Homogeneous
71917511PLM_27					Teased
028	1'x1' C.T. (smooth)	None Detected	90% Cellulose	10% Other	Brown Fibrous Homogeneous
71917511PLM_28					Teased

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Byron Stroble (48)

Analyst

Approved Signatory

Lab Order ID:

71917511



Environmental Management Consulting, Inc.

E.M.C., Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
920-648-6343

Scientific Analytical Institute  
4604 Dundas Drive  
Greensboro, NC 27407  
877-292-3888



EMC Contact: <u>Jeremy Noegel</u>	<b>Test Type</b>	<b>Turnaround Time</b>	
Email : <u>emc@emc-wi.com</u>	<input checked="" type="checkbox"/> PLM	12 Hours <input type="checkbox"/>	120 Hours <input type="checkbox"/>
Sample Location: <u>1314 E Washington</u>	Point Count <input type="checkbox"/>	24 Hours <input checked="" type="checkbox"/>	144+ Hours <input type="checkbox"/>
Sample Date: <u>7-3-19</u>	PCM <input type="checkbox"/>	48 Hours <input type="checkbox"/>	
Sampling Personnel: <u>JRW</u>	TEM <input type="checkbox"/>	72 Hours <input type="checkbox"/>	
Inspector Number: <u>ATI 105450</u>	Lead <input type="checkbox"/>	96 Hours <input type="checkbox"/>	
Project Name/#: <u>SCS-Engineers 1314 E. Washington 190446-01</u>			

Sample Number	Homo Code	SR/JC	Enter Into Laboratory "Sample Description" Field			Lab Results
			Material Description	Room	Specific Location or Volume/Area	
001	MWF	<input type="checkbox"/>	wood floor w/spot	basement	N.W	
002	↓	<input type="checkbox"/>	barrier paper	↓	↓	
003	MOW	<input checked="" type="checkbox"/>	dry wall +	Basement	Si.W	
004	↓	<input checked="" type="checkbox"/>	joint compound	North stairs	by landing	
005	SPI	<input type="checkbox"/>	plaster	1st North stairs	N.W	
006	↓	<input type="checkbox"/>	↓	#1 Kitchen	under window	East
007	↓	<input type="checkbox"/>	↓	#2 North	in kitchen	
008	↓	<input type="checkbox"/>	↓	stairs to basement	N.E	
009	↓	<input type="checkbox"/>	↓	1st North stairs	Si.W	
010	STT	<input type="checkbox"/>	trawelled on	Basement	N.E	
011	↓	<input type="checkbox"/>	texture material	↓	middle - East	
012	↓	<input type="checkbox"/>	on foam	↓	Si.E.	
013	MPP	<input type="checkbox"/>	stone wall patch	Basement	middle - East	Accepted <input checked="" type="checkbox"/>
014	↓	<input type="checkbox"/>	patch coating	↓	N.E	
015	↓	<input type="checkbox"/>	↓	↓	Si.E	Rejected <input type="checkbox"/>
016	MCMCI	<input type="checkbox"/>	ceramic floor	North stairs	by basement	
017	↓	<input type="checkbox"/>	tile grout + alk	↓	↓	
018	TAS	<input type="checkbox"/>	pipe insulation	Basement	North	
019	TCP	<input type="checkbox"/>	chimney patch	Basement	on chimney	
020	MFLYT	<input type="checkbox"/>	sheet floor (grey)	North stairs	2nd - N.W	

Total # of Samples 28

Relinquished by	Date/Time	Received by	Date/Time
<u>Jeremy Noegel</u>	<u>7-3-19</u>	<u>N. Francis</u>	<u>7/5 10:30 AM</u>

Please Email To:

- bfreeman@emc-wi.com
- jrbushman@emc-wi.com
- jjozwiakowski@emc-wi.com
- nbateson@emc-wi.com
- proche@emc-wi.com
- jschneider@emc-wi.com
- rhaveman@emc-wi.com
- jnoegel@emc-wi.com
- mfreeman@emc-wi.com
- lwinslow@emc-wi.com
- tbushman@emc-wi.com
- cmertens@emc-wi.com
- emc@emc-wi.com

Page 1 of 2

Lab Order ID:

71917511



Environmental Management Consulting, Inc.

E.M.C., Inc.  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 920-648-6343

Scientific Analytical Institute  
 4604 Dundas Drive  
 Greensboro, NC 27407  
 877-292-3888



EMC Contact:	Test Type	Turnaround Time		
Email : emc@emc-wi.com	PLM <input type="checkbox"/>	12 Hours <input type="checkbox"/>	120 Hours <input type="checkbox"/>	
Sample Location:	Point Count <input type="checkbox"/>	24 Hours <input type="checkbox"/>	144 <sup>+</sup> Hours <input type="checkbox"/>	
Sample Date:	PCM <input type="checkbox"/>	48 Hours <input type="checkbox"/>		
Sampling Personnel:	TEM <input type="checkbox"/>	72 Hours <input type="checkbox"/>		
Inspector Number:	Lead <input type="checkbox"/>	96 Hours <input type="checkbox"/>		
Project Name/#:				

Sample Number	Homo Code	SR/JC	Enter Into Laboratory "Sample Description" Field			Lab Results
			Material Description	Room	Specific Location or Volume/Area	
021	MPLYT	<input type="checkbox"/>	↓	North stairs	3rd - S.W	
022	SPE	<input type="checkbox"/>	exterior texture	exterior	on stairs	
023	↓	<input type="checkbox"/>	material with	↓	↓	
024	↓	<input type="checkbox"/>	tar layer	↓	↓	
025	MUTE	<input type="checkbox"/>	exterior stairs	↓	↓	
026	↓(2)	<input type="checkbox"/>	caulk (white)	↓	↓	
027	MSCT1	<input type="checkbox"/>	8'x1' C.P.	#2 South	Kitchen	
028	↓	<input type="checkbox"/>	(smooth)	↓	↓	
		<input type="checkbox"/>				
		<input type="checkbox"/>				
		<input type="checkbox"/>				
		<input type="checkbox"/>				
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		<input type="checkbox"/>				
		<input type="checkbox"/>				

Total # of Samples \_\_\_\_\_

Relinquished by	Date/Time	Received by	Date/Time

Please Email To:

- bfreeman@emc-wi.com       proche@emc-wi.com       jnoegel@emc-wi.com       tbushman@emc-wi.com
- jbushman@emc-wi.com       jschneider@emc-wi.com       mfreeman@emc-wi.com       cmertens@emc-wi.com
- jjozwiakowski@emc-wi.com       rhaveman@emc-wi.com       lwinslow@emc-wi.com       emc@emc-wi.com
- nbateson@emc-wi.com

## **SECTION II**

### **LEAD SURVEY & SAMPLE RESULTS**



## LIMITED LEAD-BASED PAINT PRE-DEMOLITION SURVEY

Per DHS and WDNR, lead based paint is defined as paint, which contains lead at or above the concentration of 0.5%, by weight or 1.0mg/cm<sup>2</sup> (XRF). OSHA considers any level of lead as criteria to enforce OSHA standards.

For demolition, architectural lead painted components may be demolished and properly disposed of as solid waste if the paint is not separated from the structural material (intact). A hazardous waste determination is not necessary if the lead paint is intact.

Recyclers should be contacted for specific work practices if structural steel is to be recycled.

In considering if site specific brick, block or concrete may be recycled, lead painted surfaces are not considered "clean" fill. DNR issued guidelines and interpretations, "Concrete Recycling and Disposal Fact Sheet" have determined that painted surfaces which do not meet the statutory definition of lead paint (HFS 163.03(61)) may be considered clean.

Lead paint scrapings and chip debris may be considered hazardous waste. Prior to disposal lead chip debris should be characterized or assumed as hazardous waste. Paint waste is considered hazardous waste if it fails the Toxicity Characteristic Teaching Procedure (TCLP) for specific toxic metals. This test determines how much toxic metal could leach from a waste and potentially migrate into the groundwater.

### Lead Paint Survey Protocol

Lead-based paint samples were taken by **chip sample/ utilizing XRF analysis through RMD's LPA-1 Lead-Based Paint Analyzer**. The protocol includes the inspection of selected surfaces according to planned demolition areas. A sufficient number of samples were gathered to be representative of typical components.

The following areas were inspected: Entire Building

**The facility was surveyed for lead paint surfaces that may be impacted during the course of the planned demolition work. Representative samples were collected of various painted areas. Painted concrete, brick, block etc. and other representative surfaces were surveyed. Not all painted surfaces were surveyed.**

All lead testing was performed under the direct supervision of a certified risk assessor in accordance with HFS 163.148(8) lead inspection guidelines.

## Lead Paint Survey Results

Lead Painted Materials:

**The following building materials were determined to have lead paint by XRF:**

- **No recyclable materials had lead paint on them.**

**The following building materials were further confirmed to have lead paint by chip sample analysis:**

- **No chip samples were taken.**

Building materials with lead paint cannot be disposed of as clean fill.

Refer to the attached Lead Paint Compliance Strategy and Concrete Recycling Fact Sheets.

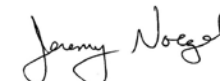
**CAUTION:** According to the WDNR, the use of XRF technology is acceptable in the determination of whether or not a building material contains lead or can be considered as clean fill.

OSHA does not recognize XRF technology for the determination of employee exposure. Contractors are responsible for their own OSHA compliance for lead paint to employees.

## PARTIAL LEAD INSPECTION EMC XRF DATA SUMMARY

Client: SCS Engineers  
 Client Phone:  
 Building Name: 1314 E. Washington  
 Dates of Construction:  
 Date of Sampling: July 3, 2019  
 XRF Serial Number: 1692

**Jeremy R. Noegel**  
 W7748 County Highway V, Lake Mills, WI  
**LII-105405**  
 Phone: (920) 648-6343



ROOM/ AREA	LOCATION	PAINT/ VARNISH COLOR	SUBSTRATE	CURRENT CONDITION	A/B CLASS	COMMENTS
Basement	Interior Floor	Gray	Concrete	NA	B	
Basement	Interior Floor	Gray	Mortar/Stone	NA	B	
Basement	Interior Wall	White	Mortar/Stone	NA	B	
Basement	Interior Wall	White	Mortar/Stone	NA	B	
North Stairs	Interior Wall	White	Plaster	NA	B	
North Stairs	Interior Ceiling	Cream	Plaster	NA	B	

### Key

**Calibration:** Where calibration is indicated, the date and initial/final (I, F). Calibration is noted in this space

**Substrate:** Indicates substrate at sampling location - **B**=Block, **M**=Metal, **P**=Plaster, **D**=Drywall, **W**=Wood, **C**=Concrete, or other as described

**Condition:** Condition of paint at the time of sampling as established in assessment protocol - **I**=Intact, **P**=Poor, **F**=Fair

**Classification:** Indicates levels related to the 1.0 mg/cm<sup>2</sup> lead regulatory limit - **A**=Lead loading above 1.0 mg/cm<sup>2</sup> (lead paint), **B**=Lead loading below 1.0 mg/cm<sup>2</sup>. Paint identified at <1.0 mg/cm<sup>2</sup> may still contain measurable quantities of lead.

**Side Wall Identification (A-D)** - Perimeter wall sides were identified with letters A, B, C and D. Side A is the entry door side. Side B, C and D are identified clockwise from side A as one faces the dwelling; if entry was unclear, directional indications were used (N, S, E, W).

Certified Lead Company  
 Environmental Management Consulting  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 Cert #DHS-13160  
 Phone: (920) 648-6343

**SECTION III**

**OTHER HAZARDOUS MATERIALS**

## **Other Hazardous Materials**

The following items must be removed and properly recycled or disposed of during demolition:

### CFCs

- Refrigerators are located in the building.
- Air conditioning units present at the time of inspection. They are assumed to belong to the tenants.

The CFCs from any of the above mentioned items must be properly re-claimed by a contractor that is licensed to do so prior to demolition.

### PCBs

- For the purpose of this inspection it was assumed that all light ballasts contain PCBs. Even if the ballasts do not contain PCB's, they still contain an oil and cannot be landfilled. Either way, the ballasts must be collected and properly disposed of/recycled prior to demolition.
- There are approximately 2 ballasts in the building.

### Fluorescent Light Bulbs

- Fluorescent light tubes and compact fluorescent bulbs contain mercury and therefore must be removed, properly packaged and properly recycled prior to the building being demolished. There are approximately 4 fluorescent bulbs, 14 high efficiency bulbs in the building.

### Door Closure Fluids

- There are two (2) door closures are located in the building. The fluid from both of the door closures must be reclaimed and properly disposed of.

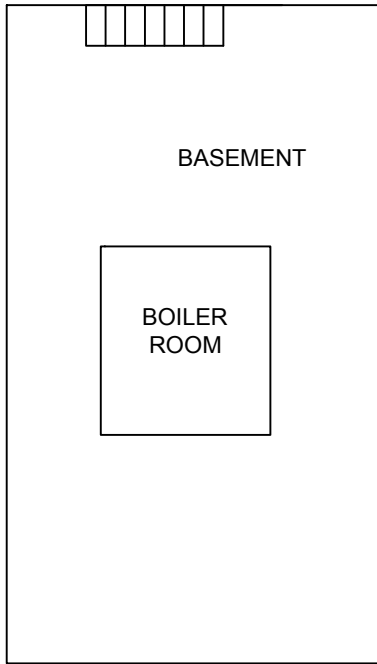
### Batteries

- Any batteries such as those that power emergencies lights must be removed prior to demolition.

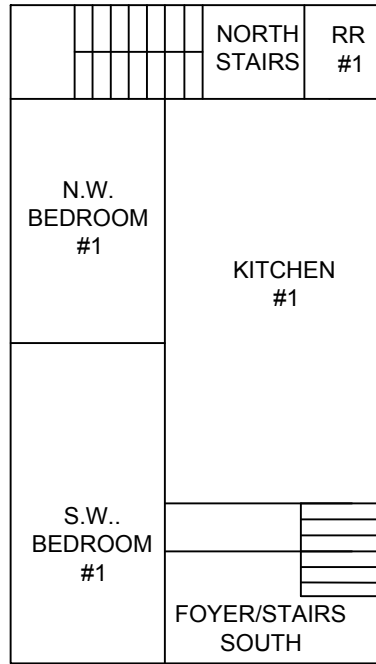
### Misc. Chemicals

- Miscellaneous cleaning and/or maintenance chemicals must be removed from the building and properly recycled prior to demolition.

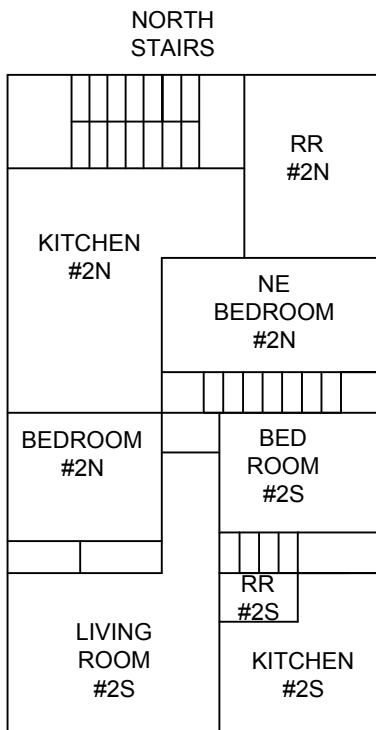
**SECTION IV**  
**DRAWINGS**



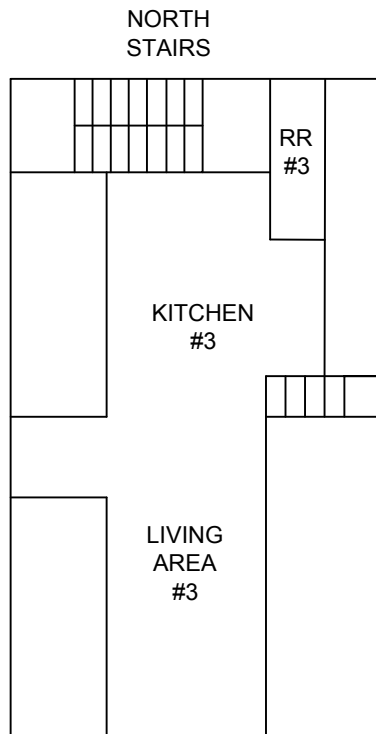
BASEMENT



FIRST



SECOND



THIRD



1314 EAST WASHINGTON  
 AVENUE  
 MADISON, WISCONSIN

## **SECTION V**

### **ASBESTOS & LEAD CERTIFICATIONS**

- **ASBESTOS CERTIFICATIONS**
- **LEAD CERTIFICATIONS**
- **XRF CERTIFICATIONS**



ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Willie M. [unclear]  
551-964-9643

**COPY**

APD-1284	Exp: 03/31/2020	03/08/1964	190 lbs	6' 00"
----------	-----------------	------------	---------	--------

Training due by: 03/31/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Willie M. [unclear]  
551-964-9643

**COPY**

ACS-1284	Exp: 05/10/2020	03/08/1964	190 lbs	6' 00"
----------	-----------------	------------	---------	--------

Training due by: 05/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Willie M. [unclear]  
551-964-9643

**COPY**

AI-1284	Exp: 05/12/2020	03/08/1964	190 lbs	6' 00"
---------	-----------------	------------	---------	--------

Training due by: 05/12/2020

ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

APD-1283	Exp: 03/28/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/28/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

AMP-1283	Exp: 03/02/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

ACS-1283	Exp: 04/26/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 04/26/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

AI-1283	Exp: 03/20/2020	03/03/1965	195 lbs	5' 10"
---------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P. [unclear]  
551-964-9643

**COPY**

AMP-1214	Exp: 03/20/2020	10/04/1965	170 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P. [unclear]  
551-964-9643

**COPY**

ACS-1214	Exp: 02/23/2020	10/04/1965	170 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 02/23/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P. [unclear]  
551-964-9643

**COPY**

AI-1214	Exp: 03/02/2020	10/04/1965	170 lbs	5' 10"
---------	-----------------	------------	---------	--------

Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

ACS-14552	Exp: 03/21/2020	02/04/1971	220 lbs	6' 01"
-----------	-----------------	------------	---------	--------

Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T. [unclear]  
551-964-9643

**COPY**

AI-14552	Exp: 03/20/2020	02/04/1971	220 lbs	6' 01"
----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L. [unclear]  
551-964-9643

**COPY**

ACS-17115	Exp: 05/11/2020	07/27/1974	175 lbs	5' 07"
-----------	-----------------	------------	---------	--------

Training due by: 05/11/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L. [unclear]  
551-964-9643

**COPY**

AI-17115	Exp: 11/21/2019	07/27/1974	175 lbs	5' 07"
----------	-----------------	------------	---------	--------

Training due by: 11/21/2019

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy [unclear]  
551-964-9643

**COPY**

ACS-105450	Exp: 03/21/2020	02/10/1977	185 lbs	6' 00"
------------	-----------------	------------	---------	--------

Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy [unclear]  
551-964-9643

**COPY**

AI-105450	Exp: 03/20/2020	02/10/1977	185 lbs	6' 00"
-----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt [unclear]  
551-964-9643

**COPY**

ACS-121592	Exp: 03/10/2020	03/19/1987	160 lbs	5' 09"
------------	-----------------	------------	---------	--------

Training due by: 03/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt [unclear]  
551-964-9643

**COPY**

AI-121592	Exp: 03/14/2020	03/19/1987	160 lbs	5' 09"
-----------	-----------------	------------	---------	--------

Training due by: 03/14/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt [unclear]  
551-964-9643

**COPY**

ACS-208554	Exp: 03/28/2020	04/15/1993	150 lbs	5' 09"
------------	-----------------	------------	---------	--------

Training due by: 03/28/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt [unclear]  
551-964-9643

**COPY**

AI-208554	Exp: 10/28/2019	04/15/1993	150 lbs	5' 09"
-----------	-----------------	------------	---------	--------

Training due by: 10/28/2019

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-249715  
 Expiration Date 03/09/2020  
 Issue Date 09/08/1994  
 Weight 190 lbs  
 Height 6' 01"

Training due by: 03/09/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-249715  
 Expiration Date 05/18/2020  
 Issue Date 09/08/1994  
 Weight 190 lbs  
 Height 6' 01"

Training due by: 05/18/2020

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-121895  
 Expiration Date 03/16/2020  
 Issue Date 10/25/1984  
 Weight 170 lbs  
 Height 5' 09"

Training due by: 03/16/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-229815  
 Expiration Date 05/20/2020  
 Issue Date 04/22/1997  
 Weight 160 lbs  
 Height 5' 10"

Training due by: 05/20/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-251993  
 Expiration Date 02/19/2020  
 Issue Date 09/25/1997  
 Weight 165 lbs  
 Height 5' 08"

Training due by: 02/19/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-257234  
 Expiration Date 02/22/2020  
 Issue Date 10/05/1995  
 Weight 195 lbs  
 Height 5' 11"


Training due by: 02/22/2020

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-257234  
 Expiration Date 02/01/2020  
 Issue Date 10/05/1995  
 Weight 195 lbs  
 Height 5' 11"

Training due by: 02/01/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-259938  
 Expiration Date 05/24/2020  
 Issue Date 01/05/1997  
 Weight 130 lbs  
 Height 5' 07"

Training due by: 05/24/2020



**LEAD(PB) RISK ASSESSOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

John Thomas Bushman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	182 lbs	5' 10"	
LRA-1283	Exp: 04/17/2019	03/03/1965	Male

Training due by: 04/17/2019



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Jeremy Robert Noegel  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	185 lbs	6' 00"	
LII-105450	Exp: 05/19/2020	02/10/1977	Male

Training due by: 05/19/2020



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Matthew Frohman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	160 lbs	5' 09"	
LII-121592	Exp: 04/16/2020	03/19/1987	Male

Training due by: 04/16/2020

# Certificate of Achievement

This is to certify that

**Jeremy Noegel**

**Environmental Management Consulting, Inc.**

on the 17th day of October 2003 successfully completed the factory training for

**RMD's LPA-1 Lead Paint Inspection System**

including, but not limited to, the topics of Radiation Safety and the Proper Use of the Instrument.



Sia Afshari, Product Manager  
44 Hunt St., Watertown, Massachusetts



**SECTION VI**

**LEAD PAINT COMPLIANCE STRATEGY**

## **Lead Paint Compliance Strategy Summary - Contractors**

Lead based paint and lead exposure within the construction industry is a significant health concern to workers as well as the workers' family members and building occupants. This summary sheet is an attempt to provide an overview of relevant regulations, express the health concerns and answer questions regarding regulatory compliance requirements for contractors.

Separate rules may apply to target housing or child-occupied facilities constructed prior to 1978. In some situations, certification of firms/renovators and post renovation verification may be required. Contractors and building owners shall contact regulatory authorities for current rules.

**Basics of Lead:** Lead can be present in a wide range of materials including paints, coatings, mortars, shielding walls and base metals. Dates of application, facility use and material appearance should be investigated to determine the presence of lead.

**Lead Health Effects:** Short term exposure to high levels of lead can cause vomiting, diarrhea, convulsions, coma or even death. Small amounts of lead can also be harmful when accumulated over time. Though lower level, long term exposures may be less noticeable, health effects are just as severe as a one-time dose. Anemia, venous disorders, kidney problems and impaired mental function are common effects of industrial exposure.

Lead exposure is most serious in malnourished adults, children and pregnant women. Because of the body's need for iron and calcium, lead is absorbed more readily. Even low exposures to children may harm intellectual development, behavioral development, physical size and hearing ability. Because lead can cross the placenta, developmental problems also affect unborn children. Female workers exposed to high levels of lead are more likely to have miscarriages and stillbirths. Most rules are written to protect children under the age of 6.

### **Regulatory Requirements**

**EPA:** EPA rule (40 CFR Part 745 ) affects lead-based paint hazards created by renovation, repair and painting activities in target housing ( Pre 1978 ) and child occupied facilities ( Pre 1978 with children under the age of 6 ). The rule requires that owners and occupants receive information before the project begins and renovators as well as firms performing such work are certified and follow detailed work practices. The Wisconsin Department of Health will soon be establishing detailed rules for the State of Wisconsin.

**DNR:** WDNR regulates the disposal of lead and lead-containing materials. Refer to the DNR web-site for more information.

**OSHA:** When painted surfaces will be disturbed as part of a renovation or demolition project, the OSHA construction lead standard applies if lead is present in the paint. Chip sampling and laboratory analysis of those samples is the accepted methodology. Any level of lead in the samples triggers the standard. An employer can also screen for lead using an XRF direct read instrument. If the XRF shows lead content, the employer can assume lead is present. The employer cannot, however use the XRF technology to prove paint negative for lead content. Only chip sampling and laboratory analysis can be used to prove a negative.

If lead is present, OSHA requires an “initial determination” be performed to demonstrate that employees’ airborne exposure does not exceed the action level (AL) of 30  $\mu\text{g}/\text{m}^3$  in an eight-hour time weighted average. This determination is based on air monitoring data obtained from similar operations and work conditions, gathered within the past twelve (12) months or:

Objective data demonstrating that a product or material containing lead cannot result in an employee exposure at or above the action level.

### OSHA permissible airborne exposure levels

OSHA Action Level (AL)	30 $\mu\text{g}/\text{m}^3$
OSHA Permissible Exposure Levels (PEL)	50 $\mu\text{g}/\text{m}^3$

If the initial determination shows exposures below the action level no further assessment is needed.

If the determination is above the action level and below the PEL, monitoring shall be done every six months. If the determination is above the PEL, monitoring shall be completed quarterly.

### OSHA Protective Measures

Until a contractor has historical data within the last 12 months for that specific type of job or current job data, the contractor must assume that employees may be exposed above the PEL. OSHA assumes three levels of exposure above the PEL for the following “Trigger Tasks”:

Low Exposure      **50-500  $\mu\text{g}/\text{m}^3$**       (half face respiratory protection)

- Manual demolition
- Manual scraping
- Manual sanding
- Heat gun applications
- Power tool cleaning with dust collection system

Medium Exposure      **500-2500  $\mu\text{g}/\text{m}^3$**       (full face respiratory protection)

- Use of lead containing mortar
- Lead burning
- Rivet busting (where lead coatings are present)
- Power tool cleaning
- Clean up of dry abrasives
- Abrasive blasting enclosure movement/removal

High Exposure      **2500  $\mu\text{g}/\text{m}^3$  - +**      (supplied air respiratory protection)

- Abrasive blasting
- Welding
- Cutting
- Torch burning

Until worker exposures are shown to be below the PEL, the following protective controls are required:

- Appropriate respirators
- Protective clothing
- Clean change area
- Training
- Medical/biological monitoring
- Hand wash facility

### **How should an employer keep workers safe if they are exposed above the PEL?**

If workers are exposed above the PEL OSHA requires:

- Appropriate respiratory protection must be provided
- Protective clothing – coveralls
- Change areas
- Hand wash facilities
- Biological monitoring – initial blood test with follow up testing dependant on frequency of exposure
- Training
  - Respiratory protection
  - Hazardous communication
  - The use of filtered HEPA vacuums is recommended
  - The use of a posted regulated area is recommended
  - The use of filtered negative air units is recommended

### **What are the criteria and requirements for biological monitoring, blood testing?**

OSHA Permissible Blood Level (BLL)	40 µg/dl
OSHA Level for Medical Removal	50 µg/dl

Biological monitoring must be provided if the action level is exceeded. Follow up monitoring is required at two and six month intervals depending on exposure frequency. Medical removal is required when lead blood levels exceed 50 µg/dl.

### **What are the disposal requirements when demolishing lead painted structures?**

The Wisconsin DNR does not typically consider it necessary to profile lead waste on structural material if the lead paint is not separated from the material. The waste, however, must be disposed of in a DNR approved facility.

Where free paint scrapings are gathered, solid wastes may be hazardous waste. Testing using toxicity characteristic leaching procedure (TCLP) must be performed to profile the gathered waste.

### **Is lead painted concrete/block/brick considered clean fill?**

Painted concrete is only considered clean if it is not coated with lead paint.

Lead Paint is Paint containing more than 0.5% lead by weight; or  
Painted surfaces more than 1.0 mg/cm<sup>2</sup> lead (XRF analysis)



## **When are certified lead workers/supervisors/risk assessor/inspectors required?**

The Department of Health Services requires certified workers, site risk assessment and follow up clearance sampling when conducting abatement within child occupied facilities (where lead abatement is the “purposeful reduction of lead hazards). Health department ordered abatement or the use of federal monies also requires the use of certified personnel.

In addition rules will require the use of certified renovators in all subject target housing and child occupied facilities where lead is present. Firms performing such work must also be certified.

## **Post Renovation Clearance and/or Cleaning Verification**

In some scenarios, post renovation clearance samples or cleaning verification may be required. This type of work can only be conducted by lead certified personnel. Cleaning verification is completed by wiping specific areas and comparing dust levels to an EPA cleaning verification card. Clearance wipe sampling is accomplished by sampling floors and windows in the abatement area.

The following is a summary of clearance criteria:

Floors	40 µg/sq. ft.
Window Sill	250 µg/sq. ft.
Window Trough	400 µg/sq. ft.

Contact the EMC office with any questions or to help with exposure monitoring.

Environmental Management Consulting, Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
1-800-279-2020

**SECTION VII**

**CONCRETE RECYCLING DISPOSAL FACT SHEET**

# Concrete Recycling and Disposal Fact Sheet

Publication WA 605

Rev. 2017



P.O. Box 7921  
Madison, Wisconsin  
53707-7921

## What is the purpose of this fact sheet?

This fact sheet is intended to help property owners, renovation and demolition contractors and used concrete handlers determine what painted concrete can be recycled or how it must be disposed of. “Clean” concrete is exempt by rule from most regulations. With certain location limitations, clean concrete may be crushed and used as fill, aggregate in road beds or concrete to concrete recycling. Most painted concrete can be used for these purposes in accordance with rule exemptions. This fact sheet explains when painted concrete is considered clean and is exempt for use vs. when painted concrete is not considered clean and where a specific approval is required by the Department of Natural Resources.

## On what basis is painted concrete considered clean vs. not clean?

Painted concrete is considered to be clean if the concrete has not been coated with lead-bearing paint. “Lead-bearing paint” is defined by s. 254.11(8), Wis. Stats., to mean:

Any paint or other surface coating material containing more than 0.06 percent lead by weight, calculated as lead metal, in the total nonvolatile content of liquid paint, more than 0.5 percent lead by weight in the dried film of applied paint, or more than 1 milligram of lead per square centimeter in the dried film of applied paint.

*Note: Latex-based paint does not contain lead and, therefore, concrete coated only with latex-based paint is considered clean.*

## Who is responsible to determine what type of paint is on the concrete and whether it is lead-bearing?

The generator or owner of the painted concrete has the responsibility to determine if the paint on the

concrete is latex or oil-based and if it has been coated with lead-bearing paint. The responsible individuals include:

- The property owner
- Individuals carrying out a renovation or demolition project
- Individuals that later take ownership or control of painted concrete materials for recycling or disposal

## So, tell me again, exactly what painted concrete should have the paint tested for lead?

Paint on concrete should be tested for lead if the paint is not latex-based and both of the following are true:

1. The painted concrete will be processed and/or used under a rule exemption for fill, aggregate or concrete to concrete recycling, and
2. The structure was built before 1978.

These criteria apply to painted concrete from all structures, whether used for residential, farm, commercial, industrial or other purposes. Information below explains how to sample and test paint for lead to determine if the painted concrete is clean for exempt use.

Paint other than latex-based paint manufactured before 1978 may contain lead at concentrations that define lead-bearing paint and the paint must be tested for lead to determine if the painted concrete is clean for exempt use. Because an owner of a structure older than 25 years won't usually know if only latex paint was used over the entire life of the building, lead testing is normally needed for all pre-1978 structures.

*Note: If the painted concrete is disposed of in a landfill approved by the DNR, the paint doesn't have to be tested.*

### **What management options are available for concrete coated with paint that isn't lead-bearing?**

Concrete coated with paint that is not lead-bearing paint may be used as fill, aggregate or concrete to concrete recycling in accordance with the following rule exemptions:

Reuse of clean concrete is exempt under s. NR 500.08(2)(a), Wis. Adm. Code. Certain environmental performance, location and operational requirements apply. Please review these requirements [s. NR 504.04(3)(c) and s. NR 504.04(4)] before placing used concrete on the land. For more information about this disposal exemption, refer to a separate frequently asked question, *What is defined as "clean fill" that does not have to be taken to a landfill?*, on the DNR website at

<http://dnr.wi.gov/topic/Waste/SolidFAQ.html>

Concrete coated with paint that is not lead-bearing may also be disposed of in a landfill.

### **What management options are available for concrete coated with lead-based paint?**

Landfill disposal is an available management option for concrete coated with lead-based paint. The landfill must be either a construction and demolition landfill approved under ch. NR 503, or a municipal solid waste landfill approved under ch. NR 504.

If someone wishes to use ground concrete coated with lead-bearing paint for structural fill beneath an impermeable material such as a building foundation or a parking lot, they should fill out an Application for Low Hazard Waste Exemption for Reuse of Concrete Coated with Lead-bearing Paint

<http://dnr.wi.gov/files/pdf/forms/4400/4400-274.pdf>

and submit it to the local DNR office. If DNR reviews the application and is convinced the proposed use will not impact human health and the environment, they will grant a written exemption under s. 289.43(8), Wis. Stats. and s. NR 500.08(5)(a).

### **Who should I contact if I have questions about painted concrete recycling and disposal?**

Questions about disposal of painted concrete should be directed to the DNR Waste and Materials Management Program. Find your local DNR solid waste contact at <http://dnr.wi.gov/topic/waste/>.

### **Is the paint sampling recommended by the DNR the same as what's required by the Department of Health Services?**

No. The lead sampling and testing for paint on concrete for recycling and disposal purposes isn't subject to the same (more rigorous) DHS requirements that may apply to occupied structures, especially schools and residences.

If a structure will be used for residential purposes after the project is complete, DHS rules require sampling by a certified individual. Also, according to federal law, a seller (or landlord) of a home built before 1978 is required to provide information to a buyer (or renter) about whether the home contains lead-bearing paint or any lead poisoning hazards. For more information about this, visit

<https://www.dhs.wisconsin.gov/lead/homepurchase.htm>.

### **Who can sample and test paint samples from concrete for recycling and disposal purposes?**

There is no specific requirement or certification required for an individual sampling paint from concrete for recycling and disposal purposes to determine if the painted concrete is clean for exempt use. An individual may take their own samples or a DHS certified individual may be hired to do the sampling. However, unless an XRF instrument is used by a qualified individual to determine lead concentrations on site, the paint samples must be sent to a certified laboratory for analysis.

Lists of certified lead-bearing paint inspectors, risk assessors and laboratories are available from DHS at <https://www.dhs.wisconsin.gov/lead/company-list.htm>. If you contact a DHS-certified individual but you only need to determine lead levels in paint on concrete to comply with recycling and disposal requirements, be sure to say this. The following summarizes sampling and testing options for lead-bearing paint for recycling and disposal purposes:

- Hire a Lead Inspector: A lead inspector may test paint using XRF (x-ray) instruments that "peer" through layers of paint to determine lead content immediately. A lead inspector can also collect samples for laboratory analysis. If immediate results are desired, be sure to inquire about on site testing with an x-ray instrument.
- Hire a Risk Assessor: A risk assessor will collect

## Concrete Recycling and Disposal Fact Sheet

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paint samples and send them to a laboratory for lead testing. Normally, a week or more may be needed for a laboratory to complete testing and additional time for a risk assessor to review results and get back to you. For time sensitive projects, it may be possible to obtain an “expedited” laboratory analysis and results interpretation, which may cost more, and may still require several days.

- **Self-Sampling:** For recycling and disposal purposes only, a DHS certified individual isn't required to do the sampling. Instead, an individual may take their own samples and send the samples to a certified laboratory for testing. One or two samples are unlikely to be enough since multiple layers of paint types may be present in different areas. Sampling recommendations for recycling and disposal purposes are listed below.

The U.S. Environmental Protection Agency hasn't approved and doesn't recommend do-it-yourself lead test kits that do not include laboratory analysis because they may not be sufficiently accurate to identify lead-bearing paint. For example, one lead test kit manufacturer claims their product can reliably detect lead levels down to only 0.5 percent lead, almost 10 times the level used to define “lead-bearing paint” in Wisconsin.

### **If I want to take my own samples of paint from concrete for recycling and disposal purposes, how many samples should I take?**

Take at least one sample from each area of painted concrete, based on consideration of the different areas of a structure:

- Interior
- Exterior
- Foundation
- Upper walls
- Each room, or other area, where differences in coatings is visually apparent or seems likely

Each sample should be taken as a composite (mixture) of all paint layers at that location. Use a sharp knife to cut down to the concrete and a sharp scraper to release the paint from the concrete. (Thoroughly wash your hands after collecting paint samples.) Prior to collecting a sample, contact a certified laboratory to find out what cost is charged, how much paint sample is needed and what type of

sample container is recommended. Normally, a sealable plastic bag or clean and dry jar is suitable. *These sampling recommendations are not intended for assessment of lead hazard to occupants but are only for recycling and disposal purposes to determine if painted concrete is clean for exempt disposal.*

### **What are the concerns about disposal of concrete coated with lead-bearing paint and where can I get more information?**

Paint that contains lead poses potential risks. In the environment, paint from concrete will chip and lead can leach from the paint over time where the painted concrete is disposed of. The lead could leach into groundwater or be carried to surface water by soil erosion. If the concrete is crushed, windblown dust carrying the lead is an additional concern. Further information is available from the following sources:

- Wisconsin Department of Health Services Lead homepage, <https://www.dhs.wisconsin.gov/lead/index.htm>
- National Lead Information Center, 800-424-5323 or <http://www.epa.gov/lead/pubs/nlic.htm>

### **For more information**

DNR Waste & Materials Management Program, PO Box 7921  
Madison, WI 53707  
608-266-2111; [DNRWasteMaterials@Wisconsin.gov](mailto:DNRWasteMaterials@Wisconsin.gov)

**NOTE:** *This document is intended solely as guidance and does not include any mandatory requirements except where requirements found in statute or administrative rule are referenced. This guidance does not establish or affect legal rights or obligations and is not finally determinative of any of the issues addressed. This guidance does not create any rights enforceable by any party in litigation with the State of Wisconsin or the Department of Natural Resources. Any regulatory decisions made by the Department of Natural Resources in any manner addressed by this guidance will be made by applying the governing statutes and administrative rules to the relevant facts.*

**Equal Opportunity Employer and Americans with Disabilities Act Statement:** *The Wisconsin Department of Natural Resources provides equal opportunity in its employment, programs, services, and functions under an Affirmative Action Plan. If you have any questions, please write to Chief, Public Civil Rights, Office of Civil Rights, U.S. Department of the Interior, 1849 C. Street, NW, Washington, D.C. 20240.*

*This publication is available in alternative format (large print, Braille, etc.) upon request. Please call 608-266-2111 for more information. Note: If you need technical assistance or more information, call the Accessibility Coordinator at 608-267-7490 / TTY Access via relay – 711.*



**Environmental Management Consulting, Inc.**

**NESHAP'S PRE-DEMOLITION ASBESTOS AND LEAD INSPECTION**

**1318 EAST WASHINGTON AVENUE  
MADISON, WI 53704**

**INSPECTION DATE: JUNE 28 & JULY 3, 2019  
REPORT DATE: JULY 5, 2019  
EMC PROJECT NUMBER: 190446-01**



**PREPARED FOR:**

**MR. RAYMOND TIERNEY  
SCS ENGINEERS  
2830 DAIRY DRIVE  
MADISON, WI 53718**

**PREPARED BY:**

**MR. JEREMY R. NOEGEL  
ENVIRONMENTAL MANAGEMENT CONSULTING, INC.  
W7748 COUNTY HIGHWAY V  
LAKE MILLS, WI 53551**

*Securing Safer Futures...*

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**SECTION I**

**ASBESTOS SURVEY & SAMPLE RESULTS**



## **NESHAP'S ASBESTOS PRE-DEMOLITION INSPECTION**

1318 EAST WASHINGTON AVENUE  
MADISON, WI 53704

Environmental Management Consulting, Inc. (EMC) was contacted by Mr. Tierney of SCS Engineers to conduct a pre-demolition asbestos inspection at the above mentioned property. This inspection is intended to comply with NESHAPS regulations.

Mr. Jeremy R. Noegel of EMC inspected the subject property on June 28 and July 3, 2019. The building was inspected for the presence of asbestos containing building materials. Each homogeneous building material suspected of containing asbestos was sampled or assumed to contain asbestos. All bulk samples that were extracted were submitted to a NVLAP certified laboratory for analysis for the presence of asbestos by Polarized Light Microscopy (PLM).

The following areas were inspected: Entire Building

The following is a summary of the findings of this inspection.

### **FRIABLE ASBESTOS CONTAINING MATERIAL (ACM) / REGULATED ASBESTOS CONTAINING MATERIAL (RACM)**

The following is a summary of materials identified by Polarized Light Microscopy, EPA Method: 600/R-93/116, or assumed to contain asbestos that were assessed as friable or would become friable (Regulated Asbestos Containing Material) during the demolition of the building.

#### **9" FLOOR TILE & MASTIC – MF9**

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Lobby	540 Sq. Ft. – Severely Damaged on Wood – Just Floor	5% Chrysotile



### SKYLIGHT WINDOW GLAZING – MPG(SS)

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Shop	24 – 2'x2.5' Windows	8% Chrysotile
Garage	11 – 2'x2.5' Windows	8% Chrysotile



### VIBRATION DAMPENER - TFC

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Shop	1 Dampener	75% Chrysotile
Basement	1 Dampener	75% Chrysotile



The above summarized materials must be properly removed from the building and disposed of prior to demolition

## CATEGORY I & CATEGORY II, NON-FRIABLE ACM

The following is a summary of materials identified or assumed to contain asbestos that were assessed as non-friable materials.

### FOUNDATION DAMP PROOFING

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Exterior – Assumed Below Pavement	Unknown	Assumed

*Note: Pavement surrounds the building – assuming foundation damp proofing exists on the outside of the building walls, further investigation is recommended if recycling will be done.*

At the time of inspection, the above stated materials were assessed in a good condition. Non-friable ACM does not have to be removed prior to a normal demolition if it is not in poor condition prior to starting the demolition and is not likely to become friable during demolition activities. The resulting wastes can be handled as demolition material; contact the accepting landfill. If the demolition materials will be recycled, all ACM must be removed prior to the demolition. Furthermore, if the ACM becomes crumbled, pulverized or reduced to powder as a result of demolition practices, all materials must be treated as RACM including those demolition materials co-mingled with the RACM.

If this building is to be burned as a practice fire burn by the fire department, all non-friable ACM would have to be removed prior to burning.

### REMAINING NON-FRIABLE MATERIALS

Unless otherwise indicated, all caulking, sealants, glazing compounds, gaskets, asphalt roofing materials, fillers, mastics and miscellaneous adhesives are assumed to contain asbestos and were assessed to be non-friable ACM as defined in NR 447. At the time of this inspection these materials were not in poor condition and were not friable. If work methods cause non-friable ACM to become friable, the materials must be treated as RACM.

## NON-ASBESTOS MATERIALS

The following is a summary of materials which have been sampled by Polarized Light Microscopy, EPA Method: 600/R-93/116 and found not to contain asbestos.

<u>Material Code</u>	<u>Material Description</u>
MWF	Wood Floor Vapor Barrier Tar Paper



<u>Material Code</u>	<u>Material Description</u>
MF12WB	12" Floor Tile (White & Black) & Adhesives



<u>Material Code</u>	<u>Material Description</u>
MF12CN	12" Floor Tile (Cream & Brown) & Adhesives



<u>Material Code</u>	<u>Material Description</u>
MV4K	4" Vinyl Baseboard (Black) & Adhesives



<u>Material Code</u>	<u>Material Description</u>
MDW	Drywall – No Joint Compound



<u>Material Code</u>	<u>Material Description</u>
MFI	Foam Insulation



Material Code  
MPT

Material Description  
Tar Paper Backed Insulation



Material Code  
MFB

Material Description  
Fiberboard



Material Code  
MRM

Material Description  
Roof Membrane & Sublayers



<u>Material Code</u>	<u>Material Description</u>
MRM(ES)	Exterior Wall Adhesive on Metal Wall Panel



<u>Material Code</u>	<u>Material Description</u>
MCLKE(1)	Exterior White Infill Panel/Window Caulk



<u>Material Code</u>	<u>Material Description</u>
MCLKI(1)	Chimney Caulk on Brick



<u>Material Code</u>	<u>Material Description</u>
MCLKI(2)	Asphalt Pavement/Metal Wall Sealant (Black)



<u>Material Code</u>	<u>Material Description</u>
MPG(ES)	Window Glazing on Doors/Windows



No work is necessary for these materials.



## **ADDITIONAL REQUIREMENTS**

Prior to the demolition or burning of any structure, a "Notification of Demolition and/or Renovation and Application for Exemption" (Form 4500-113) must be submitted to the Wisconsin Department of Natural Resources. Residential property as defined by DNR Chapter 447 may be exempt from notification requirements. If asbestos removal is necessary a copy of the notification must be submitted to the Wisconsin Department of Health Services. The owner/operator is responsible for submitting all notifications.

Removal of any asbestos containing material must be completed by persons certified by the Department of Health Services.

If during the course of demolition, suspect materials are found that have not been identified or sampled, work must stop and a State of Wisconsin certified Asbestos Building Inspector must be contacted to assess the material. There are inaccessible areas within the building that could not be accessed during the inspection, which could result in additional suspect material discovered.

All bulk sampling information, including a bulk sample chart and the laboratory results, are attached to this report. Please contact the EMC office if you have any questions.

A handwritten signature in black ink that reads "Jeremy Noegel". The signature is written in a cursive style with a large, looped initial 'J'.

Jeremy R. Noegel  
Certification No. All-105450

## **ASBESTOS BULK SAMPLE RESULTS**

## ASBESTOS BULK SAMPLE CHART

Sampling Date: June 27, 2019  
 Sample Location: 1318 E. Washington  
 Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
 Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
001	MF9	9" Floor Tile & Adhesive	Lobby	Middle	Tile: 5% Chrysotile Mastic: None Detected
002	MF12WB	12" Floor Tile (White & Black) & Adhesive	Restroom	By Entrance	None Detected
003	MF12WB	12" Floor Tile (White & Black) & Adhesive	Restroom	Northeast	None Detected
004	MF12CN	12" Floor Tile (Cream & Brown) & Adhesive	Garage	Middle	None Detected
005	MF12CN	12" Floor Tile (Cream & Brown) & Adhesive	Garage	North - Middle	None Detected
006	MWF	Wood Floor Vapor Barrier Tar Paper	Lobby	Middle - South	None Detected
007	MWF	Wood Floor Vapor Barrier Tar Paper	Shop	By Stairs	None Detected
008	MV4K	4" Vinyl Base (Black) & Adhesive	Restroom	East Wall	None Detected
009	MV4K	4" Vinyl Base (Black) & Adhesive	Restroom	East Wall	None Detected
010	MDW	Drywall - No Joint Compound	Garage	Northeast	None Detected
011	MFI	Foam Insulation	Shop	Northeast	None Detected
012	MFI	Foam Insulation	Garage	Northeast	None Detected
013	MPG(SS)	Window Glazing Skylights	Shop	Middle	8% Chrysotile
014	MPG(SS)	Window Glazing Skylights	Shop	Middle	8% Chrysotile
015	MPG(ES)	Window Glazing Windows/Doors	Lobby	Middle	None Detected
016	MPG(ES)	Window Glazing Windows/Doors	Receiving	Northeast	None Detected
017	MPT	Tar Paper Backed Insulation	Receiving	Southeast	None Detected
018	MPT	Tar Paper Backed Insulation	Shop	West	None Detected
019	MFB	Fiberboard	Receiving	West Wall	None Detected
020	MFB	Fiberboard	Receiving	West Wall	None Detected
021		NOT SUBMITTED			Not Submitted
022		NOT SUBMITTED			Not Submitted
023	MRM(ES)	Exterior Adhesive on Metal	Exterior	Northwest	None Detected
024	MCLKE(1)	Exterior Wall/Window Caulk (White)	Exterior	Southwest on Infill Panel	None Detected
025	MCLKE(1)	Exterior Wall/Window Caulk (White)	Exterior	Northwest on Window	None Detected



Environmental Management Consulting, Inc.

## ASBESTOS BULK SAMPLE CHART

Sampling Date: June 27, 2019  
Sample Location: 1318 E. Washington  
Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
026	MCLKI(1)	Chimney Caulk	Basement	Northwest	None Detected
027	TFC	Vibration Dampener	Shop	Middle of AHU	75% Chrysotile
028	MPG(ES)	Door/Window Glazing	Lobby	Exterior	None Detected
029	TDT	Duct Tape	Basement	Middle of Room	None Detected
030	TDT	Duct Tape	Basement	Middle of Room	None Detected
031	MRM	Roof Membrane & Sublayers	Roof	Middle - Southwest	None Detected
032	MRM	Roof Membrane & Sublayers	Roof	Middle - West	None Detected
033	MCLKI(2)	Exterior Blacktop/ Metal on Wall Caulk	Exterior	Northwest	None Detected
034	MCLKI(2)	Exterior Blacktop/ Metal on Wall Caulk	Exterior	West	None Detected



Environmental Management Consulting, Inc.

W7748 County Highway V, Lake Mills, WI ■ Phone: 920.648.6343 Fax: 920.648.4370 ■ [www.emc-wi.com](http://www.emc-wi.com)



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917085  
**Analysis ID:** 71917085\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/2/2019

**Project:** SCS-1318 E Washington

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
001 - A	9" Floor Tile & Adh	5% Chrysotile		95% Other	Tan Non Fibrous Homogeneous
71917085PLM_1	tile				Dissolved
001 - B	9" Floor Tile & Adh	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_33	mastic				Dissolved
002 - A	12" F.T. (White & Black) & Adh	None Detected		100% Other	White Non Fibrous Homogeneous
71917085PLM_2	tile				Dissolved
002 - B	12" F.T. (White & Black) & Adh	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_34	mastic				Dissolved
003 - A	12" F.T. (White & Black) & Adh	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_3	tile				Dissolved
003 - B	12" F.T. (White & Black) & Adh	None Detected		100% Other	Black, Yellow Non Fibrous Homogeneous
71917085PLM_35	mixed mastic				Dissolved
004 - A	12" F.T. (Cream & Brown) & Adh	None Detected		100% Other	Cream, Brown Non Fibrous Homogeneous
71917085PLM_4	tile				Dissolved
004 - B	12" F.T. (Cream & Brown) & Adh	None Detected		100% Other	Tan Non Fibrous Homogeneous
71917085PLM_36	mastic				Dissolved

**Disclaimer:** Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Philip Szabo (43)

Analyst

Approved Signatory



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Lab Sample ID	Lab Notes				Treatment
005 - A	12" F.T. (Cream & Brown) & Adh	None Detected		100% Other	Cream, Brown Non Fibrous Homogeneous
71917085PLM_5	tile				Dissolved
005 - B	12" F.T. (Cream & Brown) & Adh	None Detected		100% Other	Tan Non Fibrous Homogeneous
71917085PLM_37	mastic				Dissolved
006	Wood Floor Vapor Barrier Tar Paper	None Detected	70% Cellulose	30% Other	Black Fibrous Homogeneous
71917085PLM_6					Dissolved
007	Wood Floor Vapor Barrier Tar Paper	None Detected	70% Cellulose	30% Other	Black Fibrous Homogeneous
71917085PLM_7					Dissolved
008 - A	4" Vinyl Base (Black) & Adh	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_8	vinyl base				Ashed, Dissolved
008 - B	4" Vinyl Base (Black) & Adh	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917085PLM_38	adhesive				Dissolved
009 - A	4" Vinyl Base (Black) & Adh	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_9	vinyl base				Ashed, Dissolved
009 - B	4" Vinyl Base (Black) & Adh	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917085PLM_39	adhesive				Dissolved

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Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
010	Drywall No Joint Compound	None Detected	5% Cellulose 5% Fiber Glass	90% Other	White Non Fibrous Homogeneous
71917085PLM_10					Dissolved
011	Foam Insulation	None Detected		100% Other	Yellow Non Fibrous Homogeneous
71917085PLM_11					Dissolved
012	Foam Insulation	None Detected		100% Other	Yellow Non Fibrous Homogeneous
71917085PLM_12					Dissolved
013	Window Glazing Sky Lights	8% Chrysotile		92% Other	Gray, Tan Non Fibrous Homogeneous
71917085PLM_13					Ashed, Dissolved
014	Window Glazing Sky Lights	8% Chrysotile		92% Other	Gray, Tan Non Fibrous Homogeneous
71917085PLM_14					Ashed, Dissolved
015	Window Glazing Window/Doors	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917085PLM_15					Ashed, Dissolved
016	Window Glazing Window/Doors	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917085PLM_16					Ashed, Dissolved
017	Tar Paper Backed Insulation	None Detected	85% Cellulose	15% Other	Black, Brown Fibrous Homogeneous
71917085PLM_17					Dissolved

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Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
018	Tar Paper Backed Insulation	None Detected	85% Cellulose	15% Other	Black, Brown Fibrous Homogeneous
71917085PLM_18					Dissolved
019	Fiber Board	None Detected	98% Cellulose	2% Other	Brown Fibrous Homogeneous
71917085PLM_19					Ashed, Dissolved
020	Fiber Board	None Detected	98% Cellulose	2% Other	Brown Fibrous Homogeneous
71917085PLM_20					Ashed, Dissolved
023	Exterior Adhesive on Metal	None Detected		100% Other	White, Yellow Non Fibrous Homogeneous
71917085PLM_21					Dissolved
024	Exterior Wall/Window Caulk (White)	None Detected		100% Other	White Non Fibrous Homogeneous
71917085PLM_22					Ashed, Dissolved
025	Exterior Wall/Window Caulk (White)	None Detected		100% Other	White Non Fibrous Homogeneous
71917085PLM_23					Ashed, Dissolved
026	Chimney Caulk	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917085PLM_24					Ashed, Dissolved
027	Vibration Dampener Window	75% Chrysotile		25% Other	White Fibrous Homogeneous
71917085PLM_25					Teased, Dissolved

Disclaimer: Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Philip Szabo (43)

Analyst

Approved Signatory





# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917085  
**Analysis ID:** 71917085\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/2/2019

**Project:** SCS-1318 E Washington

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
028	Door Window Glazing	None Detected		100% Other	Silver, White Non Fibrous Homogeneous
71917085PLM_26					Ashed, Dissolved
029	Duct Tape	None Detected	95% Cellulose	5% Other	Gray Fibrous Homogeneous
71917085PLM_27					Ashed, Dissolved
030	Duct Tape	None Detected	95% Cellulose	5% Other	Gray Fibrous Homogeneous
71917085PLM_28					Ashed, Dissolved
031 - A	Roof Membrane & Sublayers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_29	membrane				Ashed, Dissolved
031 - B	Roof Membrane & Sublayers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_40	tar				Dissolved
031 - C	Roof Membrane & Sublayers	None Detected	98% Cellulose	2% Other	Brown Fibrous Homogeneous
71917085PLM_41	fiberboard				Ashed, Dissolved
032 - A	Roof Membrane & Sublayers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_30	membrane				Ashed, Dissolved
032 - B	Roof Membrane & Sublayers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_42	tar				Dissolved

**Disclaimer:** Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Philip Szabo (43)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917085  
**Analysis ID:** 71917085\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/2/2019

**Project:** SCS-1318 E Washington

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
032 - C	Roof Membrane & Sublayers	None Detected	98% Cellulose	2% Other	Brown Fibrous Homogeneous
71917085PLM_43	fiberboard				Ashed, Dissolved
033	Exterior Blacktop/Metal Wall Caulk	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_31					Dissolved
034	Exterior Blacktop/Metal Wall Caulk	None Detected		100% Other	Black Non Fibrous Homogeneous
71917085PLM_32					Dissolved

**Disclaimer:** Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Philip Szabo (43)

Analyst

Approved Signatory



Environmental Management Consulting, Inc.

E.M.C., Inc.
W7748 County Highway V
Lake Mills, WI 53551
920-648-6343

Lab Order ID:

Scientific Analytical Institute
4604 Dundas Drive
Greensboro, NC 27407
877-292-3888

71917085



Summary table with columns: EMC Contact, Email, Sample Location, Sample Date, Sampling Personnel, Inspector Number, Project Name/#, Test Type, Turnaround Time.

Main data table with columns: Sample Number, Homo Code, SR/JC, Material Description, Room, Specific Location or Volume/Area, Lab Results.

Total # of Samples 32

Signature table with columns: Relinquished by, Date/Time, Received by, Date/Time.

Please Email To:

- List of email addresses: bfreeman@emc-wi.com, jrbushman@emc-wi.com, jjozwiakowski@emc-wi.com, nbateson@emc-wi.com, proche@emc-wi.com, jschneider@emc-wi.com, rhaveman@emc-wi.com, cfreeman@emc-wi.com, jnoegel@emc-wi.com, mfreeman@emc-wi.com, lwinslow@emc-wi.com, amaule@emc-wi.com, tbushman@emc-wi.com, cmertens@emc-wi.com, emc@emc-wi.com.

Page 1 of 2



Environmental Management Consulting, Inc.

E.M.C., Inc.
W7748 County Highway V
Lake Mills, WI 53551
920-648-6343

Lab Order ID:

Scientific Analytical Institute
4604 Dundas Drive
Greensboro, NC 27407
877-292-3888

71917085



Form with fields: EMC Contact, Email, Sample Location, Sample Date, Sampling Personnel, Inspector Number, Project Name/#, Test Type, Turnaround Time.

Main data table with columns: Sample Number, Homo Code, SR/JC, Material Description, Room, Specific Location or Volume/Area, Lab Results.

Total # of Samples

Table with columns: Relinquished by, Date/Time, Received by, Date/Time.

Please Email To:
List of email addresses: bfreeman@emc-wi.com, jrbushman@emc-wi.com, jjozwiowski@emc-wi.com, nbateson@emc-wi.com, proche@emc-wi.com, jschneider@emc-wi.com, rhaveman@emc-wi.com, cfreeman@emc-wi.com, jnoegel@emc-wi.com, mfreeman@emc-wi.com, lwinslow@emc-wi.com, amaule@emc-wi.com, tbushman@emc-wi.com, cmertens@emc-wi.com, emc@emc-wi.com.

**SECTION II**  
**LEAD SURVEY & SAMPLE RESULTS**

## LIMITED LEAD-BASED PAINT PRE-DEMOLITION SURVEY

Per DHS and WDNR, lead based paint is defined as paint, which contains lead at or above the concentration of 0.5%, by weight or 1.0mg/cm<sup>2</sup> (XRF). OSHA considers any level of lead as criteria to enforce OSHA standards.

For demolition, architectural lead painted components may be demolished and properly disposed of as solid waste if the paint is not separated from the structural material (intact). A hazardous waste determination is not necessary if the lead paint is intact.

Recyclers should be contacted for specific work practices if structural steel is to be recycled.

In considering if site specific brick, block or concrete may be recycled, lead painted surfaces are not considered "clean" fill. DNR issued guidelines and interpretations, "Concrete Recycling and Disposal Fact Sheet" have determined that painted surfaces which do not meet the statutory definition of lead paint (HFS 163.03(61)) may be considered clean.

Lead paint scrapings and chip debris may be considered hazardous waste. Prior to disposal lead chip debris should be characterized or assumed as hazardous waste. Paint waste is considered hazardous waste if it fails the Toxicity Characteristic Teaching Procedure (TCLP) for specific toxic metals. This test determines how much toxic metal could leach from a waste and potentially migrate into the groundwater.

### Lead Paint Survey Protocol

Lead-based paint samples were taken by **chip sample/ utilizing XRF analysis through RMD's LPA-1 Lead-Based Paint Analyzer**. The protocol includes the inspection of selected surfaces according to planned demolition areas. A sufficient number of samples were gathered to be representative of typical components.

The following areas were inspected: Only recyclable surfaces were inspected – Entire building

**The facility was surveyed for lead paint surfaces that may be impacted during the course of the planned demolition work. Representative samples were collected of various painted areas. Painted concrete, brick, block etc. and other representative surfaces were surveyed. Not all painted surfaces were surveyed.**

All lead testing was performed under the direct supervision of a certified risk assessor in accordance with HFS 163.148(8) lead inspection guidelines.

## Lead Paint Survey Results

Lead Painted Materials:

**The following building materials were determined to have lead paint by XRF:**

- **No paint on recyclable surfaces has lead paint.**

**The following building materials were further confirmed to have lead paint by chip sample analysis:**

- **No chip samples were taken**

Building materials with lead paint cannot be disposed of as clean fill.

Refer to the attached Lead Paint Compliance Strategy and Concrete Recycling Fact Sheets.

**CAUTION:** According to the WDNR, the use of XRF technology is acceptable in the determination of whether or not a building material contains lead or can be considered as clean fill.

OSHA does not recognize XRF technology for the determination of employee exposure. Contractors are responsible for their own OSHA compliance for lead paint to employees.

## PARTIAL LEAD INSPECTION EMC XRF DATA SUMMARY

Client: SCS Engineers  
 Client Phone:  
 Building Name: 1318 E. Washington  
 Dates of Construction:  
 Date of Sampling: July 3, 2019  
 XRF Serial Number: 1692

**Jeremy R. Noegel**  
 W7748 County Highway V, Lake Mills, WI  
**LII-105405**  
 Phone: (920) 648-6343

*Jeremy Noegel*

ROOM/ AREA	LOCATION	PAINT/ VARNISH COLOR	SUBSTRATE	CURRENT CONDITION	A/B CLASS	COMMENTS
Exterior	Exterior Wall	White	Concrete	NA	B	
Exterior	Exterior Wall	White	Concrete	NA	B	
Shop	Interior Wall	White	Concrete	NA	B	
Garage	Interior Wall	White	Concrete	NA	B	
Basement	Interior Wall	White	Concrete	NA	B	
Basement	Interior Wall	Blue	Concrete	NA	B	

### Key

**Calibration:** Where calibration is indicated, the date and initial/final (I, F). Calibration is noted in this space

**Substrate:** Indicates substrate at sampling location - **B**=Block, **M**=Metal, **P**=Plaster, **D**=Drywall, **W**=Wood, **C**=Concrete, or other as described

**Condition:** Condition of paint at the time of sampling as established in assessment protocol - **I**=Intact, **P**=Poor, **F**=Fair

**Classification:** Indicates levels related to the 1.0 mg/cm<sup>2</sup> lead regulatory limit - **A**=Lead loading above 1.0 mg/cm<sup>2</sup> (lead paint), **B**=Lead loading below 1.0 mg/cm<sup>2</sup>. Paint identified at <1.0 mg/cm<sup>2</sup> may still contain measurable quantities of lead.

**Side Wall Identification (A-D)** - Perimeter wall sides were identified with letters A, B, C and D. Side A is the entry door side. Side B, C and D are identified clockwise from side A as one faces the dwelling; if entry was unclear, directional indications were used (N, S, E, W).

Certified Lead Company  
 Environmental Management Consulting  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 Cert #DHS-13160  
 Phone: (920) 648-6343



**SECTION III**  
**OTHER HAZARDOUS MATERIALS**

## **Other Hazardous Materials**

The following items must be removed and properly recycled or disposed of during demolition:

### CFCs

- Two (2) air conditioning units are present.

The CFCs from any of the above mentioned items must be properly re-claimed by a contractor that is licensed to do so prior to demolition.

### PCBs

- For the purpose of this inspection it was assumed that all light ballasts contain PCBs. Even if the ballasts do not contain PCB's, they still contain an oil and cannot be landfilled. Either way, the ballasts must be collected and properly disposed of/recycled prior to demolition.
- There are approximately 54 ballasts in the building.

### Fluorescent Light Bulbs

- Fluorescent light tubes and compact fluorescent bulbs contain mercury and therefore must be removed, properly packaged and properly recycled prior to the building being demolished. There are approximately 100 fluorescent bulbs in the building.

### Radioactive Exit Signs

- There are two (2) self-illuminating exit signs in the building that contain a radioactive source. These signs must be removed and properly disposed of prior to demolition.

### Door Closure Fluids

- There are two (2) door closures in the building. They must be properly disposed of.

### Batteries

- Any batteries such as those that power emergencies lights must be removed prior to demolition.

### Misc. Chemicals

- Miscellaneous cleaning and/or maintenance chemicals must be removed from the building and properly recycled prior to demolition.

**SECTION IV**

**DRAWINGS**

OWNER: TENNEY NURSERY AND PARENT CENTER INC.

LOT 4

LOT 5

BLOCK 217  
FARWELL'S REPLAT OF A PART  
OF THE CITY OF MADISON

EXISTING ELECTRIC  
STRUCTURE TO BE  
REMOVED

FOUND A 2" PIPE 1.2' NW  
OF PROPERTY CORNER.  
BUILDING IS 1.0'  
OVER THE LOT LINE

EXISTING CONCRETE TO  
BE REMOVED

BUILDING IS 0.3'  
OVER THE LOT LINE  
(N46°02'50"E 172.75')

EXISTING BUILDING  
ONE-STORY BUILDING  
1326 AND 1328 EAST WASHINGTON AVENUE  
BUILDING AREA AT EXTERIOR  
FOOTPRINT = 17,118 S.F.

PARCELA  
42,984 S.F.  
0.987 ACRE

Garage

Remain  
Work Shop

To basement

lobby

EXISTING TREE TO REMAIN  
(172.93')

BUILDING EXTENDS 2.8'  
INTO RIGHT OF WAY

BUILDING EXTENDS 2.7'  
INTO RIGHT OF WAY

EXISTING TREE TO BE RELOCATED

REMOVE AND REPLACE (S46°02'01"W 238.90')  
CURB AND GUTTER

ABANDON SANITARY WATER  
PERIOD OF MADISON STANDARDS

EXISTING TILE TO REMAIN

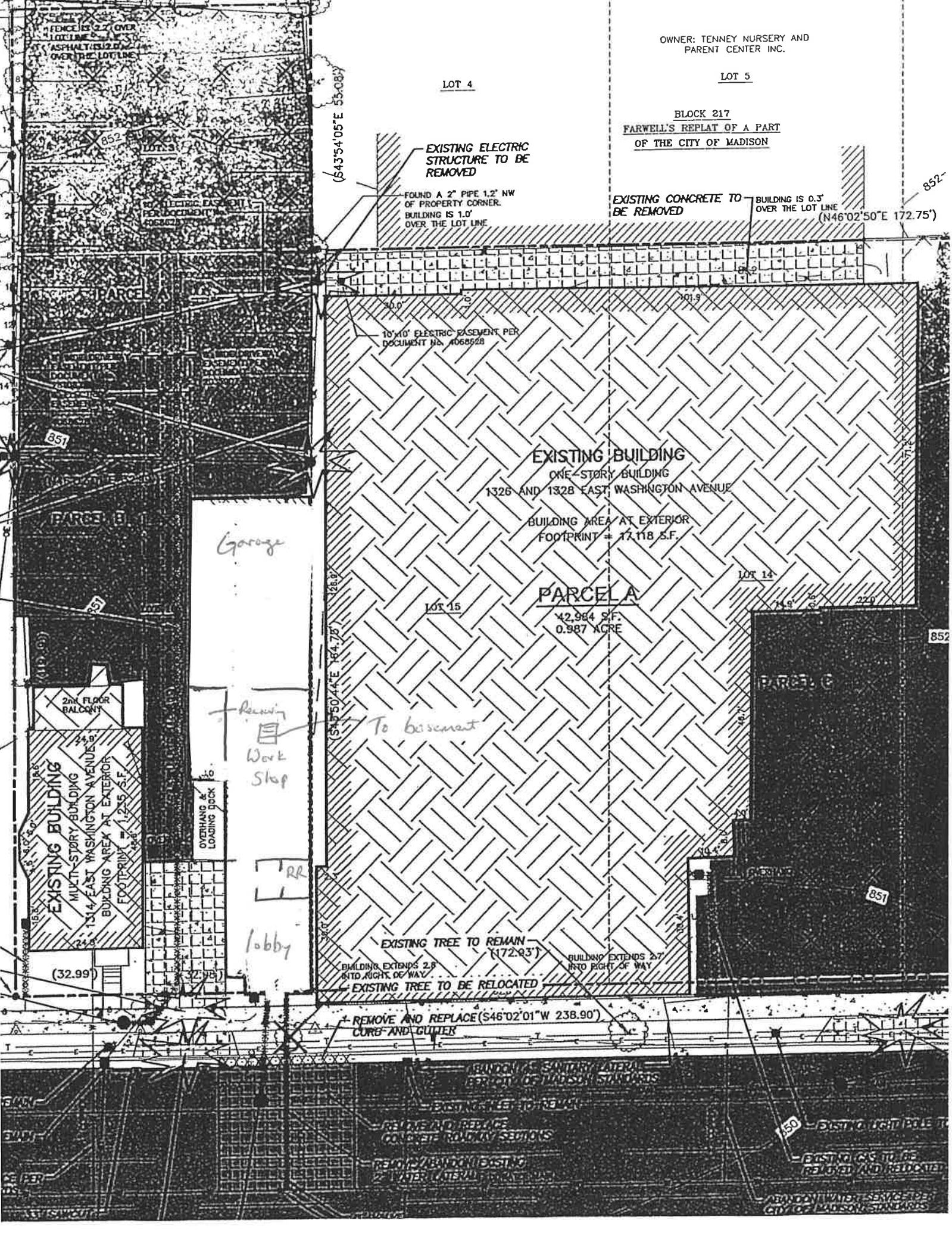
REMOVE AND REPLACE  
CONCRETE ROADWAY SECTIONS

REMOVE/ABANDON EXISTING  
2" WATER LATERAL PER MADISON

DIST. 6 LIGHT POLE TO

EXISTING GAS TO BE  
REMOVED AND RELOCATED

ABANDON WATER SERVICE PER  
CITY OF MADISON STANDARDS



## **SECTION V**

### **ASBESTOS & LEAD CERTIFICATIONS**

- **ASBESTOS CERTIFICATIONS**
- **LEAD CERTIFICATIONS**
- **XRF CERTIFICATIONS**

ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

APD-1284	Exp: 03/31/2020	03/08/1964	190 lbs	6' 00"
----------	-----------------	------------	---------	--------

Training due by: 03/31/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

ACS-1284	Exp: 05/10/2020	03/08/1964	190 lbs	6' 00"
----------	-----------------	------------	---------	--------

Training due by: 05/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

AI-1284	Exp: 05/12/2020	03/08/1964	190 lbs	6' 00"
---------	-----------------	------------	---------	--------

Training due by: 05/12/2020

ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

APD-1283	Exp: 03/28/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/28/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

AMP-1283	Exp: 03/02/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

ACS-1283	Exp: 04/26/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 04/26/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

AI-1283	Exp: 03/20/2020	03/03/1965	195 lbs	5' 10"
---------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

AMP-1214	Exp: 03/20/2020	10/04/1965	170 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

ACS-1214	Exp: 02/23/2020	10/04/1965	170 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 02/23/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

AI-1214	Exp: 03/02/2020	10/04/1965	170 lbs	5' 10"
---------	-----------------	------------	---------	--------

Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

ACS-14552	Exp: 03/21/2020	02/04/1971	220 lbs	6' 01"
-----------	-----------------	------------	---------	--------

Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

AI-14552	Exp: 03/20/2020	02/04/1971	220 lbs	6' 01"
----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L  
551-9643

ACS-17115	Exp: 05/11/2020	07/27/1974	175 lbs	5' 07"
-----------	-----------------	------------	---------	--------

Training due by: 05/11/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L  
551-9643

AI-17115	Exp: 11/21/2019	07/27/1974	175 lbs	5' 07"
----------	-----------------	------------	---------	--------

Training due by: 11/21/2019

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy  
551-9643

ACS-105450	Exp: 03/21/2020	02/10/1977	185 lbs	6' 00"
------------	-----------------	------------	---------	--------

Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy  
551-9643

AI-105450	Exp: 03/20/2020	02/10/1977	185 lbs	6' 00"
-----------	-----------------	------------	---------	--------

Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

ACS-121592	Exp: 03/10/2020	03/19/1987	160 lbs	5' 09"
------------	-----------------	------------	---------	--------

Training due by: 03/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

AI-121592	Exp: 03/14/2020	03/19/1987	160 lbs	5' 09"
-----------	-----------------	------------	---------	--------

Training due by: 03/14/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

ACS-208554	Exp: 03/28/2020	04/15/1993	150 lbs	5' 09"
------------	-----------------	------------	---------	--------

Training due by: 03/28/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

AI-208554	Exp: 10/28/2019	04/15/1993	150 lbs	5' 09"
-----------	-----------------	------------	---------	--------

Training due by: 10/28/2019

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-249715  
 Expiration Date 03/09/2020  
 Issue Date 09/08/1994  
 Weight 190 lbs  
 Height 6' 01"

Training due by: 03/09/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-249715  
 Expiration Date 05/18/2020  
 Issue Date 09/08/1994  
 Weight 190 lbs  
 Height 6' 01"

Training due by: 05/18/2020

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-121895  
 Expiration Date 03/16/2020  
 Issue Date 10/25/1984  
 Weight 170 lbs  
 Height 5' 09"

Training due by: 03/16/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-229815  
 Expiration Date 05/20/2020  
 Issue Date 04/22/1997  
 Weight 160 lbs  
 Height 5' 10"

Training due by: 05/20/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-251993  
 Expiration Date 02/19/2020  
 Issue Date 09/25/1997  
 Weight 165 lbs  
 Height 5' 08"

Training due by: 02/19/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-257234  
 Expiration Date 02/22/2020  
 Issue Date 10/05/1995  
 Weight 195 lbs  
 Height 5' 11"


Training due by: 02/22/2020

ASBESTOS INSPECTOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. AI-257234  
 Expiration Date 02/01/2020  
 Issue Date 10/05/1995  
 Weight 195 lbs  
 Height 5' 11"

Training due by: 02/01/2020

ASBESTOS SUPERVISOR  
 Issued By  
 STATE OF WISCONSIN  
 Department of Health Services  
 License No. ACS-259938  
 Expiration Date 05/24/2020  
 Issue Date 01/05/1997  
 Weight 130 lbs  
 Height 5' 07"

Training due by: 05/24/2020



**LEAD(PB) RISK ASSESSOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

John Thomas Bushman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	182 lbs	5' 10"	
LRA-1283	Exp: 04/17/2019	03/03/1965	Male

Training due by: 04/17/2019



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Jeremy Robert Noegel  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	185 lbs	6' 00"	
LII-105450	Exp: 05/19/2020	02/10/1977	Male

Training due by: 05/19/2020



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Matthew Frohman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	160 lbs	5' 09"	
LII-121592	Exp: 04/16/2020	03/19/1987	Male

Training due by: 04/16/2020



# Certificate of Achievement

This is to certify that


**Jeremy Noegel**

**Environmental Management Consulting, Inc.**

on the 17th day of October 2003 successfully completed the factory training for

**RMD's LPA-1 Lead Paint Inspection System**

including, but not limited to, the topics of Radiation Safety and the Proper Use of the Instrument.



Sia Afshari, Product Manager  
44 Hunt St., Watertown, Massachusetts



**SECTION VI**

**LEAD PAINT COMPLIANCE STRATEGY**

## **Lead Paint Compliance Strategy Summary - Contractors**

Lead based paint and lead exposure within the construction industry is a significant health concern to workers as well as the workers' family members and building occupants. This summary sheet is an attempt to provide an overview of relevant regulations, express the health concerns and answer questions regarding regulatory compliance requirements for contractors.

Separate rules may apply to target housing or child-occupied facilities constructed prior to 1978. In some situations, certification of firms/renovators and post renovation verification may be required. Contractors and building owners shall contact regulatory authorities for current rules.

**Basics of Lead:** Lead can be present in a wide range of materials including paints, coatings, mortars, shielding walls and base metals. Dates of application, facility use and material appearance should be investigated to determine the presence of lead.

**Lead Health Effects:** Short term exposure to high levels of lead can cause vomiting, diarrhea, convulsions, coma or even death. Small amounts of lead can also be harmful when accumulated over time. Though lower level, long term exposures may be less noticeable, health effects are just as severe as a one-time dose. Anemia, venous disorders, kidney problems and impaired mental function are common effects of industrial exposure.

Lead exposure is most serious in malnourished adults, children and pregnant women. Because of the body's need for iron and calcium, lead is absorbed more readily. Even low exposures to children may harm intellectual development, behavioral development, physical size and hearing ability. Because lead can cross the placenta, developmental problems also affect unborn children. Female workers exposed to high levels of lead are more likely to have miscarriages and stillbirths. Most rules are written to protect children under the age of 6.

### **Regulatory Requirements**

**EPA:** EPA rule (40 CFR Part 745 ) affects lead-based paint hazards created by renovation, repair and painting activities in target housing ( Pre 1978 ) and child occupied facilities ( Pre 1978 with children under the age of 6 ). The rule requires that owners and occupants receive information before the project begins and renovators as well as firms performing such work are certified and follow detailed work practices. The Wisconsin Department of Health will soon be establishing detailed rules for the State of Wisconsin.

**DNR:** WDNR regulates the disposal of lead and lead-containing materials. Refer to the DNR web-site for more information.

**OSHA:** When painted surfaces will be disturbed as part of a renovation or demolition project, the OSHA construction lead standard applies if lead is present in the paint. Chip sampling and laboratory analysis of those samples is the accepted methodology. Any level of lead in the samples triggers the standard. An employer can also screen for lead using an XRF direct read instrument. If the XRF shows lead content, the employer can assume lead is present. The employer cannot, however use the XRF technology to prove paint negative for lead content. Only chip sampling and laboratory analysis can be used to prove a negative.

If lead is present, OSHA requires an “initial determination” be performed to demonstrate that employees’ airborne exposure does not exceed the action level (AL) of 30  $\mu\text{g}/\text{m}^3$  in an eight-hour time weighted average. This determination is based on air monitoring data obtained from similar operations and work conditions, gathered within the past twelve (12) months or:

Objective data demonstrating that a product or material containing lead cannot result in an employee exposure at or above the action level.

### OSHA permissible airborne exposure levels

OSHA Action Level (AL)	30 $\mu\text{g}/\text{m}^3$
OSHA Permissible Exposure Levels (PEL)	50 $\mu\text{g}/\text{m}^3$

If the initial determination shows exposures below the action level no further assessment is needed.

If the determination is above the action level and below the PEL, monitoring shall be done every six months. If the determination is above the PEL, monitoring shall be completed quarterly.

### OSHA Protective Measures

Until a contractor has historical data within the last 12 months for that specific type of job or current job data, the contractor must assume that employees may be exposed above the PEL. OSHA assumes three levels of exposure above the PEL for the following “Trigger Tasks”:

Low Exposure      **50-500  $\mu\text{g}/\text{m}^3$**       (half face respiratory protection)

- Manual demolition
- Manual scraping
- Manual sanding
- Heat gun applications
- Power tool cleaning with dust collection system

Medium Exposure      **500-2500  $\mu\text{g}/\text{m}^3$**       (full face respiratory protection)

- Use of lead containing mortar
- Lead burning
- Rivet busting (where lead coatings are present)
- Power tool cleaning
- Clean up of dry abrasives
- Abrasive blasting enclosure movement/removal

High Exposure      **2500  $\mu\text{g}/\text{m}^3$  - +**      (supplied air respiratory protection)

- Abrasive blasting
- Welding
- Cutting
- Torch burning

Until worker exposures are shown to be below the PEL, the following protective controls are required:

- Appropriate respirators
- Protective clothing
- Clean change area
- Training
- Medical/biological monitoring
- Hand wash facility

### **How should an employer keep workers safe if they are exposed above the PEL?**

If workers are exposed above the PEL OSHA requires:

- Appropriate respiratory protection must be provided
- Protective clothing – coveralls
- Change areas
- Hand wash facilities
- Biological monitoring – initial blood test with follow up testing dependant on frequency of exposure
- Training
  - Respiratory protection
  - Hazardous communication
  - The use of filtered HEPA vacuums is recommended
  - The use of a posted regulated area is recommended
  - The use of filtered negative air units is recommended

### **What are the criteria and requirements for biological monitoring, blood testing?**

OSHA Permissible Blood Level (BLL)	40 µg/dl
OSHA Level for Medical Removal	50 µg/dl

Biological monitoring must be provided if the action level is exceeded. Follow up monitoring is required at two and six month intervals depending on exposure frequency. Medical removal is required when lead blood levels exceed 50 µg/dl.

### **What are the disposal requirements when demolishing lead painted structures?**

The Wisconsin DNR does not typically consider it necessary to profile lead waste on structural material if the lead paint is not separated from the material. The waste, however, must be disposed of in a DNR approved facility.

Where free paint scrapings are gathered, solid wastes may be hazardous waste. Testing using toxicity characteristic leaching procedure (TCLP) must be performed to profile the gathered waste.

### **Is lead painted concrete/block/brick considered clean fill?**

Painted concrete is only considered clean if it is not coated with lead paint.

Lead Paint is Paint containing more than 0.5% lead by weight; or  
Painted surfaces more than 1.0 mg/cm<sup>2</sup> lead (XRF analysis)

## **When are certified lead workers/supervisors/risk assessor/inspectors required?**

The Department of Health Services requires certified workers, site risk assessment and follow up clearance sampling when conducting abatement within child occupied facilities (where lead abatement is the “purposeful reduction of lead hazards). Health department ordered abatement or the use of federal monies also requires the use of certified personnel.

In addition rules will require the use of certified renovators in all subject target housing and child occupied facilities where lead is present. Firms performing such work must also be certified.

## **Post Renovation Clearance and/or Cleaning Verification**

In some scenarios, post renovation clearance samples or cleaning verification may be required. This type of work can only be conducted by lead certified personnel. Cleaning verification is completed by wiping specific areas and comparing dust levels to an EPA cleaning verification card. Clearance wipe sampling is accomplished by sampling floors and windows in the abatement area.

The following is a summary of clearance criteria:

Floors	40 $\mu\text{g}/\text{sq. ft.}$
Window Sill	250 $\mu\text{g}/\text{sq. ft.}$
Window Trough	400 $\mu\text{g}/\text{sq. ft.}$

Contact the EMC office with any questions or to help with exposure monitoring.

Environmental Management Consulting, Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
1-800-279-2020

**SECTION VII**

**CONCRETE RECYCLING DISPOSAL FACT SHEET**

# Concrete Recycling and Disposal Fact Sheet

Publication WA 605

Rev. 2017



P.O. Box 7921  
Madison, Wisconsin  
53707-7921

## What is the purpose of this fact sheet?

This fact sheet is intended to help property owners, renovation and demolition contractors and used concrete handlers determine what painted concrete can be recycled or how it must be disposed of. “Clean” concrete is exempt by rule from most regulations. With certain location limitations, clean concrete may be crushed and used as fill, aggregate in road beds or concrete to concrete recycling. Most painted concrete can be used for these purposes in accordance with rule exemptions. This fact sheet explains when painted concrete is considered clean and is exempt for use vs. when painted concrete is not considered clean and where a specific approval is required by the Department of Natural Resources.

## On what basis is painted concrete considered clean vs. not clean?

Painted concrete is considered to be clean if the concrete has not been coated with lead-bearing paint. “Lead-bearing paint” is defined by s. 254.11(8), Wis. Stats., to mean:

Any paint or other surface coating material containing more than 0.06 percent lead by weight, calculated as lead metal, in the total nonvolatile content of liquid paint, more than 0.5 percent lead by weight in the dried film of applied paint, or more than 1 milligram of lead per square centimeter in the dried film of applied paint.

*Note: Latex-based paint does not contain lead and, therefore, concrete coated only with latex-based paint is considered clean.*

## Who is responsible to determine what type of paint is on the concrete and whether it is lead-bearing?

The generator or owner of the painted concrete has the responsibility to determine if the paint on the

concrete is latex or oil-based and if it has been coated with lead-bearing paint. The responsible individuals include:

- The property owner
- Individuals carrying out a renovation or demolition project
- Individuals that later take ownership or control of painted concrete materials for recycling or disposal

## So, tell me again, exactly what painted concrete should have the paint tested for lead?

Paint on concrete should be tested for lead if the paint is not latex-based and both of the following are true:

1. The painted concrete will be processed and/or used under a rule exemption for fill, aggregate or concrete to concrete recycling, and
2. The structure was built before 1978.

These criteria apply to painted concrete from all structures, whether used for residential, farm, commercial, industrial or other purposes. Information below explains how to sample and test paint for lead to determine if the painted concrete is clean for exempt use.

Paint other than latex-based paint manufactured before 1978 may contain lead at concentrations that define lead-bearing paint and the paint must be tested for lead to determine if the painted concrete is clean for exempt use. Because an owner of a structure older than 25 years won't usually know if only latex paint was used over the entire life of the building, lead testing is normally needed for all pre-1978 structures.

*Note: If the painted concrete is disposed of in a landfill approved by the DNR, the paint doesn't have to be tested.*



### **What management options are available for concrete coated with paint that isn't lead-bearing?**

Concrete coated with paint that is not lead-bearing paint may be used as fill, aggregate or concrete to concrete recycling in accordance with the following rule exemptions:

Reuse of clean concrete is exempt under s. NR 500.08(2)(a), Wis. Adm. Code. Certain environmental performance, location and operational requirements apply. Please review these requirements [s. NR 504.04(3)(c) and s. NR 504.04(4)] before placing used concrete on the land. For more information about this disposal exemption, refer to a separate frequently asked question, *What is defined as "clean fill" that does not have to be taken to a landfill?*, on the DNR website at

<http://dnr.wi.gov/topic/Waste/SolidFAQ.html>

Concrete coated with paint that is not lead-bearing may also be disposed of in a landfill.

### **What management options are available for concrete coated with lead-based paint?**

Landfill disposal is an available management option for concrete coated with lead-based paint. The landfill must be either a construction and demolition landfill approved under ch. NR 503, or a municipal solid waste landfill approved under ch. NR 504.

If someone wishes to use ground concrete coated with lead-bearing paint for structural fill beneath an impermeable material such as a building foundation or a parking lot, they should fill out an Application for Low Hazard Waste Exemption for Reuse of Concrete Coated with Lead-bearing Paint

<http://dnr.wi.gov/files/pdf/forms/4400/4400-274.pdf>

and submit it to the local DNR office. If DNR reviews the application and is convinced the proposed use will not impact human health and the environment, they will grant a written exemption under s. 289.43(8), Wis. Stats. and s. NR 500.08(5)(a).

### **Who should I contact if I have questions about painted concrete recycling and disposal?**

Questions about disposal of painted concrete should be directed to the DNR Waste and Materials Management Program. Find your local DNR solid waste contact at <http://dnr.wi.gov/topic/waste/>.

### **Is the paint sampling recommended by the DNR the same as what's required by the Department of Health Services?**

No. The lead sampling and testing for paint on concrete for recycling and disposal purposes isn't subject to the same (more rigorous) DHS requirements that may apply to occupied structures, especially schools and residences.

If a structure will be used for residential purposes after the project is complete, DHS rules require sampling by a certified individual. Also, according to federal law, a seller (or landlord) of a home built before 1978 is required to provide information to a buyer (or renter) about whether the home contains lead-bearing paint or any lead poisoning hazards. For more information about this, visit

<https://www.dhs.wisconsin.gov/lead/homepurchase.htm>.

### **Who can sample and test paint samples from concrete for recycling and disposal purposes?**

There is no specific requirement or certification required for an individual sampling paint from concrete for recycling and disposal purposes to determine if the painted concrete is clean for exempt use. An individual may take their own samples or a DHS certified individual may be hired to do the sampling. However, unless an XRF instrument is used by a qualified individual to determine lead concentrations on site, the paint samples must be sent to a certified laboratory for analysis.

Lists of certified lead-bearing paint inspectors, risk assessors and laboratories are available from DHS at <https://www.dhs.wisconsin.gov/lead/company-list.htm>. If you contact a DHS-certified individual but you only need to determine lead levels in paint on concrete to comply with recycling and disposal requirements, be sure to say this. The following summarizes sampling and testing options for lead-bearing paint for recycling and disposal purposes:

- Hire a Lead Inspector: A lead inspector may test paint using XRF (x-ray) instruments that "peer" through layers of paint to determine lead content immediately. A lead inspector can also collect samples for laboratory analysis. If immediate results are desired, be sure to inquire about on site testing with an x-ray instrument.
- Hire a Risk Assessor: A risk assessor will collect

## Concrete Recycling and Disposal Fact Sheet

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paint samples and send them to a laboratory for lead testing. Normally, a week or more may be needed for a laboratory to complete testing and additional time for a risk assessor to review results and get back to you. For time sensitive projects, it may be possible to obtain an “expedited” laboratory analysis and results interpretation, which may cost more, and may still require several days.

- **Self-Sampling:** For recycling and disposal purposes only, a DHS certified individual isn't required to do the sampling. Instead, an individual may take their own samples and send the samples to a certified laboratory for testing. One or two samples are unlikely to be enough since multiple layers of paint types may be present in different areas. Sampling recommendations for recycling and disposal purposes are listed below.

The U.S. Environmental Protection Agency hasn't approved and doesn't recommend do-it-yourself lead test kits that do not include laboratory analysis because they may not be sufficiently accurate to identify lead-bearing paint. For example, one lead test kit manufacturer claims their product can reliably detect lead levels down to only 0.5 percent lead, almost 10 times the level used to define “lead-bearing paint” in Wisconsin.

### **If I want to take my own samples of paint from concrete for recycling and disposal purposes, how many samples should I take?**

Take at least one sample from each area of painted concrete, based on consideration of the different areas of a structure:

- Interior
- Exterior
- Foundation
- Upper walls
- Each room, or other area, where differences in coatings is visually apparent or seems likely

Each sample should be taken as a composite (mixture) of all paint layers at that location. Use a sharp knife to cut down to the concrete and a sharp scraper to release the paint from the concrete. (Thoroughly wash your hands after collecting paint samples.) Prior to collecting a sample, contact a certified laboratory to find out what cost is charged, how much paint sample is needed and what type of

sample container is recommended. Normally, a sealable plastic bag or clean and dry jar is suitable. *These sampling recommendations are not intended for assessment of lead hazard to occupants but are only for recycling and disposal purposes to determine if painted concrete is clean for exempt disposal.*

### **What are the concerns about disposal of concrete coated with lead-bearing paint and where can I get more information?**

Paint that contains lead poses potential risks. In the environment, paint from concrete will chip and lead can leach from the paint over time where the painted concrete is disposed of. The lead could leach into groundwater or be carried to surface water by soil erosion. If the concrete is crushed, windblown dust carrying the lead is an additional concern. Further information is available from the following sources:

- Wisconsin Department of Health Services Lead homepage, <https://www.dhs.wisconsin.gov/lead/index.htm>
- National Lead Information Center, 800-424-5323 or <http://www.epa.gov/lead/pubs/nlic.htm>

### **For more information**

DNR Waste & Materials Management Program, PO Box 7921  
Madison, WI 53707  
608-266-2111; [DNRWasteMaterials@Wisconsin.gov](mailto:DNRWasteMaterials@Wisconsin.gov)

**NOTE:** *This document is intended solely as guidance and does not include any mandatory requirements except where requirements found in statute or administrative rule are referenced. This guidance does not establish or affect legal rights or obligations and is not finally determinative of any of the issues addressed. This guidance does not create any rights enforceable by any party in litigation with the State of Wisconsin or the Department of Natural Resources. Any regulatory decisions made by the Department of Natural Resources in any manner addressed by this guidance will be made by applying the governing statutes and administrative rules to the relevant facts.*

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*This publication is available in alternative format (large print, Braille, etc.) upon request. Please call 608-266-2111 for more information. Note: If you need technical assistance or more information, call the Accessibility Coordinator at 608-267-7490 / TTY Access via relay – 711.*



**Environmental Management Consulting, Inc.**

**NESHAP'S PRE-DEMOLITION ASBESTOS AND LEAD INSPECTION**

**1326/1328 E. WASHINGTON AVENUE  
MADISON, WI 53704**

**INSPECTION DATE: JUNE 27-28 & JULY 3, 2019  
REPORT DATE: JULY 5, 2019  
EMC PROJECT NUMBER: 190446-01**



**PREPARED FOR:**

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*Securing Safer Futures...*

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**SECTION I**

**ASBESTOS SURVEY & SAMPLE RESULTS**

## **NESHAP'S ASBESTOS PRE-DEMOLITION INSPECTION**

1326/1328 E. WASHINGTON AVENUE  
MADISON, WI 53704

Environmental Management Consulting, Inc. (EMC) was contacted by Mr. Tierney of SCS Engineers to conduct a pre-demolition asbestos inspection at the above mentioned property. This inspection is intended to comply with NESHAPS regulations.

Mr. Jeremy R. Noegel of EMC inspected the subject property on June 27-28 and July 3, 2019. The building was inspected for the presence of asbestos containing building materials. Each homogeneous building material suspected of containing asbestos was sampled or assumed to contain asbestos. All bulk samples that were extracted were submitted to a NVLAP certified laboratory for analysis for the presence of asbestos by Polarized Light Microscopy (PLM).

The following areas were inspected: Entire Building

- Entire building except for the flooded basement



The following is a summary of the findings of this inspection.

## FRIABLE ASBESTOS CONTAINING MATERIAL (ACM) / REGULATED ASBESTOS CONTAINING MATERIAL (RACM)

The following is a summary of materials identified by Polarized Light Microscopy, EPA Method: 600/R-93/116, or assumed to contain asbestos that were assessed as friable or would become friable (Regulated Asbestos Containing Material) during the demolition of the building.

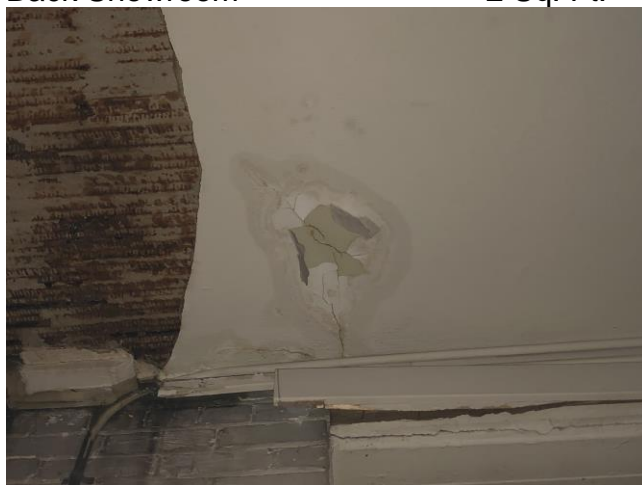
### PIPE INSULATION – TC5

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Back Showroom	28 LF	Assumed
Warehouse	16 LF	Assumed
Restroom 2	21 LF	Assumed



### PLASTER PATCH – SP3

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Back Showroom	2 Sq. Ft.	2% Chrysotile



## TRANSITE PANEL - MTP

Room/Location  
Exterior Soffit  
Front Entrance

Quantity  
165 Sq. Ft.

Asbestos Status  
30% Chrysotile



## WINDOW GLAZING – MPG(E)

Room/Location  
Exterior  
Exterior  
Exterior  
Showroom  
Foyer Hall  
Foyer  
West Warehouse  
200

Quantity  
6 – 3'x4' Windows  
6 – 3.5'x4' Windows  
5 – 4'x5' Windows  
2 – 4'x10' Windows  
1 – 3'x4' Window  
3 – 3'x6' Windows  
2 – 2'x3' Windows  
2 – 3'x5' Windows

Asbestos Status  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile  
10% Chrysotile





## EXTERIOR WINDOW/DOOR/WALL CAULK (GRAY) – MCLKE(1)

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Exterior	126 LF	5% Chrysotile
Exterior	6 – 3'x4' Windows	5% Chrysotile
Exterior	6 – 3.5'x4' Windows	5% Chrysotile
Exterior	1 – 3'x3' Window	5% Chrysotile
Showroom	2 – 2'x3' Glass Block Windows	5% Chrysotile
Back Showroom	2 – 4'x10' Windows	5% Chrysotile
Foyer Hall	1 – 3'x4' Window	5% Chrysotile
Foyer	3 – 3'x6' Windows	5% Chrysotile
West Warehouse	2 – 2'x3' Windows	5% Chrysotile
West Warehouse	1 – 1.5'x5' Glass Block Windows	5% Chrysotile
Restroom 2	3 – 1.5'x5' Glass Block Windows	5% Chrysotile
Main Entrance	1 – Door	5% Chrysotile
200	40 LF	5% Chrysotile
200	2 – 3'x5' Windows	5% Chrysotile



The above summarized materials must be properly removed from the building and disposed of prior to demolition

## CATEGORY I & CATEGORY II, NON-FRIABLE ACM

The following is a summary of materials identified or assumed to contain asbestos that were assessed as non-friable materials.

### CARPET ADHESIVE (YELLOW & BLACK) ON CONCRETE

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
201	1,760 Sq. Ft.	3% Chrysotile
Southeast Stairs	100 Sq. Ft.	3% Chrysotile



### 12" FLOOR TILE (CREAM & BROWN) & ADHESIVES ON CONCRETE

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Showroom	1,875 Sq. Ft.	10% Chrysotile
Back Showroom	3,310 Sq. Ft.	10% Chrysotile

*\*Note: Debris piles on floor with tile mixed in*



## 12" FLOOR TILE (TAN & BROWN) & ADHESIVES ON CONCRETE

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Restroom 1	54 Sq. Ft.	10% Chrysotile



## 9" FLOOR TILE

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Back Showroom	480 Sq. Ft. on Concrete	10% Chrysotile
200	605 Sq. Ft. on Wood	10% Chrysotile
Foyer Hall	45 Sq. Ft. on Concrete	10% Chrysotile
Foyer	265 Sq. Ft. Under Carpet/ On Concrete	10% Chrysotile



### TAR WRAP PIPE INSULATION - TPW

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Restroom 1	6 LF	10% Chrysotile
Back Showroom	4 LF	10% Chrysotile



### SPANCRETE CAULK – MCLK(SP)

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Showroom/Exterior	1,650 LF	3% Chrysotile
Southeast Stairs		



**DUCT CAULK – MCLKI(2)**

Room/Location  
West Warehouse

Quantity  
20 LF

Asbestos Status  
5% Chrysotile



**CERAMIC FLOOR GROUT & ADHESIVE – MCTM(1)**

Room/Location  
201

Quantity  
144 Sq. Ft.

Asbestos Status  
5% Chrysotile



## EXTERIOR PANELING ADHESIVE ON CONCRETE – MPM(E)

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Exterior	270 Sq. Ft.	5% Chrysotile



## OLD ROOF FLASHING - MRF

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Exterior – North Wall	10 Sq. Ft.	10% Chrysotile
Roof	1,040 Sq. Ft.	10% Chrysotile
West Warehouse	125 Sq. Ft.	10% Chrysotile
203	10 Sq. Ft.	10% Chrysotile
203A	35 Sq. Ft.	10% Chrysotile
202	5 Sq. Ft.	10% Chrysotile



### PARAPET WALL PATCH – MPW

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Roof	280 Sq. Ft.	10% Chrysotile



### ROOF TAR UNDER ROOF MEMBRANE – ON OLDER ADDITION

<u>Room/Location</u>	<u>Quantity</u>	<u>Asbestos Status</u>
Roof	Approximately 10,000 Sq. Ft.	3% Chrysotile



At the time of inspection, the above stated materials were assessed in a good condition. Non-friable ACM does not have to be removed prior to a normal demolition if it is not in poor condition prior to starting the demolition and is not likely to become friable during demolition activities. The resulting wastes can be handled as demolition material; contact the accepting landfill. If the demolition materials will be recycled, all ACM must be removed prior to the demolition. Furthermore, if the ACM becomes crumbled, pulverized or reduced to powder as a result of demolition practices, all materials must be treated as RACM including those demolition materials co-mingled with the RACM.

If this building is to be burned as a practice fire burn by the fire department, all non-friable ACM would have to be removed prior to burning.

## REMAINING NON-FRIABLE MATERIALS

Unless otherwise indicated, all caulking, sealants, glazing compounds, gaskets, asphalt roofing materials, fillers, mastics and miscellaneous adhesives are assumed to contain asbestos and were assessed to be non-friable ACM as defined in NR 447. At the time of this inspection these materials were not in poor condition and were not friable. If work methods cause non-friable ACM to become friable, the materials must be treated as RACM.

## NON-ASBESTOS MATERIALS

The following is a summary of materials which have been sampled by Polarized Light Microscopy, EPA Method: 600/R-93/116 and found not to contain asbestos.

<u>Material Code</u>	<u>Material Description</u>
MF12 NC	12" Floor Tile (Brown & Cream) & Adhesives on Stairs



<u>Material Code</u>	<u>Material Description</u>
MV4K	4" Vinyl Baseboard (Black) & Adhesives





<u>Material Code</u>	<u>Material Description</u>
MCT1	1'x1' Ceiling Tile (Large Holes) & Adhesives



<u>Material Code</u>	<u>Material Description</u>
MSCT1	2'x4' Ceiling Tile (Canvas Covered)



<u>Material Code</u>	<u>Material Description</u>
MSCT2	2'x4' Ceiling Tile (Fissured)



Material <u>Code</u>	Material <u>Description</u>
MSCT3	2'x4' Ceiling Tile (Cratered)



Material <u>Code</u>	Material <u>Description</u>
MSCT4	2'x2' Ceiling Tile (Textured)



Material <u>Code</u>	Material <u>Description</u>
SP1	Plaster – Addition



Material Code      Material Description  
SP2                  Plaster – Original



Material Code      Material Description  
MDW                  Drywall & Joint Compound



Material Code      Material Description  
MCLKE(2)          Exterior Infill Panel Caulk (White)



Material Code      Material Description  
MCLKE(3)      Exterior Wall/Sidewalk Caulk (Black)



Material Code      Material Description  
MPP      Textured Concrete Block/Brick Paint



Material Code      Material Description  
MWP      Wall Patch Cementations



Material  
Code  
MFB

Material  
Description  
Fiberboard



Material  
Code  
MCLKI(1)

Material  
Description  
Roof Drain Caulk (White)



Material  
Code  
MCLKI(3)

Material  
Description  
Garage Door/Wall Caulk (Silver)



<u>Material Code</u>	<u>Material Description</u>
MCTM(2)	Ceramic Baseboard Grout & Adhesive



<u>Material Code</u>	<u>Material Description</u>
MDDP	Damp Proofing Tar Paper Layer by Brick



<u>Material Code</u>	<u>Material Description</u>
MPM(F)	Foam Insulation Wall Adhesive



Material Code MBI      Material Description Blown-In Insulation



Material Code MPT      Material Description Glass Block – Tar Paper Insulation Around Window Opening



Material Code TDI      Material Description Interior Duct Insulation (Fiberglass With Coating)



<u>Material Code</u>	<u>Material Description</u>
MRM(1)	Roof Tar Paper (West Warehouse)



<u>Material Code</u>	<u>Material Description</u>
TPT	Pipe Tape (Gray)



No work is necessary for these materials.



## ADDITIONAL REQUIREMENTS

Prior to the demolition or burning of any structure, a "Notification of Demolition and/or Renovation and Application for Exemption" (Form 4500-113) must be submitted to the Wisconsin Department of Natural Resources. Residential property as defined by DNR Chapter 447 may be exempt from notification requirements. If asbestos removal is necessary a copy of the notification must be submitted to the Wisconsin Department of Health Services. The owner/operator is responsible for submitting all notifications.

Removal of any asbestos containing material must be completed by persons certified by the Department of Health Services.

If during the course of demolition, suspect materials are found that have not been identified or sampled, work must stop and a State of Wisconsin certified Asbestos Building Inspector must be contacted to assess the material. There are inaccessible areas within the building that could not be accessed during the inspection, which could result in additional suspect material discovered.

All bulk sampling information, including a bulk sample chart and the laboratory results, are attached to this report. Please contact the EMC office if you have any questions.

A handwritten signature in black ink that reads "Jeremy Noegel". The signature is written in a cursive style with a large, looped initial 'J'.

Jeremy R. Noegel  
Certification No. All-105450

## **ASBESTOS BULK SAMPLE RESULTS**

## ASBESTOS BULK SAMPLE CHART

Sampling Date: July 3, 2019  
Sample Location: 1326/1328 E. Washington  
Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
069	SP2	Plaster - Original	Back Showroom	By AHU	None Detected
070	SP2	Plaster - Original	Back Showroom	Northwest	None Detected
071	SP2	Plaster - Original	Back Showroom	Middle	None Detected
072	SP2	Plaster - Original	Foyer	Southeast	None Detected



Environmental Management Consulting, Inc.

W7748 County Highway V, Lake Mills, WI ■ Phone: 920.648.6343 Fax: 920.648.4370 ■ [www.emc-wi.com](http://www.emc-wi.com)



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
App.E



**Customer:** Environmental Management Consulting, Inc.  
W7748 Cnty Hwy V  
Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Project:** SCS - Engineers 1326/1328E Washington 190446-01

**Lab Order ID:** 71917514  
**Analysis ID:** 71917514\_PLM  
**Date Received:** 7/5/2019  
**Date Reported:** 7/5/2019

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
069	Plaster original	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917514PLM_1	single layer plaster				Crushed
070	Plaster original	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917514PLM_2	single layer plaster				Crushed
071	Plaster original	None Detected		100% Other	Gray, Tan Non Fibrous Heterogeneous
71917514PLM_3	single layer plaster				Crushed
072	Plaster original	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917514PLM_4	single layer plaster				Crushed

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Anna Roseman (4)

Analyst

Approved Signatory



## ASBESTOS BULK SAMPLE CHART

Sampling Date: June 26, 2019  
 Sample Location: 1326/1328 E. Washington  
 Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
 Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
001	MCMLK	Carpet Adhesvie (Yellow & Black)	201	Southeast	3% Chrysotile
002	MCMLK	Carpet Adhesvie (Yellow & Black)	Stairs - 201	Northwest	3% Chrysotile
003	MCT1	1'x1' Ceiling Tile (Large Holes) & Adhesive	Main Foyer	Northwest	None Detected
004	MCT1	1'x1' Ceiling Tile (Large Holes) & Adhesive	Main Foyer	Southwest	None Detected
005		NOT SUBMITTED			Not Submitted
006	MSCT2	2'x4' Ceiling Tile (Fissured)	Stairs to 2nd	By Bottom Step	None Detected
007	MSCT3	2'x4' Ceiling Tile (Cratored)	203A	Middle of Room	None Detected
008	MSCT4	2'x2' Ceiling Tile (Textured)	201	Middle of Room	None Detected
009		NOT SUBMITTED			Not Submitted
010		NOT SUBMITTED			Not Submitted
011	SP1	Plaster - Addition	Showroom	Middle - Southwest	None Detected
012	SP1	Plaster - Addition	Showroom	Middle - North	None Detected
013	SP2	Plaster - Original	RR 2	By Window	None Detected
014	SP2	Plaster - Original	Back Showroom	Middle	None Detected
015	SP2	Plaster - Original	Back Showroom	Northwest	None Detected
016	SP3	Plaster Patch	Back Showroom	Northeast	Finish(PC): 2.0% Chrysotile Base: None Detected
017	SP2	Plaster - Original	Warehouse	Middle by Column	None Detected
018	SP2	Plaster - Original	Warehouse	North by Column	None Detected
019	MDW	Drywall & Joint Compound	201	By Restroom	None Detected
020	MDW	Drywall & Joint Compound	203B	Northeast	None Detected
021	MCLKE(1)	Exterior Door/Wall/ Window Caulk (Gray)	Exterior	Store Front by Main Entrance	None Detected
022	MCLKE(1)	Exterior Door/Wall/ Window Caulk (Gray)	Showroom	On Old Exterior Glass Block Window	3% Chrysotile
023	MCLKE(1)	Exterior Door/Wall/ Window Caulk (Gray)	Exterior Roof	North Window	5% Chrysotile
024	MCLKE(2)	Exterior Infill/Door/ Window Caulk (White)	Exterior	North on Window	None Detected
025	MCLKE(2)	Exterior Infill/Door/ Window Caulk (White)	Exterior	On Wall - North Middle	None Detected



Environmental Management Consulting, Inc.

## ASBESTOS BULK SAMPLE CHART

Sampling Date: June 26, 2019  
 Sample Location: 1326/1328 E. Washington  
 Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
 Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
026	MCLKE(2)	Exterior Infill/Door/ Window Caulk (White)	Exterior	Southwest on Infill Panel	None Detected
027	MTP	Transite	Exterior	Middle East by Entrance	30% Chrysotile
028	MPP	Textured Paint	Exterior	Southeast by Receiving	None Detected
029	MPP	Textured Paint	Exterior	Southwest	None Detected
030	MPP	Textured Paint	Exterior - Roof	Northeast on Brick	None Detected
031	MCLK(SP)	Spancrete Caulk	Showroom	Middle - North	3% Chrysotile
032	MPM(E)	Exterior Wall Panel Adhesive	Exterior	Southwest by Door	5% Chrysotile
033	MPM(E)	Exterior Wall Panel Adhesive	Exterior	Southwest by Door	5% Chrysotile
034	MFB	Fiberboard	Old Oil Dump Room	Middle	None Detected
035	MFB	Fiberboard	West Warehouse	Southwest	None Detected
036	MPT	Tar Paper on Warehouse Ceiling/Glass Block	Warehouse	North - Middle	None Detected
037	MPT	Tar Paper on Warehouse Ceiling/Glass Block	Warehouse	North - Middle	None Detected
038	MFI	Foam Insulation	Warehouse	By East Door	None Detected
039		NOT SUBMITTED			Not Submitted
040	MCTM(1)	Ceramic Floor Tile Grout & Adhesive	201	By Entrance	Ceramic Tile: None Detected Grout: None Detected Adhesive: 5% Chrysotile Leveling: None Detected
041	MCTM(2)	Ceramic Wall Base Grout & Adhesive	201	Southeast Corner	None Detected
042	MCTM(2)	Ceramic Wall Base Grout & Adhesive	201	Northwest Corner	None Detected
043	MDPP	Brick Damp Proofing Tar Paper	200	By Entrance to 203	None Detected
044	MDPP	Brick Damp Proofing Tar Paper	200	By Entrance to 203	None Detected
045	MBI	Blown-In Insulation	201	Northeast Corner	None Detected
046	MBI	Blown-In Insulation	201	Northeast Corner	None Detected
047	MPT	Glass Block Tar Paper Insulation	Showroom	North by Glass Block Window	None Detected
048	MPT	Glass Block Tar Paper Insulation	Showroom	North by Glass Block Window	None Detected
049	TPT	Pipe Tape (Gray)	Exterior	Southeast by Main Entrance	None Detected



Environmental Management Consulting, Inc.

## ASBESTOS BULK SAMPLE CHART

Sampling Date: June 26, 2019  
 Sample Location: 1326/1328 E. Washington  
 Sampling Personnel: Jeremy R. Noegel

EMC Project Number: 190446-01  
 Inspector Number: All-105450

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
050	MCLKE(3)	Exterior Wall/Sidewalk Caulk (Black)	Exterior	South Middle	None Detected
051	MCLKE(3)	Exterior Wall/Sidewalk Caulk (Black)	Exterior	Southeast	None Detected
052	MCLK(SP)	Spancrete Caulk	201 Stairs	Middle - West	3% Chrysotile
053	MF12NC	12" Floor Tile (Brown & Cream)	Stairs to 2nd	4 Stairs from Top	None Detected
054	MCLKI(3)	Interior Door Caulk	201 Stairs	On Lower Door	3% Chrysotile
055	MPM(F)	Foam Wall Insulation Adhesive on Concrete	201	Southwest	None Detected
056	MPM(F)	Foam Wall Insulation Adhesive on Concrete	201	Southwest	None Detected
057	MCLKI(3)	Garage/Wall Silver Caulk	Warehouse West	Northwest	None Detected
058	MCLKI(3)	Garage/Wall Silver Caulk	Warehouse West	Northwest	None Detected
059	MCLKI(2)	Duct Caulk (Brown)	Warehouse West	Middle - South	5% Chrysotile
060	MCLKI(2)	Duct Caulk (Brown)	Warehouse West	Middle - South	5% Chrysotile
061	MCLKI(1)	Roof Drain Caulk (White)	Warehouse	Middle - North	None Detected
062	TDI	Interior Duct Insulation Fiberglass with Coating	Back Shop Room	By Ceiling AHU	None Detected
063	TDI	Interior Duct Insulation Fiberglass with Coating	Back Shop Room	By Ceiling AHU	None Detected
064	MRM	Roof Membrane & Sublayers	Roof	West - Middle Over West Warehouse	None Detected
065	MRM	Roof Membrane & Sublayers	Roof	Southeast over Foyer	None Detected
066	MRM	Roof Membrane & Sublayers	Roof	Middle - North Over Warehouse	Tar: 3% Chrysotile Insulation: None Detected
067	MRM(1)	Roof Tar Paper	West Warehouse	Over Restroom/etc	None Detected
068	MRM(1)	Roof Tar Paper	West Warehouse	Over Restroom/etc	None Detected



Environmental Management Consulting, Inc.





# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
001	Carpet adhesive (yellow & black)	3% Chrysotile		97% Other	Yellow, Black Non Fibrous Homogeneous
71917075PLM_1					Dissolved
002	Carpet adhesive (yellow & black)	3% Chrysotile		97% Other	Yellow, Black Non Fibrous Homogeneous
71917075PLM_2					Dissolved
003 - A	1"x1" CT (large holes) & adh	None Detected	98% Cellulose	2% Other	Brown, White Fibrous Heterogeneous
71917075PLM_3	ceiling tile				Teased
003 - B	1"x1" CT (large holes) & adh	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_65	adhesive				Dissolved
004 - A	1"x1" CT (large holes) & adh	None Detected	98% Cellulose	2% Other	Brown, White Fibrous Heterogeneous
71917075PLM_4	ceiling tile				Teased
004 - B	1"x1" CT (large holes) & adh	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_66	adhesive				Dissolved
006	2'x4' CT (fissure)	None Detected	60% Cellulose 30% Fiber Glass	6% Perlite 4% Other	Gray, White Fibrous Heterogeneous
71917075PLM_5					Teased
007	2'x4' CT (...)	None Detected	45% Cellulose 45% Fiber Glass	7% Perlite 3% Other	Gray, White Fibrous Heterogeneous
71917075PLM_6					Teased

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Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
008	2'x2' CT (textured)	None Detected	50% Cellulose 45% Fiber Glass	3% Perlite 2% Other	Gray, White Fibrous Heterogeneous
71917075PLM_7					Teased
011 - A	Plaster - addition	None Detected		100% Other	White Non Fibrous Heterogeneous
71917075PLM_8	finish				Crushed
011 - B	Plaster - addition	None Detected		70% Perlite 30% Other	Gray Non Fibrous Heterogeneous
71917075PLM_67	base				Crushed
012 - A	Plaster - addition	None Detected		100% Other	White Non Fibrous Heterogeneous
71917075PLM_9	finish				Crushed
012 - B	Plaster - addition	None Detected		70% Perlite 30% Other	Gray Non Fibrous Heterogeneous
71917075PLM_68	base				Crushed
013 - A	Plaster original	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_10	finish				Crushed
013 - B	Plaster original	None Detected	2% Hair	98% Other	Gray Non Fibrous Heterogeneous
71917075PLM_69	base				Crushed
014	Plaster original	None Detected	3% Hair	97% Other	Gray Non Fibrous Heterogeneous
71917075PLM_11	single layer plaster				Crushed

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Heather Davide (84)

Analyst

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# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
015	Plaster original	None Detected	3% Hair	97% Other	Gray Non Fibrous Heterogeneous
71917075PLM_12	single layer plaster				Crushed
016 - A	Plaster original	3% Chrysotile		97% Other	White Non Fibrous Homogeneous
71917075PLM_13	finish				Crushed
016 - B	Plaster original	None Detected	3% Hair	97% Other	Gray Non Fibrous Heterogeneous
71917075PLM_70	base				Crushed
017	Plaster original	None Detected	3% Hair	97% Other	Gray Non Fibrous Heterogeneous
71917075PLM_14	single layer plaster				Crushed
018	Plaster original	None Detected	2% Cellulose	98% Other	Gray Non Fibrous Heterogeneous
71917075PLM_15	single layer plaster				Crushed
019 - A	Drywall & joint compound	None Detected	10% Cellulose 5% Fiber Glass	85% Other	Gray Non Fibrous Homogeneous
71917075PLM_16	drywall				Crushed
019 - B	Drywall & joint compound	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_71	joint comopound				Crushed
019 - C	Drywall & joint compound	None Detected	10% Cellulose 5% Fiber Glass	85% Other	Gray, White Non Fibrous Heterogeneous
71917075PLM_72	composite				Crushed

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Heather Davide (84)

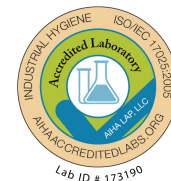
Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
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 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
020 - A	Drywall & joint compound	None Detected	10% Cellulose 5% Fiber Glass	85% Other	Gray Non Fibrous Homogeneous
71917075PLM_17	<i>drywall</i>				Crushed
020 - B	Drywall & joint compound	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_73	<i>joint compound</i>				Crushed
020 - C	Drywall & joint compound	None Detected	10% Cellulose 5% Fiber Glass	85% Other	Gray, White Non Fibrous Heterogeneous
71917075PLM_74	<i>composite</i>				Crushed
021	Exterior door/wll/window caulk (gray)	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917075PLM_18					Crushed, Dissolved
022	Exterior door/wll/window caulk (gray)	3% Chrysotile		97% Other	Gray Non Fibrous Homogeneous
71917075PLM_19					Dissolved
023	Exterior door/wll/window caulk (gray)	5% Chrysotile		95% Other	Gray, Tan Non Fibrous Homogeneous
71917075PLM_20					Dissolved
024	Exterior in fill/door/window caulk (white)	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_21					Crushed, Ashed
025	Exterior in fill/door/window caulk (white)	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_22					Crushed, Ashed

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Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
026	Exterior in fill/door/window caulk (white)	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_23					Crushed, Ashed
027	Transite	30% Chrysotile		70% Other	Gray Non Fibrous Homogeneous
71917075PLM_24					Teased, Crushed
028	Textured paint	None Detected		100% Other	White, Gray Non Fibrous Homogeneous
71917075PLM_25					Crushed, Ashed
029	Textured paint	None Detected		100% Other	White, Gray Non Fibrous Homogeneous
71917075PLM_26					Crushed, Ashed
030	Textured paint	None Detected		100% Other	White, Gray Non Fibrous Homogeneous
71917075PLM_27					Crushed, Ashed
031	Separate caulk	3% Chrysotile		97% Other	Tan Non Fibrous Homogeneous
71917075PLM_28					Crushed
032	Exterior wall panel adhesive	5% Chrysotile		95% Other	Brown Non Fibrous Homogeneous
71917075PLM_29					Crushed, Dissolved
033	Exterior wall panel adhesive	5% Chrysotile		95% Other	Brown Non Fibrous Homogeneous
71917075PLM_30					Crushed, Dissolved

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Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
034	Fiberboard	None Detected	98% Cellulose	2% Other	Brown, Gray Fibrous Heterogeneous
71917075PLM_31					Teased
035	Fiberboard	None Detected	98% Cellulose	2% Other	Brown Fibrous Heterogeneous
71917075PLM_32					Teased
036	Tar paper on warehouse ceiling	None Detected	40% Cellulose	60% Other	Black Non Fibrous Homogeneous
71917075PLM_33					Crushed, Dissolved
037	Tar paper on warehouse ceiling	None Detected	40% Cellulose	60% Other	Black Non Fibrous Homogeneous
71917075PLM_34					Crushed, Dissolved
038	Foam insulation	None Detected		100% Other	Yellow Non Fibrous Homogeneous
71917075PLM_35					Crushed, Ashed
040 - A	Ceramic floor tile grout & adh	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_36	ceramic tile				Crushed
040 - B	Ceramic floor tile grout & adh	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917075PLM_75	grout				Crushed
040 - C	Ceramic floor tile grout & adh	5% Chrysotile		95% Other	Black Non Fibrous Homogeneous
71917075PLM_76	adhesive				Dissolved

**Disclaimer:** Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
040 - D	Ceramic floor tile grout & adh	None Detected		100% Other	White Non Fibrous Homogeneous
71917075PLM_77	leveling				Crushed
041 - A	Ceramic wall base grout & adhesive	None Detected		100% Other	White, Red Non Fibrous Homogeneous
71917075PLM_37	ceramic tile				Crushed
041 - B	Ceramic wall base grout & adhesive	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917075PLM_78	grout				Crushed
042 - A	Ceramic wall base grout & adhesive	None Detected		100% Other	White, Red Non Fibrous Homogeneous
71917075PLM_38	ceramic tile				Crushed
042 - B	Ceramic wall base grout & adhesive	None Detected		100% Other	Gray Non Fibrous Heterogeneous
71917075PLM_79	grout				Crushed
043	Brick damp proofing tar paper	None Detected	70% Cellulose	30% Other	Black Fibrous Heterogeneous
71917075PLM_39					Teased, Crushed
044	Brick damp proofing tar paper	None Detected	70% Cellulose	30% Other	Black Fibrous Heterogeneous
71917075PLM_40					Teased, Crushed
045	Blow in insulation	None Detected	98% Fiber Glass	2% Other	White Fibrous Heterogeneous
71917075PLM_41					Teased

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Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
046	Blow in insulation	None Detected	98% Fiber Glass	2% Other	White Fibrous Heterogeneous
71917075PLM_42					Teased, Crushed
047	Glass block tar paper insulation	None Detected	40% Cellulose 20% Fiber Glass	40% Other	Black, Brown Fibrous Heterogeneous
71917075PLM_43					Teased, Crushed
048	Glass block tar paper insulation	None Detected	40% Cellulose 20% Fiber Glass	40% Other	Black, Brown Fibrous Heterogeneous
71917075PLM_44					Teased, Crushed
049	Pipe tape (gray)	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917075PLM_45					Crushed, Dissolved
050	Exterior wall/side walk caulk (black)	None Detected	15% Cellulose	85% Other	Black Non Fibrous Homogeneous
71917075PLM_46					Crushed, Dissolved
051	Exterior wall/side walk caulk (black)	None Detected	15% Cellulose	85% Other	Black Non Fibrous Homogeneous
71917075PLM_47					Crushed, Dissolved
052	Spancrate caulk	3% Chrysotile		97% Other	White, Tan Non Fibrous Homogeneous
71917075PLM_48					Crushed, Dissolved
053 - A	12" Floor tile (brown)	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_49	tile				Crushed, Ashed

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Heather Davide (84)

Analyst

Approved Signatory





# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
053 - B	12" Floor tile (brown)	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_80	mastic				Dissolved
054	Interior door cream caulk	3% Chrysotile		97% Other	Gray Non Fibrous Homogeneous
71917075PLM_50					Crushed, Dissolved
055	Foam wall insulation	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_51					Crushed, Ashed
056	Adhesive on concrete	None Detected		100% Other	Brown Non Fibrous Homogeneous
71917075PLM_52					Crushed, Ashed
057	Silver wall caulk	None Detected		100% Other	Silver Non Fibrous Homogeneous
71917075PLM_53					Crushed, Ashed
058	Garage door caulk	None Detected		100% Other	Gray Non Fibrous Homogeneous
71917075PLM_54					Crushed, Ashed
059	Duct caulk (brown)	5% Chrysotile		95% Other	Brown Non Fibrous Homogeneous
71917075PLM_55					Crushed, Dissolved
060	Duct caulk (brown)	5% Chrysotile		95% Other	Brown Non Fibrous Homogeneous
71917075PLM_56					Crushed, Dissolved

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Heather Davide (84)

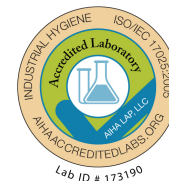
Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
061	Roof draink caulk (white)	None Detected	7% Cellulose	93% Other	White Non Fibrous Homogeneous
71917075PLM_57					Crushed, Ashed
062	Interior duct insulation fiberglass with coating	None Detected	98% Other	2% Other	Black Fibrous Heterogeneous
71917075PLM_58					Teased
063	Interior duct insulation fiberglass with coating	None Detected	98% Other	2% Other	Black Fibrous Heterogeneous
71917075PLM_59					Teased
064 - A	Roof membrane & sub layers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917075PLM_60	membrane				Crushed, Ashed
064 - B	Roof membrane & sub layers	None Detected	85% Cellulose	15% Other	Black Fibrous Heterogeneous
71917075PLM_81	felt on foam				Teased, Crushed
065 - A	Roof membrane & sub layers	None Detected		100% Other	Black Non Fibrous Homogeneous
71917075PLM_61	membrane				Crushed, Ashed
065 - B	Roof membrane & sub layers	None Detected	30% Cellulose	70% Other	Black Non Fibrous Homogeneous
71917075PLM_82	tar				Dissolved
065 - C	Roof membrane & sub layers	None Detected	90% Cellulose 8% Fiber Glass	2% Other	Black Fibrous Heterogeneous
71917075PLM_83	felt on foam				Teased, Crushed

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Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

By Polarized Light Microscopy  
 EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
 App.E



**Customer:** Environmental Management  
 Consulting, Inc.  
 W7748 Cnty Hwy V  
 Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Lab Order ID:** 71917075  
**Analysis ID:** 71917075\_PLM  
**Date Received:** 6/28/2019  
**Date Reported:** 7/1/2019

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
066 - A	Roof membrane & sub layers	3% Chrysotile		97% Other	Black, Gray Non Fibrous Homogeneous
71917075PLM_62	tar				Crushed, Dissolved
066 - B	Roof membrane & sub layers	None Detected	98% Cellulose	2% Other	Brown Fibrous Heterogeneous
71917075PLM_84	insulation				Teased
067	Roof tar paper	None Detected	80% Cellulose	20% Other	Black Fibrous Heterogeneous
71917075PLM_63					Crushed, Dissolved
068	Roof tar paper	None Detected	80% Cellulose	20% Other	Black Fibrous Heterogeneous
71917075PLM_64					Crushed, Dissolved

**Disclaimer:** Due to the nature of the EPA 600 method, asbestos may not be detected in samples containing low levels of asbestos. We strongly recommend that analysis of floor tiles, vermiculite, and/or heterogeneous soil samples be conducted by TEM for confirmation of "None Detected" by PLM. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAL. This report may not be used by the client to claim product endorsement by NVLAP or any other agency of the U.S. government. Analytical uncertainty available upon request. Scientific Analytical Institute participates in the NVLAP Proficiency Testing program. Unless otherwise noted blank sample correction was not performed. Estimated MDL is 0.1%.

Heather Davide (84)

Analyst

Approved Signatory



# Bulk Asbestos Analysis

Point Counting Procedure  
By Polarized Light Microscopy  
EPA Method: 600/R-93/116 and 40 CFR, Part 763, Subpart E,  
App.E



**Customer:** Environmental Management Consulting, Inc.  
W7748 Cnty Hwy V  
Lake Mills, WI 53551

**Attn:** Jeremy Noegel

**Project:** SCS Engineers 1326/1328 E. Washington 190446-01

**Lab Order ID:** 71917249  
**Analysis ID:** 71917249\_PT4  
**Date Received:** 7/1/2019  
**Date Reported:** 7/2/2019

Sample ID	Description	Asbestos	Fibrous Components	Non-Fibrous Components	Attributes
Lab Sample ID	Lab Notes				Treatment
016 - A	Plaster original	2.0% Chrysotile		98% Other	White Non Fibrous Homogeneous
71917249PT4_1	finish				Crushed

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Heather Davide (1)

Analyst

Approved Signatory

71917249

**Scientific Analytical Institute**

**From:** Jeremy Noegel <jnoegel@emc-wi.com>  
**Sent:** Monday, July 1, 2019 4:40 PM  
**To:** Scientific Analytical Institute  
**Subject:** Re: SAI: 71917075\_PLM Results (SCS Engineers 1326/1328 E. Washington 190446-01)

Hello,

Could I get a point count on 16A please? 24 hour turnaround.

Thank you,

Jeremy

Sent from my iPhone

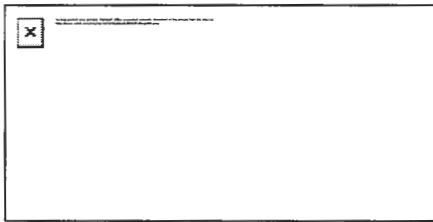
On Jul 1, 2019, at 3:16 PM, Scientific Analytical Institute <[lab@sailab.com](mailto:lab@sailab.com)> wrote:

Jeremy,

Attached is your analytical report for SAI Lab Order ID 71917075\_PLM (SCS Engineers 1326/1328 E. Washington 190446-01). If you have any questions, please feel free to give us a call.

Thank you,

<image001.jpg>



**London Simms**  
Sample Coordinator

**Scientific Analytical Institute, Inc.**  
4604 Dundas Drive  
Greensboro NC 27407

<image002.png> [lab@sailab.com](mailto:lab@sailab.com)  
<image003.png> [www.sailab.com](http://www.sailab.com)

<image004.png> Office: 336-292-3888  
<image005.png> Fax: 336-292-3313

<image006.png>  
<image007.png>

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Lab Order ID:

11917075



Environmental Management Consulting, Inc.

E.M.C., Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
920-648-6343

Scientific Analytical Institute  
4604 Dundas Drive  
Greensboro, NC 27407  
877-292-3888



EMC Contact: <u>Jeremy Noegel</u>	<b>Test Type</b>	<b>Turnaround Time</b>	
Email : emc@emc-wi.com	PLM <input checked="" type="checkbox"/>	12 Hours <input type="checkbox"/>	120 Hours <input type="checkbox"/>
Sample Location: <u>1326/1328 E. Washgton</u>	Point Count <input type="checkbox"/>	24 Hours <input type="checkbox"/>	144+ Hours <input type="checkbox"/>
Sample Date: <u>6-26-19</u>	PCM <input type="checkbox"/>	48 Hours <input type="checkbox"/>	
Sampling Personnel: <u>JRW</u>	TEM <input type="checkbox"/>	72 Hours <input checked="" type="checkbox"/>	
Inspector Number: <u>APL-609450</u>	Lead <input type="checkbox"/>	96 Hours <input type="checkbox"/>	
Project Name/#: <u>SCS Engineers 1326/1328 E. Washgton 190446-01</u>			

Sample Number	Homo. Code	SR/IC	Enter into Laboratory "Sample Description" Field			Lab Results
			Material Description	Room	Specific Location or Volume/Area	
001	MCMUK	<input type="checkbox"/>	Carpet adhesive	201	S.E.	
002	↓	<input type="checkbox"/>	(yellow + black)	stairs - 201	N.W.	
003	MCT1	<input type="checkbox"/>	1 1/2' C.T.	Main Foyer	N.W.	
004	↓	<input type="checkbox"/>	(large holes) + ash	↓	S.W.	
<del>005</del>	<del>ASCT1</del>	<del><input type="checkbox"/></del>	<del>2'x4'</del>	<del>↓</del>	<del>↓</del>	
006	MSCT2	<input type="checkbox"/>	2'x4' C.T. (fissured)	stairs to 2nd	by bottom step	
007	MSCT3	<input type="checkbox"/>	2'x4' C.T. (cracked)	203A	middle of row	
008	MSCT4	<input type="checkbox"/>	2'x4' C.T. (textured)	201	" "	
<del>009</del>	<del>MSCT5</del>	<del><input type="checkbox"/></del>	<del>1 1/2' C.T. (smooth)</del>	<del>↓</del>	<del>↓</del>	
011	SP1	<input type="checkbox"/>	plaster-addition	Show room	middle - <del>East</del> S.W.	
012	↓	<input type="checkbox"/>	↓	↓	middle - North	
013	SP2	<input type="checkbox"/>	plaster-original	R2 2	by window	
014	↓	<input type="checkbox"/>	Back Show room	↓	middle	
015	↓	<input type="checkbox"/>	↓	↓	N.W.	
016	↓	<input type="checkbox"/>	↓	↓	N.E.	
017	↓	<input type="checkbox"/>	↓	Warehouse	middle by column	
018	↓	<input type="checkbox"/>	↓	↓	North by column	
019	MSW	<input checked="" type="checkbox"/>	drywall +	201	by restroom	
020	↓	<input checked="" type="checkbox"/>	joint compound	203B	N.E.	

Accepted   
Rejected

Total # of Samples 41

Relinquished by	Date/Time	Received by	Date/Time
<u>Noegel</u>	<u>6-27 19</u>	<u>Bohmler</u>	<u>6/28 1030 AM</u>

Please Email To:

- bfreesman@emc-wi.com
- jbsushman@emc-wi.com
- jjozwiakowski@emc-wi.com
- nbateson@emc-wi.com
- proche@emc-wi.com
- jschneider@emc-wi.com
- rhaveman@emc-wi.com
- jnoegel@emc-wi.com
- mfreeman@emc-wi.com
- lwinslow@emc-wi.com
- tbushman@emc-wi.com
- cmertens@emc-wi.com
- emc@emc-wi.com

Page 1 of 1

Lab Order ID:

7191705



Environmental Management Consulting, Inc.

E.M.C., Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
920-648-6343

Scientific Analytical Institute  
4604 Dundas Drive  
Greensboro, NC 27407  
877-292-3888



EMC Contact:	<b>Test Type</b>	<b>Turnaround Time</b>		
Email : emc@emc-wi.com	PLM <input type="checkbox"/>	12 Hours <input type="checkbox"/>	120 Hours <input type="checkbox"/>	
Sample Location:	Point Count <input type="checkbox"/>	24 Hours <input type="checkbox"/>	144+ Hours <input type="checkbox"/>	
Sample Date:	PCM <input type="checkbox"/>	48 Hours <input type="checkbox"/>		
Sampling Personnel:	TEM <input type="checkbox"/>	72 Hours <input type="checkbox"/>		
Inspector Number:	Lead <input type="checkbox"/>	96 Hours <input type="checkbox"/>		
Project Name/#:				

Sample Number	Form Code	SR/IC	Enter into Laboratory "Sample Description" Field			Lab Results
			Material Description	Room	Specific Location or Volume/Area	
021	MCLPE(1)	<input type="checkbox"/>	exterior door/	exterior	store front by main entrance	
022	↓	<input type="checkbox"/>	wall/window caulk	Showroom	on old exterior glass block window	
023	↓	<input type="checkbox"/>	(gray)	exterior roof	North window	
024	MCLPE(2)	<input type="checkbox"/>	exterior infill/door	exterior	North on window	
025	↓	<input type="checkbox"/>	window caulk	↓	on wall - North middle	
026	↓	<input type="checkbox"/>	(white)	↓	S.W. on infill panel	
027	MTP	<input type="checkbox"/>	transite	↓	middle East by entrance	
028	MPP	<input type="checkbox"/>	textured paint	exterior	S.E. by receiving	
029	↓	<input type="checkbox"/>	↓	↓	S.W.	
030	↓	<input type="checkbox"/>	↓	↓ - roof	N.E. on brick	
031	MCLPE(3)	<input type="checkbox"/>	spewerite caulk	Showroom	middle - North	
032	MPLCE	<input type="checkbox"/>	exterior wall	exterior	S.W. by door	
033	↓	<input type="checkbox"/>	panel adhesive	↓	↓	
034	MGB	<input type="checkbox"/>	fiberboard	old oil dng room	middle	
035	↓	<input type="checkbox"/>	↓	West Warehouse	S.E.	
036	<del>MPLCE</del>	<input type="checkbox"/>	tar paper on	Warehouse	North - middle	
037	MPTV	<input type="checkbox"/>	warehouse ceiling	↓	↓	
038	MPI	<input type="checkbox"/>	foam insulation	↓	by East door	
039	↓	<input type="checkbox"/>	↓	↓	↓	
040	MCPML(1)	<input type="checkbox"/>	Ceramic floor tile	201	by entrance	

Grout & ad h

Total # of Samples \_\_\_\_\_

Relinquished by	Date/Time	Received by	Date/Time

Please Email To:

- bfremman@emc-wi.com
- jbsushman@emc-wi.com
- jjozwiakowski@emc-wi.com
- nbateson@emc-wi.com
- proche@emc-wi.com
- jschneider@emc-wi.com
- rhaveman@emc-wi.com
- jnoegel@emc-wi.com
- mfreeman@emc-wi.com
- lwinslow@emc-wi.com
- tbushman@emc-wi.com
- cmertens@emc-wi.com
- emc@emc-wi.com

Page 2 of 7

Lab Order ID:

71917075



Environmental Management Consulting, Inc.

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Lake Mills, WI 53551  
920-648-6343

Scientific Analytical Institute  
4604 Dundas Drive  
Greensboro, NC 27407  
877-292-3888



EMC Contact:	<b>Test Type</b>	<b>Turnaround Time</b>	
Email : emc@emc-wi.com	PLM <input type="checkbox"/>	12 Hours <input type="checkbox"/>	120 Hours <input type="checkbox"/>
Sample Location:	Point Count <input type="checkbox"/>	24 Hours <input type="checkbox"/>	144+ Hours <input type="checkbox"/>
Sample Date:	PCM <input type="checkbox"/>	48 Hours <input type="checkbox"/>	
Sampling Personnel:	TEM <input type="checkbox"/>	72 Hours <input type="checkbox"/>	
Inspector Number:	Lead <input type="checkbox"/>	96 Hours <input type="checkbox"/>	
Project Name/#:			

Sample Number	E.M.C. Code	SR/IC	Enter into Laboratory "Sample Description" Field			Lab Results
			Material Description	Room	Specific Location or Volume/Area	
041	MEM(2)	<input type="checkbox"/>	ceramic wall <sup>brick</sup>	201	S.E. corner	
042	↓	<input type="checkbox"/>	blue adhesive <sup>glue</sup>	A	N.W. corner	
043	MDPP	<input type="checkbox"/>	brick damp	200	by entrance to 203	
044	↓	<input type="checkbox"/>	probing tar paper	↓	↓	
045	MBI	<input type="checkbox"/>	blown in	201	N.E. corner	
046	↓	<input type="checkbox"/>	insulation	↓	↓	
047	MDT	<input type="checkbox"/>	glass block tar	showroom	North by glass block window	
048	↓	<input type="checkbox"/>	paper in insulation	↓	↓	
<del>049</del>	<del>MDT</del>	<input type="checkbox"/>	~~~~~			
049	TPT	<input type="checkbox"/>	pipe top (gray)	exterior	S. E by main entrance	
050	MEM(3)	<input type="checkbox"/>	exterior wall	↓	South middle	
051	↓	<input type="checkbox"/>	side walk caulk (black)	↓	S.E.	
052	MEM(sp)	<input type="checkbox"/>	sp concrete caulk	<sup>201 stairs</sup> <del>201 stairs</del>	middle - West	
053	MEM(2)	<input type="checkbox"/>	12" floor tile (brown)	stairs to 2 <sup>nd</sup>	4 stairs from top	
054	MEM(3)	<input type="checkbox"/>	interior door caulk <sup>cream</sup>	201 stairs	on lower door	
055	MEM(F)	<input type="checkbox"/>	foam <sup>wall</sup> insulation	201	S.W.	
056	↓	<input type="checkbox"/>	adhesive on concrete	↓	↓	
057	MEM(4)	<input type="checkbox"/>	silver wall caulk	Warehouse	N.W.	
058	MEM(3)	<input type="checkbox"/>	garage door caulk	West warehouse	North	

Total # of Samples \_\_\_\_\_

Relinquished by	Date/Time	Received by	Date/Time

Please Email To:

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## ASBESTOS BULK SAMPLE CHART

Sampling Date: March 14, 2016  
 Sample Location: 1326/1328 E. Washington  
 Sampling Personnel:

EMC Project Number: 190446-01  
 Inspector Number:

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
1720660	MF12CN	White Tile/Yellow Mastic	Showroom	Entry	None Detected
1720661	MF12TN	Dark Beige Tile/ Black Mastic	Showroom		None Detected
1720662	MF12TN	Light Beige Tile/ Black Mastic	Back Showroom	Near Bathroom	None Detected
1720663	MT12TN	Dark Beige Tile/ Black Mastic	Bath	Threshold	Black Mastic: 10% Chrysotile
1720664	MF12CN	Beige Tile/Yellow Mastic	Bath	Threshold	None Detected
1720665	MV4K	Black Vinyl/Brown Glue	Restroom 1		None Detected
1720666	MSCT2	Brown Fibrous/White Paint	Bath	Ceiling Tile	None Detected
1720667		NOT SUBMITTED			Not Submitted
1720668		Gray Granular/ Glass Black Mastic	Showroom	Glass Block Mortar	None Detected
1720669	MF12TN	Gray Tile/Black Mastic	Showroom		Black Mastic: 10% Chrysotile
1720670	MF12CN	White Tile/Black Mastic/Yellow Mastic	Showroom		Black Mastic: 10% Chrysotile
1720671	MF12TN	Gray Tile/Black Mastic	Showroom		Black Mastic: 10% Chrysotile
1720672	MF12CN	White Tile/Black Mastic	Showroom		Black Mastic: 10% Chrysotile
1720673	SP1	White Granular/Paint	Showroom		None Detected
1720674	MWP	Gray Granular	Showroom	Brick Mortar & Mastic	None Detected
1720675	TPW	Black Resin/Black Pipe Wrap	Restroom 1	Southwest	10% Chrysotile
1720676	MPG(1)	Dark Gray Granular	Entry	Window Glaze	10% Chrysotile
1720677	MF9	Green Tile/Black Mastic	Entry		Green Tile: 10% Chrysotile
1720678	MCML	Brown Carpet & Pile Dirt	Entry		None Detected
1720679	SP2	White Granular	Entry	Wall Material	None Detected
1720680	MPG(1)	Tan Granular		Window Glaze	None Detected
1720681	MF12NT	Gray-Brown Tile/ Yellow Mastic	Center	Brown Floor Tile	None Detected
1720682	MF12NT	Gray Tile/Yellow Mastic	Center	Light Floor	None Detected
1720683	MF9	Orange-Tan Tile/ Yellow Mastic	Back Showroom		None Detected
1720684	MF9	Orange-Tan Tile/ Yellow Mastic	Back Showroom	Near Wall	None Detected



Environmental Management Consulting, Inc.

## ASBESTOS BULK SAMPLE CHART

Sampling Date: March 14, 2016  
 Sample Location: 1326/1328 E. Washington  
 Sampling Personnel:

EMC Project Number: 190446-01  
 Inspector Number:

SAMPLE NUMBER	HOMO CODE	MATERIAL DESCRIPTION	ROOM/ AREA	SPECIFIC SAMPLE LOCATION	LAB RESULTS
1720685	MPG(1)	White Granular	Dock	Window Glaze	None Detected
1720686	MPG(1)	Beige Granular	Dock	Window Glaze	None Detected
1720687	MF12NC	Brown Vinyl/Brown Mastic	Stairs	Stair Tile	None Detected
1720688	MF9	Tan Tile/Black Mastic/Black Felt	2nd Floor	Tan Tile	Tan Tile: 10% Chrysotile
1720689	SP2	White Granular/Red Paint	2nd Floor	Wall Coat	None Detected
1720690	SP2	Brown Granular	2nd Floor	Brown Wall Scratch	None Detected
1720691	MCTM(1)	Gray-White Granular/ Yellow Resin	201	Flooring Surface	None Detected
1720692	MF9	Tan Tile/Black Mastic/ Black Felt	200	Tan Tile & Mastic	Tan Tile: 10% Chrysotile
1720693	MPG(1)	Light Gray Granular	2nd Floor	Window Glaze	10% Chrysotile
1720694	MWP	Gray Granular	2nd Floor	Wall Surface	None Detected
1720695	MRF	Black Granular/Mastic	202	Brick Mortar & Mastic	Mastic: 10% Chrysotile
1720696	MWP	Light Gray Granular/ Gray Granular	202	East Wall Surface	None Detected
1720697	MSCT4	Gray Fibrous/White Paint	202	New 2x2 Ceiling Tile	None Detected
1720698	MF12CN	White Vinyl/Black Mastic	202 Restroom	Bath Tile	Black Mastic: 10% Chrysotile
1720699	MCMLK	Gray Carpet/Black Mastic/Pile Dirt	202	Middle	None Detected
1720700	MV4K	Black Vinyl/Paper Backing/Glue	202 Restroom	Black Vinyl Base	None Detected
1720701	MRF	Black Tar Resin	203A	Wall Surface Coat	10% Chrysotile
1720702	MSCT2	Gray Fibrous/White Paint	203A	Large Ceiling Tile	None Detected
1720703	MRM	Black Rubber Membrane	Roof	Wall Tar	None Detected
1720704	MRP	Black Resin	Roof	Pipe Tra	10% Chrysotile
1720705	MPW	Black Resin	Roof	Parapet Joint Patch	10% Chrysotile
1720706	MPW	Black Resin	Roof	Parapet Joint Patch	10% Chrysotile
1720707	MPW	Black Resin	Roof	Black Patch on Parapet Crown	10% Chrysotile
1720708	MRM	Black Resin	Roof	Rubber Patch	None Detected



# Analytical Laboratory Report

May 13, 2016

Report ID: 9599091

SCOTT TEUSCHER  
DANE COUNTY RISK MANAGEMENT  
RM 425-CCB  
210 MARTIN LUTHER KING JR. BLVD  
MADISON WI 53709

Company Number: 6217

## MESSNER PROJECT

Date Collected: 3/14/2016  
Date Received: 4/1/2016  
Date Reported: 5/13/2016

Analyst: **JOHN KNIGHT**  
John.Knight@slh.wisc.edu

Reviewer: **LEROY DOBSON**  
LeRoy.Dobson@slh.wisc.edu

The report was reviewed and authorized by the individuals listed above.

If you have any questions regarding this report please feel free to contact the laboratory via email (as listed above) or via telephone at 800-446-0403

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720660</b>	WHITE TILE / YELLOW MASTIC	
201-SHOWROOM ENTRY WHITEL TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin. ///	
	(Analysis Date: 5/9/16)	
<b>1720661</b>	DK BEIGE TILE / BLACK MASTIC	
202-SHOWROOM DARKER TILE/MAT		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Dk BEIGE TILE: mineral grain & resin binder. / BLACK MASTIC: resin.	
<b>1720662</b>	LT BEIGE TILE / BLACK MASTIC	
203-LIGHT TILE NEAR BATHROOM		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Lt BEIGE TILE: mineral grain & resin binder. / BLACK MASTIC: resin.	
<b>1720663</b>	DK BEIGE TILE / BLACK MASTIC	
204-DARKER TILE BATH THRESH		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. /	
	Dk BEIGE TILE: mineral grain & resin binder.	
<b>1720664</b>	BEIGE TILE / YELLOW MASTIC	
205-BATH TILE THRESHOLD		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BEIGE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720665</b>	BLACK VINYL / BROWN GLUE	
206-BLACK VINYL BASE & MASTIC		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BLACK VINYL: mineral grain & resin binder. / BROWN GLUE: resin.	
<b>1720666</b>	BROWN FIBROUS / WHITE PAINT	
207-BATH CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN FIBROUS: 100% plant fiber. / WHITE PAINT: resin.	
<b>1720667</b>	NO SAMPLE RECEIVED	
208-WALL CEMENT MASTIC		
No Analysis	SEE COMMENTS	
COMMENTS:	NO SAMPLE RECEIVED.	

# Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720668</b>	GRAY GRANULAR	
<b>209-GLASS BLACK MASTIC</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720669</b>	GRAY TILE / BLACK MASTIC	
<b>210-SHOWROOM DARKER TILE</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / GRAY TILE: mineral grain & resin binder.	
<b>1720670</b>	WHITE TILE/BLACK MASTIC/YELLOW MASTIC	
<b>211-SHOWROOM TILE/MASTIC LIGHT</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720671</b>	GRAY TILE / BLACK MASTIC	
<b>212-SHOWROOM DARKER TILE</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / GRAY TILE: mineral grain & resin binder.	
<b>1720672</b>	WHITE TILE / BLACK MASTIC	
<b>213-SHOWROOM TILE MASTIC LIGHT</b>		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE TILE: mineral grain & resin binder.	
<b>1720673</b>	WHITE GRANULAR / PAINT	
<b>214-SHOWROOM PAINT SCRATCH</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE GRANULAR: mineral grain matrix. / PAINT: resin.	
<b>1720674</b>	GRAY GRANULAR	
<b>215-BRICK MORTAR AND MASTIC</b>		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720675</b>	BLACK RESIN	
216-BLACK PIPE WRAP		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a resin binder.	
<b>1720676</b>	DK GRAY GRANULAR	
217-ENTRY WINDOW GLAZE		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a mineral grain matrix.	
<b>1720677</b>	GREEN TILE / BLACK MASTIC	
218-ENTRY GREEN TILE MASTIC		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	GREEN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin.	
<b>1720678</b>	BROWN CARPET & PILE DIRT	
219-ENTRY CARPET/MASTIC		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN CARPET: 90% synthetic fiber & binder. / PILE DIRT: 10% plant fiber & other particulate.	
<b>1720679</b>	WHITE GRANULAR	
220-ENTRY WALL MATERIAL		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720680</b>	TAN GRANULAR	
221-WINDOW GLAZE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720681</b>	GRAY-BROWN TILE/YELLOW MASTIC	
222-CENTER BROWN FLOOR TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY-BROWN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720682</b>	GRAY TILE / YELLOW MASTIC	
223-CENTER LIGHT FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	

## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720683</b>	ORANGE-TAN TILE / YELLOW MASTIC	
224-ORNAGE TILE/MASTIC		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	ORANGE-TAN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720684</b>	ORANGE-TAN TILE / YELLOW MASTIC	
225-ORANGE TILE NEAR WALL		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	ORANGE-TAN TILE: mineral grain & resin binder. / YELLOW MASTIC: resin.	
<b>1720685</b>	WHITE GRANULAR	
226-DOCK WINDOW GLAZE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720686</b>	BEIGE GRANULAR	
227-DOCK WINDOW GLAZE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720687</b>	BROWN VINYL / BROWN MASTIC	
228-BROWN STAIR TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BROWN VINYL: mineral grain & resin binder. / BROWN MASTIC: resin.	
<b>1720688</b>	TAN TILE/BLACK MASTIC/BLACK FELT	
229-TAN TILE 2ND FLOOR		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	TAN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin. / BLACK FELT: 90% plant fiber & tar.	
<b>1720689</b>	WHITE GRANULAR/RED PAINT	
230-2ND FLOOR WALL COAT		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	WHITE GRANULAR: mineral grain matrix. / RED PAINT: resin.	
<b>1720690</b>	BROWN GRANULAR	
231-BROWN WALL SCRATCH/2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	



## Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720691</b>	GRAY-WHITE GRANULAR/YELLOW RESIN	
232-FLOORING SURFACE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY-WHITE GRANULAR: mineral grain matrix. / YELLOW RESIN: resin.	
<b>1720692</b>	TAN TILE/BLACK MASTIC/BLACK FELT	
233-TAN TILE & MASTIC		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	TAN TILE: 10% CHRYSOTILE ASBESTOS, in a mineral grain & resin binder. / BLACK MASTIC: tar resin. / BLACK FELT: 90% plant fiber & tar resin.	
<b>1720693</b>	LT GRAY GRANULAR	
234-2ND FLOOR WINDOW GLAZE		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a mineral grain matrix.	
<b>1720694</b>	GRAY GRANULAR	
235-WALL SURFACE 2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Mineral grain matrix.	
<b>1720695</b>	BLACK GRANULAR / MASTIC	
236-BRICK MORTAR AND MASTIC		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / BLACK GRANULAR: mineral grain matrix.	
<b>1720696</b>	LT GRAY GRANULAR/GRAY GRANULAR	
237-E WALL SURFACE FLOOR 2		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Lt GRAY GRANULAR: mineral grain matrix. / GRAY GRANULAR: mineral grain matrix.	
<b>1720697</b>	GRAY FIBROUS / WHITE PAINT	
238-NEW 2X2 CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY FIBROUS: 60% plant fiber & 40% glass mineral wool. / WHITE PAINT: resin.	

# Analytical Results

LAB NUMBER	DESCRIPTION	AIR VOLUME
<b>1720698</b>	WHITE VINYL / BLACK MASTIC	
239-2ND FLOOR BATH TILE		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	BLACK MASTIC: 10% CHRYSOTILE ASBESTOS, & tar resin. / WHITE VINYL: mineral grain & resin binder.	
<b>1720699</b>	GRAY CARPET/BLACK MASTIC/PILE DIRT	
240-CARPET/MASTIC CARPET		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY CARPET: 100% synthetic fiber. / BLACK MASTIC: tar resin. / PILE DUST: miscellaneous mineral grains.	
<b>1720700</b>	BLACK VINYL/PAPER BACKING/GLUE	
241-BLACK VINYL BASE 2ND FLOOR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	BLACK VINYL: resin. / PAPER BACKING: 100% plant fiber. / GLUE: resin.	
<b>1720701</b>	BLACK TAR RESIN	
242-WALL SURFACE COAT		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, in a tar resin.	
<b>1720702</b>	GRAY FIBROUS / WHITE PAINT	
243-LARGE CEILING TILE		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	GRAY FIBROUS: 60% plant fiber, 20% glass fiber, & perlite. / WHITE PAINT: resin.	
<b>1720703</b>	BLACK RUBBER MEMBRANE	
244-ROOF WALL TAR		
Bulk Asbestos	NO ASBESTOS DETECTED	
COMMENTS:	Resin.	
<b>1720704</b>	BLACK RESIN	
245-ROOF PIPE TAR		
Bulk Asbestos	ASBESTOS DETECTED	
Chrysotile Asbestos	PRESENT	
COMMENTS:	10% CHRYSOTILE ASBESTOS, & resin.	

## Analytical Results

LAB NUMBER		
FIELD NUMBER	DESCRIPTION	AIR VOLUME
<b>1720705</b>	BLACK RESIN	
<b>246-PARAPET JOINT PATCH</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, 20% plant fiber, & tar resin.	
<b>1720706</b>	BLACK RESIN	
<b>247-PARAPET JOINT PATCH</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, & tar resin.	
<b>1720707</b>	BLACK RESIN	
<b>248-BLACK PATCH ON PARAPET CROWN</b>		
Bulk Asbestos		ASBESTOS DETECTED
Chrysotile Asbestos		PRESENT
COMMENTS:	10% CHRYSOTILE ASBESTOS, 10% glass fiber, & tar resin.	
<b>1720708</b>	BLACK RESIN	
<b>249-ROOF RUBBER PATCH</b>		
Bulk Asbestos		NO ASBESTOS DETECTED
COMMENTS:	Resin.	

Displayed values on report have been rounded; however all calculations are performed using raw, unrounded intermediate results. Please contact the laboratory if you have any questions regarding our result calculation or rounding. All samples were received by the laboratory in acceptable condition unless otherwise noted.

## Analytical Methodology

### **BULK ASBESTOS BY PLM, METHOD WA001blk:**

The analytic method used for analysis was WOHL Method WA001blk.12 BULK ASBESTOS BY PLM. If Point counting was done then WOHL method WA002blk.10 was used. This method is based upon EPA-600/M4-82-020, "Interim Method for the determination of Asbestos in Bulk Insulation Samples", 40 CFR, Part 763, Subpart E, Appendix E, and associated EPA clarifications. Based upon this method, sample results are reported for each layer analyzed. Samples which contain >1% asbestos are regulated as asbestos containing materials.

Samples are initially examined with a low power stereomicroscope. An initial estimation of the type/percent asbestos (if present) is made. A small portion of each sample (or of each layer) is mounted on a glass slide in a few drops of Cargill high dispersion RI oil. The mounted sample is then analyzed using a Polarized Light Microscope at magnifications ranging between 20X-400X. Positive identification of any asbestiform minerals present is done using a 10X Dispersion Staining objective, and measuring other specific identifying optical properties. If an asbestiform mineral is detected in a sample, its' quantity is determined either by calibrated visual estimation or by Point Counting. There are six regulated asbestos minerals which may be present. These varieties are: Chrysotile, Amosite, Tremolite, Actinolite, Crocidolite and Anthophyllite.

If the final value = ND then no asbestiform minerals were detected in the sample.

### Instrumentation:

The instruments used may include the following: Nikon SMZ-1B low power stereomicroscope; Nikon Optiphot polarizing light microscope equipped with a 10x dispersion staining objective, 2x, 10x and 20x pol objectives.

Quantitation Limit: 1% asbestos by visual estimation and 0.25% by 400 point count.

Quality control performed as required by AIHA (American Industrial Hygiene Association). Samples are retained for a period of 3 years before disposed of by laboratory unless prior arrangements have been made.

## **End of Analytical Report**

The results in this report apply only to the samples, specifically listed above, tested at the  
Wisconsin Occupational Health Laboratory,  
2601 Agriculture Drive,  
Madison WI 53718  
608-224-6210.

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**SECTION II**

**LEAD SURVEY & SAMPLE RESULTS**

## LIMITED LEAD-BASED PAINT PRE-DEMOLITION SURVEY

Per DHS and WDNR, lead based paint is defined as paint, which contains lead at or above the concentration of 0.5%, by weight or 1.0mg/cm<sup>2</sup> (XRF). OSHA considers any level of lead as criteria to enforce OSHA standards.

For demolition, architectural lead painted components may be demolished and properly disposed of as solid waste if the paint is not separated from the structural material (intact). A hazardous waste determination is not necessary if the lead paint is intact.

Recyclers should be contacted for specific work practices if structural steel is to be recycled.

In considering if site specific brick, block or concrete may be recycled, lead painted surfaces are not considered "clean" fill. DNR issued guidelines and interpretations, "Concrete Recycling and Disposal Fact Sheet" have determined that painted surfaces which do not meet the statutory definition of lead paint (HFS 163.03(61)) may be considered clean.

Lead paint scrapings and chip debris may be considered hazardous waste. Prior to disposal lead chip debris should be characterized or assumed as hazardous waste. Paint waste is considered hazardous waste if it fails the Toxicity Characteristic Teaching Procedure (TCLP) for specific toxic metals. This test determines how much toxic metal could leach from a waste and potentially migrate into the groundwater.

### Lead Paint Survey Protocol

Lead-based paint samples were taken by **chip sample/ utilizing XRF analysis through RMD's LPA-1 Lead-Based Paint Analyzer**. The protocol includes the inspection of selected surfaces according to planned demolition areas. A sufficient number of samples were gathered to be representative of typical components.

The following areas were inspected: All recyclable surfaces

**The facility was surveyed for lead paint surfaces that may be impacted during the course of the planned demolition work. Representative samples were collected of various painted areas. Painted concrete, brick, block etc. and other representative surfaces were surveyed. Not all painted surfaces were surveyed.**

All lead testing was performed under the direct supervision of a certified risk assessor in accordance with HFS 163.148(8) lead inspection guidelines.

## Lead Paint Survey Results

Lead Painted Materials:

The following building materials were determined to have lead paint by XRF:

- Green, orange, white, blue, red, cream, peach paint on brick walls – Original Building
- Gray paint on concrete safe – Original Building
- Red, cream, gray paint on plaster walls – Original Building
- Yellow paint on concrete floor – West Warehouse



**The following building materials were further confirmed to have lead paint by chip sample analysis:**

- **No chip samples were taken**

Building materials with lead paint cannot be disposed of as clean fill.

Refer to the attached Lead Paint Compliance Strategy and Concrete Recycling Fact Sheets.

**CAUTION:** According to the WDNR, the use of XRF technology is acceptable in the determination of whether or not a building material contains lead or can be considered as clean fill.

OSHA does not recognize XRF technology for the determination of employee exposure. Contractors are responsible for their own OSHA compliance for lead paint to employees.



## PARTIAL LEAD INSPECTION EMC XRF DATA SUMMARY

Client: SCS Engineers  
 Client Phone:  
 Building Name: 1326/1328 E. Washington  
 Dates of Construction:  
 Date of Sampling: July 3, 2019  
 XRF Serial Number: 1692

**Jeremy R. Noegel**  
 W7748 County Highway V, Lake Mills, WI  
**LII-105405**  
 Phone: (920) 648-6343

*Jeremy Noegel*

ROOM/ AREA	LOCATION	PAINT/ VARNISH COLOR	SUBSTRATE	CURRENT CONDITION	A/B CLASS	COMMENTS
Back Showroom	Interior Wall	Green	Brick	NA	A	
Back Showroom	Interior Wall	Orange	Brick	NA	A	
Back Showroom	Interior Wall	White	Brick	NA	A	
Back Showroom	Interior Wall	Red	Brick	NA	A	
Back Showroom	Interior Wall	Cream	Brick	NA	A	
Back Showroom	Interior Wall	Blue	Brick	NA	A	
Back Showroom	Interior Wall	Peach	Brick	NA	A	
Back Showroom	Interior Ceiling	White	Plaster	NA	B	
Foyer	Interior Wall	Tan	Plaster	NA	B	
Foyer	Interior Wall	Gray	Plaster	NA	A	
Foyer	Interior Safe	Gray	Concrete	NA	A	
Showroom	Interior Wall	White	CB	NA	B	Addition
Showroom	Interior Wall	Peach	CB	NA	B	Addition
Showroom	Interior Ceiling	White	Concrete	NA	B	Addition
Showroom	Interior Ceiling	White	Concrete	NA	B	Addition
Restroom 2	Interior Floor	Gray	Concrete	NA	B	

### Key

**Calibration:** Where calibration is indicated, the date and initial/final (I, F). Calibration is noted in this space

**Substrate:** Indicates substrate at sampling location - **B**=Block, **M**=Metal, **P**=Plaster, **D**=Drywall, **W**=Wood, **C**=Concrete, or other as described

**Condition:** Condition of paint at the time of sampling as established in assessment protocol - **I**=Intact, **P**=Poor, **F**=Fair

**Classification:** Indicates levels related to the 1.0 mg/cm<sup>2</sup> lead regulatory limit - **A**=Lead loading above 1.0 mg/cm<sup>2</sup> (lead paint), **B**=Lead loading below 1.0 mg/cm<sup>2</sup>. Paint identified at <1.0 mg/cm<sup>2</sup> may still contain measurable quantities of lead.

**Side Wall Identification (A-D)** - Perimeter wall sides were identified with letters A, B, C and D. Side A is the entry door side. Side B, C and D are identified clockwise from side A as one faces the dwelling; if entry was unclear, directional indications were used (N, S, E, W).

Certified Lead Company  
 Environmental Management Consulting  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 Cert #DHS-13160  
 Phone: (920) 648-6343

## EMC XRF DATA SUMMARY

Client: SCS Engineers  
 Client Phone:  
 Building Name: 1326/1328 E. Washington  
 Dates of Construction:  
 Date of Sampling: July 3, 2019  
 XRF Serial Number: 1692

Jeremy R. Noegel  
 W7748 County Highway V, Lake Mills, WI  
 LII-105405  
 Phone: (920) 648-6343



ROOM/ AREA	LOCATION	PAINT/ VARNISH COLOR	SUBSTRATE	CURRENT CONDITION	A/B CLASS	COMMENTS
Restroom 2	Interior Wall	Red	Plaster	NA	A	
Restroom 2	Interior Wall	Cream	Plaster	NA	A	
Restroom Mechanical Room	Interior Wall	Red	Brick	NA	B	
Restroom Mechanical Room	Interior Wall	White	CB	NA	B	
Restroom Mechanical Room	Interior Wall	Tan	CB	NA	B	
Restroom Mechanical Room	Interior Floor	Red	Concrete	NA	B	
Restroom Mechanical Room	Interior Wall	Black	Brick	NA	B	
Restroom Mechanical Room	Interior Wall	Green	Brick	NA	B	
West Warehouse	Interior Floor	Yellow	Concrete	NA	A	
West Warehouse	Interior Floor	Gray	Concrete	NA	B	
West Warehouse	Interior Wall	Tan	CB	NA	B	
Warehouse	Interior Wall	Tan	CB	NA	B	
Warehouse	Interior Floor	Gray	Concrete	NA	B	
Warehouse	Interior Floor	Gray	Concrete	NA	B	
Warehouse	Interior Wall	Yellow	CB	NA	B	
Warehouse	Interior Wall	Pink	CB	NA	B	
Warehouse	Interior Wall	Cream	CB	NA	B	

## Key

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**Condition:** Condition of paint at the time of sampling as established in assessment protocol - **I**=Intact, **P**=Poor, **F**=Fair

**Classification:** Indicates levels related to the 1.0 mg/cm<sup>2</sup> lead regulatory limit - **A**=Lead loading above 1.0 mg/cm<sup>2</sup> (lead paint), **B**=Lead loading below 1.0 mg/cm<sup>2</sup>. Paint identified at <1.0 mg/cm<sup>2</sup> may still contain measurable quantities of lead.

**Side Wall Identification (A-D)** - Perimeter wall sides were identified with letters A, B, C and D. Side A is the entry door side. Side B, C and D are identified clockwise from side A as one faces the dwelling; if entry was unclear, directional indications were used (N, S, E, W).

Certified Lead Company  
 Environmental Management Consulting  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 Cert #DHS-13160  
 Phone: (920) 648-6343

## EMC XRF DATA SUMMARY

Client: SCS Engineers  
 Client Phone:  
 Building Name: 1326/1328 E. Washington  
 Dates of Construction:  
 Date of Sampling: July 3, 2019  
 XRF Serial Number: 1692

Jeremy R. Noegel  
 W7748 County Highway V, Lake Mills, WI  
 LII-105405  
 Phone: (920) 648-6343



ROOM/ AREA	LOCATION	PAINT/ VARNISH COLOR	SUBSTRATE	CURRENT CONDITION	A/B CLASS	COMMENTS
Warehouse	Interior Wall	Cream	Brick	NA	B	
Warehouse	Interior Wall	Tan	Brick	NA	B	
Receiving	Interior Wall	Gray	Brick	NA	B	
Receiving	Interior Wall	Gray	CB	NA	B	
200A	Interior Wall	Maroon	Plaster	NA	B	
200	Interior Wall	Beige	Brick	NA	B	
200	Interior Wall	Beige	Clay Tile	NA	B	
200	Interior Wall	Cream	Brick	NA	B	
200	Interior Wall	Olive	Clay Tile	NA	B	
Exterior	Exterior Wall	White	CB	NA	B	Southwest
Exterior	Exterior Wall	White	CB	NA	B	Southeast
Exterior	Exterior Wall	White	Brick	NA	B	
Roof	Exterior Wall	White	Brick	NA	B	
Roof	Exterior Wall	White	Brick	NA	B	
Old Oil Change Room	Interior Wall	Red	Brick	NA	B	
Old Oil Change Room	Interior Wall	White	Brick	NA	B	

<b>Key</b>
------------

**Calibration:** Where calibration is indicated, the date and initial/final (I, F). Calibration is noted in this space

**Substrate:** Indicates substrate at sampling location - **B**=Block, **M**=Metal, **P**=Plaster, **D**=Drywall, **W**=Wood, **C**=Concrete, or other as described

**Condition:** Condition of paint at the time of sampling as established in assessment protocol - **I**=Intact, **P**=Poor, **F**=Fair

**Classification:** Indicates levels related to the 1.0 mg/cm<sup>2</sup> lead regulatory limit - **A**=Lead loading above 1.0 mg/cm<sup>2</sup> (lead paint), **B**=Lead loading below 1.0 mg/cm<sup>2</sup>. Paint identified at <1.0 mg/cm<sup>2</sup> may still contain measurable quantities of lead.

**Side Wall Identification (A-D)** - Perimeter wall sides were identified with letters A, B, C and D. Side A is the entry door side. Side B, C and D are identified clockwise from side A as one faces the dwelling; if entry was unclear, directional indications were used (N, S, E, W).

**Certified Lead Company**  
 Environmental Management Consulting  
 W7748 County Highway V  
 Lake Mills, WI 53551  
 Cert #DHS-13160  
 Phone: (920) 648-6343

**SECTION III**

**OTHER HAZARDOUS MATERIALS**

## **Other Hazardous Materials**

The following items must be removed and properly recycled or disposed of during demolition:

### CFCs

- Air conditioning units are assumed to be present (2 on roof).

The CFCs from any of the above mentioned items must be properly re-claimed by a contractor that is licensed to do so prior to demolition.

### PCBs

- For the purpose of this inspection it was assumed that all light ballasts contain PCBs. Even if the ballasts do not contain PCB's, they still contain an oil and cannot be landfilled. Either way, the ballasts must be collected and properly disposed of/recycled prior to demolition.
- There are approximately 175 ballasts in the building.

### Fluorescent Light Bulbs

- Fluorescent light tubes and compact fluorescent bulbs contain mercury and therefore must be removed, properly packaged and properly recycled prior to the building being demolished. There are approximately 376 fluorescent bulbs in the building.

### Radioactive Exit Signs

- There are approximately two (2) self-illuminating exit signs in the building that contain a radioactive source. These signs must be removed and properly disposed of prior to demolition.

### Door Closure Fluids

- There are six (6) door closures located in the building. The fluid from these must be reclaimed and properly disposed of.

### Batteries

- Any batteries such as those that power emergencies lights must be removed prior to demolition.

### Mercury

- Two (2) mercury thermostats are present on the property. They must be removed and properly disposed of.

### Misc. Chemicals

- Miscellaneous cleaning and/or maintenance chemicals must be removed from the building and properly recycled prior to demolition.

**SECTION IV**  
**DRAWINGS**

First Floor

OWNER: TENNEY NURSERY AND PARENT CENTER INC.

LOT 4

LOT 5

BLOCK 217  
FARWELL'S REPLAT OF A PART  
OF THE CITY OF MADISON

EXISTING ELECTRIC  
STRUCTURE TO BE  
REMOVED

FOUND A 2" PIPE 1.2' NW  
OF PROPERTY CORNER.  
BUILDING IS 1.0'  
OVER THE LOT LINE

EXISTING CONCRETE TO  
BE REMOVED

BUILDING IS 0.3'  
OVER THE LOT LINE  
(N46°02'50"E 172.75')

(S43°54'05"E 53.08')

852-

10'x10' ELECTRIC BASEMENT PER  
DOCUMENT NO. R048528

Warehouse

EXISTING BUILDING

ONE-STORY BUILDING  
1326 AND 1328 EAST WASHINGTON AVENUE

BUILDING AREA AT EXTERIOR  
FOOTPRINT = 17,118 S.F.

Receiving

West  
Warehouse

PARCELA

42,984 S.F.  
0.987 ACRE

Foyer Hall

Back  
Show  
Room

RES  
KIT  
Oil  
change  
room

Show Room

EXISTING TREE TO REMAIN  
(172.93')

BUILDING EXTENDS 2.7'  
INTO RIGHT OF WAY

BUILDING EXTENDS 2.8'  
INTO RIGHT OF WAY

EXISTING TREE TO BE RELOCATED

REMOVE AND REPLACE (S46°02'01"W 238.90')  
CURB AND GUTTER

ABANDONED SANITARY RATERL  
PERTAINING MADISON STANDARDS

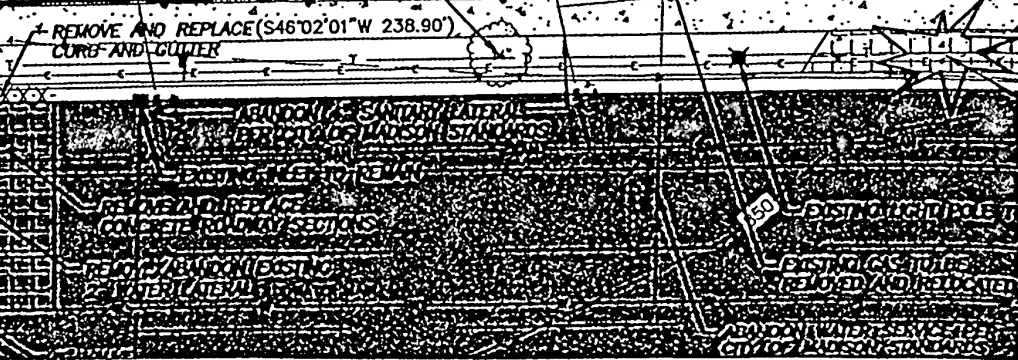
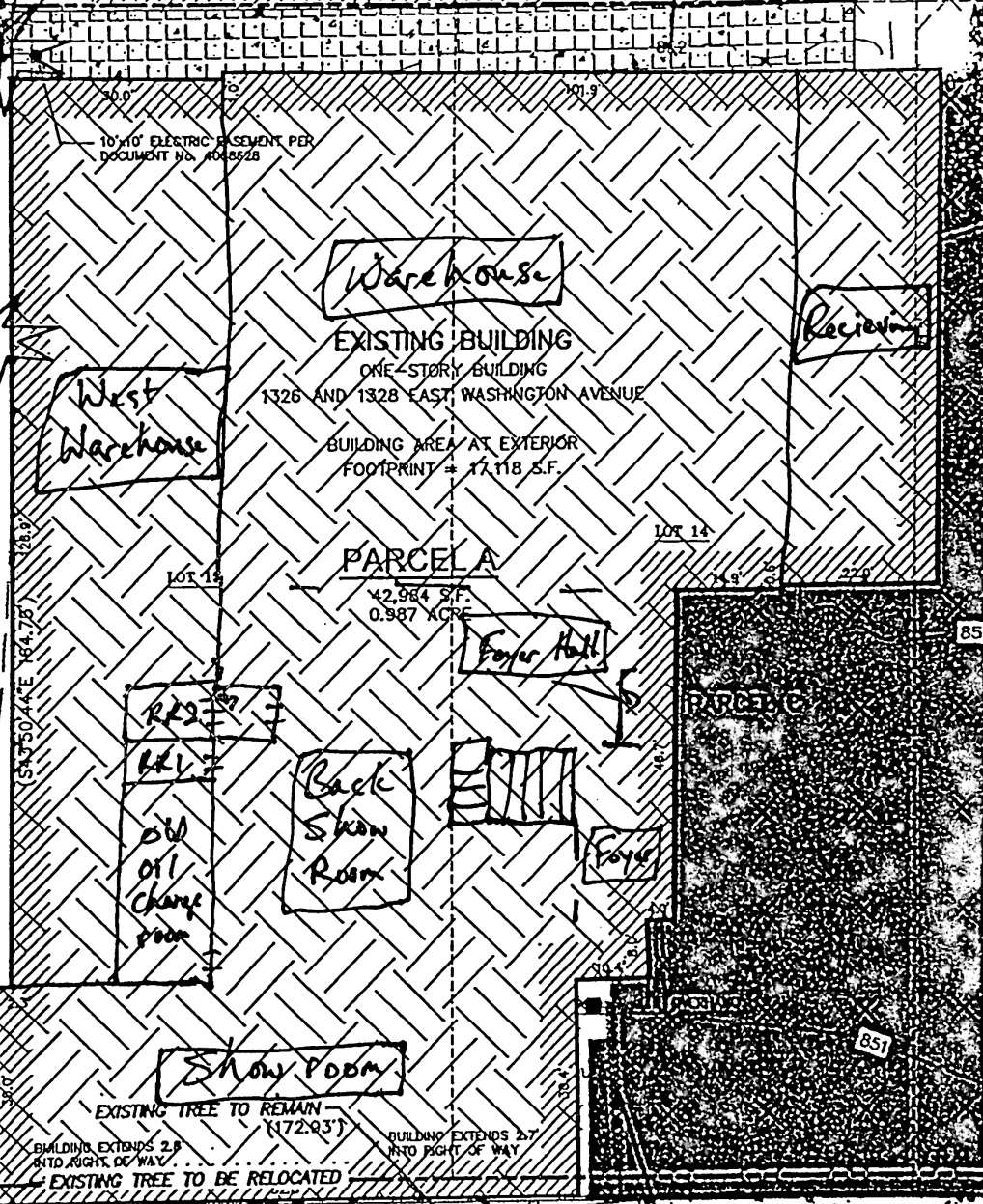
REMOVE AND REPLACE  
CONCRETE ROADWAY SECTIONS

REMOVE AND REPLACE  
2" WATER MAIN

EXISTING UTILITY POLE

EXISTING COLUMNS  
REMOVED AND RELOCATED

REMOVE AND REPLACE  
CONCRETE ROADWAY SECTIONS





2nd Floor

OWNER: TENNEY NURSERY AND PARENT CENTER INC.

LOT 4

LOT 5

BLOCK 217  
FARWELL'S REPLAT OF A PART  
OF THE CITY OF MADISON

EXISTING ELECTRIC  
STRUCTURE TO BE  
REMOVED

FOUND A 2" PIPE 1.2' NW  
OF PROPERTY CORNER.  
BUILDING IS 1.0'  
OVER THE LOT LINE

EXISTING CONCRETE TO  
BE REMOVED

BUILDING IS 0.3'  
OVER THE LOT LINE  
(N46°02'50"E 172.75')

10'x10' ELECTRIC EASEMENT PER  
DOCUMENT NO. 1068528

EXISTING BUILDING  
ONE-STORY BUILDING  
1326 AND 1328 EAST WASHINGTON AVENUE

BUILDING AREA AT EXTERIOR  
FOOTPRINT = 17,118 S.F.

PARCEL A

42,984 S.F.  
0.987 ACRE

not access

LOT 15

LOT 14

EXISTING BUILDING  
ONE-STORY BUILDING  
1318 EAST WASHINGTON AVENUE  
BUILDING AREA AT EXTERIOR  
FOOTPRINT = 2,495 S.F.

EXISTING BUILDING  
MULTI-STORY BUILDING  
245 EAST WASHINGTON AVENUE  
BUILDING AREA AT EXTERIOR  
FOOTPRINT = 1,235 S.F.

OVERHANG &  
LOADING DOCK



EXISTING TREE TO REMAIN  
(172.03')

BUILDING EXTENDS 2.8'  
INTO RIGHT OF WAY

BUILDING EXTENDS 2.7'  
INTO RIGHT OF WAY

EXISTING TREE TO BE RELOCATED

REMOVE AND REPLACE (S46°02'01"W 238.90')  
CURE AND CURBER

ABANDONING SANITARY MATERIAL  
BEHIND OF MADISON ST. MAIN

EXISTING METEORIC  
REINFORCED  
CONCRETE ROADWAY SECTIONS

REPAIR/REPLACE  
2" INTERIOR WALL

EXIST. CONC. PIPE T

EXIST. CONC. PIPE T

EXIST. CONC. PIPE T

EXIST. CONC. PIPE T

EXIST. CONC. PIPE T

EXIST. CONC. PIPE T

## **SECTION V**

### **ASBESTOS & LEAD CERTIFICATIONS**

- **ASBESTOS CERTIFICATIONS**
- **LEAD CERTIFICATIONS**
- **XRF CERTIFICATIONS**

ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

APD-1284	Exp: 03/31/2020	03/08/1964	190 lbs	6' 00"
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Training due by: 03/31/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

ACS-1284	Exp: 05/10/2020	03/08/1964	190 lbs	6' 00"
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Training due by: 05/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

AI-1284	Exp: 05/12/2020	03/08/1964	190 lbs	6' 00"
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Training due by: 05/12/2020

ASBESTOS PROJ. DESIGNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

APD-1283	Exp: 03/28/2020	03/03/1965	195 lbs	5' 10"
----------	-----------------	------------	---------	--------

Training due by: 03/28/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

AMP-1283	Exp: 03/02/2020	03/03/1965	195 lbs	5' 10"
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Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

ACS-1283	Exp: 04/26/2020	03/03/1965	195 lbs	5' 10"
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Training due by: 04/26/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
John T  
551-9643

AI-1283	Exp: 03/20/2020	03/03/1965	195 lbs	5' 10"
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Training due by: 03/20/2020

ASBESTOS MGMT. PLANNER  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

AMP-1214	Exp: 03/20/2020	10/04/1965	170 lbs	5' 10"
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Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

ACS-1214	Exp: 02/23/2020	10/04/1965	170 lbs	5' 10"
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Training due by: 02/23/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
James P  
551-9643

AI-1214	Exp: 03/02/2020	10/04/1965	170 lbs	5' 10"
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Training due by: 03/02/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

ACS-14552	Exp: 03/21/2020	02/04/1971	220 lbs	6' 01"
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Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Will  
551-9643

AI-14552	Exp: 03/20/2020	02/04/1971	220 lbs	6' 01"
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Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L  
551-9643

ACS-17115	Exp: 05/11/2020	07/27/1974	175 lbs	5' 07"
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Training due by: 05/11/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Robert L  
551-9643

AI-17115	Exp: 11/21/2019	07/27/1974	175 lbs	5' 07"
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Training due by: 11/21/2019

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy  
551-9643

ACS-105450	Exp: 03/21/2020	02/10/1977	185 lbs	6' 00"
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Training due by: 03/21/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Jeremy  
551-9643

AI-105450	Exp: 03/20/2020	02/10/1977	185 lbs	6' 00"
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Training due by: 03/20/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

ACS-121592	Exp: 03/10/2020	03/19/1987	160 lbs	5' 09"
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Training due by: 03/10/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

AI-121592	Exp: 03/14/2020	03/19/1987	160 lbs	5' 09"
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Training due by: 03/14/2020

ASBESTOS SUPERVISOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

ACS-208554	Exp: 03/28/2020	04/15/1993	150 lbs	5' 09"
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Training due by: 03/28/2020

ASBESTOS INSPECTOR  
Issued By  
STATE OF WISCONSIN  
Dept. of Health Services  
Matt  
551-9643

AI-208554	Exp: 10/28/2019	04/15/1993	150 lbs	5' 09"
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Training due by: 10/28/2019

ASBESTOS INSPECTOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 249715  
 Expiration: 03/09/2020  
 Issue Date: 09/08/1994  
 Weight: 190 lbs  
 Height: 6' 01"

Training due by: 03/09/2020

ASBESTOS SUPERVISOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 249715  
 Expiration: 05/18/2020  
 Issue Date: 09/08/1994  
 Weight: 190 lbs  
 Height: 6' 01"

Training due by: 05/18/2020

ASBESTOS INSPECTOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 121895  
 Expiration: 03/16/2020  
 Issue Date: 10/25/1984  
 Weight: 170 lbs  
 Height: 5' 09"

Training due by: 03/16/2020

ASBESTOS SUPERVISOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 229815  
 Expiration: 05/20/2020  
 Issue Date: 04/22/1997  
 Weight: 160 lbs  
 Height: 5' 10"

Training due by: 05/20/2020

ASBESTOS SUPERVISOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 251993  
 Expiration: 02/19/2020  
 Issue Date: 09/25/1997  
 Weight: 165 lbs  
 Height: 5' 08"

Training due by: 02/19/2020

ASBESTOS SUPERVISOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 257234  
 Expiration: 02/22/2020  
 Issue Date: 10/05/1995  
 Weight: 195 lbs  
 Height: 5' 11"


Training due by: 02/22/2020

ASBESTOS INSPECTOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 257234  
 Expiration: 02/01/2020  
 Issue Date: 10/05/1995  
 Weight: 195 lbs  
 Height: 5' 11"

Training due by: 02/01/2020

ASBESTOS SUPERVISOR  
 Issued By: STATE OF WISCONSIN  
 Department: Health Services  
 License No: 259938  
 Expiration: 05/24/2020  
 Issue Date: 01/05/1997  
 Weight: 130 lbs  
 Height: 5' 07"

Training due by: 05/24/2020



**LEAD(PB) RISK ASSESSOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

John Thomas Bushman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	182 lbs	5' 10"	
LRA-1283	Exp: 04/17/2019	03/03/1965	Male

Training due by: 04/17/2019



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Jeremy Robert Noegel  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	185 lbs	6' 00"	
LII-105450	Exp: 05/19/2020	02/10/1977	Male

Training due by: 05/19/2020



**LEAD(PB) INSPECTOR**  
 Issued By  
**STATE OF WISCONSIN**  
 Dept. of Health Services

Matthew Frohman  
 W7748 County Road W  
 Lake Mills, WI 53551-0643

	160 lbs	5' 09"	
LII-121592	Exp: 04/16/2020	03/19/1987	Male

Training due by: 04/16/2020

# Certificate of Achievement

This is to certify that

**Jeremy Noegel**

**Environmental Management Consulting, Inc.**

on the 17th day of October 2003 successfully completed the factory training for

**RMD's LPA-1 Lead Paint Inspection System**

including, but not limited to, the topics of Radiation Safety and the Proper Use of the Instrument.



Sia Afshari, Product Manager  
44 Hunt St., Watertown, Massachusetts



**SECTION VI**

**LEAD PAINT COMPLIANCE STRATEGY**

## **Lead Paint Compliance Strategy Summary - Contractors**

Lead based paint and lead exposure within the construction industry is a significant health concern to workers as well as the workers' family members and building occupants. This summary sheet is an attempt to provide an overview of relevant regulations, express the health concerns and answer questions regarding regulatory compliance requirements for contractors.

Separate rules may apply to target housing or child-occupied facilities constructed prior to 1978. In some situations, certification of firms/renovators and post renovation verification may be required. Contractors and building owners shall contact regulatory authorities for current rules.

**Basics of Lead:** Lead can be present in a wide range of materials including paints, coatings, mortars, shielding walls and base metals. Dates of application, facility use and material appearance should be investigated to determine the presence of lead.

**Lead Health Effects:** Short term exposure to high levels of lead can cause vomiting, diarrhea, convulsions, coma or even death. Small amounts of lead can also be harmful when accumulated over time. Though lower level, long term exposures may be less noticeable, health effects are just as severe as a one-time dose. Anemia, venous disorders, kidney problems and impaired mental function are common effects of industrial exposure.

Lead exposure is most serious in malnourished adults, children and pregnant women. Because of the body's need for iron and calcium, lead is absorbed more readily. Even low exposures to children may harm intellectual development, behavioral development, physical size and hearing ability. Because lead can cross the placenta, developmental problems also affect unborn children. Female workers exposed to high levels of lead are more likely to have miscarriages and stillbirths. Most rules are written to protect children under the age of 6.

### **Regulatory Requirements**

**EPA:** EPA rule (40 CFR Part 745 ) affects lead-based paint hazards created by renovation, repair and painting activities in target housing ( Pre 1978 ) and child occupied facilities ( Pre 1978 with children under the age of 6 ). The rule requires that owners and occupants receive information before the project begins and renovators as well as firms performing such work are certified and follow detailed work practices. The Wisconsin Department of Health will soon be establishing detailed rules for the State of Wisconsin.

**DNR:** WDNR regulates the disposal of lead and lead-containing materials. Refer to the DNR web-site for more information.

**OSHA:** When painted surfaces will be disturbed as part of a renovation or demolition project, the OSHA construction lead standard applies if lead is present in the paint. Chip sampling and laboratory analysis of those samples is the accepted methodology. Any level of lead in the samples triggers the standard. An employer can also screen for lead using an XRF direct read instrument. If the XRF shows lead content, the employer can assume lead is present. The employer cannot, however use the XRF technology to prove paint negative for lead content. Only chip sampling and laboratory analysis can be used to prove a negative.



If lead is present, OSHA requires an “initial determination” be performed to demonstrate that employees’ airborne exposure does not exceed the action level (AL) of 30  $\mu\text{g}/\text{m}^3$  in an eight-hour time weighted average. This determination is based on air monitoring data obtained from similar operations and work conditions, gathered within the past twelve (12) months or:

Objective data demonstrating that a product or material containing lead cannot result in an employee exposure at or above the action level.

### OSHA permissible airborne exposure levels

OSHA Action Level (AL)	30 $\mu\text{g}/\text{m}^3$
OSHA Permissible Exposure Levels (PEL)	50 $\mu\text{g}/\text{m}^3$

If the initial determination shows exposures below the action level no further assessment is needed.

If the determination is above the action level and below the PEL, monitoring shall be done every six months. If the determination is above the PEL, monitoring shall be completed quarterly.

### OSHA Protective Measures

Until a contractor has historical data within the last 12 months for that specific type of job or current job data, the contractor must assume that employees may be exposed above the PEL. OSHA assumes three levels of exposure above the PEL for the following “Trigger Tasks”:

Low Exposure      **50-500  $\mu\text{g}/\text{m}^3$**       (half face respiratory protection)

- Manual demolition
- Manual scraping
- Manual sanding
- Heat gun applications
- Power tool cleaning with dust collection system

Medium Exposure      **500-2500  $\mu\text{g}/\text{m}^3$**       (full face respiratory protection)

- Use of lead containing mortar
- Lead burning
- Rivet busting (where lead coatings are present)
- Power tool cleaning
- Clean up of dry abrasives
- Abrasive blasting enclosure movement/removal

High Exposure      **2500  $\mu\text{g}/\text{m}^3$  - +**      (supplied air respiratory protection)

- Abrasive blasting
- Welding
- Cutting
- Torch burning

Until worker exposures are shown to be below the PEL, the following protective controls are required:

- Appropriate respirators
- Protective clothing
- Clean change area
- Training
- Medical/biological monitoring
- Hand wash facility

### **How should an employer keep workers safe if they are exposed above the PEL?**

If workers are exposed above the PEL OSHA requires:

- Appropriate respiratory protection must be provided
- Protective clothing – coveralls
- Change areas
- Hand wash facilities
- Biological monitoring – initial blood test with follow up testing dependant on frequency of exposure
- Training
  - Respiratory protection
  - Hazardous communication
  - The use of filtered HEPA vacuums is recommended
  - The use of a posted regulated area is recommended
  - The use of filtered negative air units is recommended

### **What are the criteria and requirements for biological monitoring, blood testing?**

OSHA Permissible Blood Level (BLL)	40 µg/dl
OSHA Level for Medical Removal	50 µg/dl

Biological monitoring must be provided if the action level is exceeded. Follow up monitoring is required at two and six month intervals depending on exposure frequency. Medical removal is required when lead blood levels exceed 50 µg/dl.

### **What are the disposal requirements when demolishing lead painted structures?**

The Wisconsin DNR does not typically consider it necessary to profile lead waste on structural material if the lead paint is not separated from the material. The waste, however, must be disposed of in a DNR approved facility.

Where free paint scrapings are gathered, solid wastes may be hazardous waste. Testing using toxicity characteristic leaching procedure (TCLP) must be performed to profile the gathered waste.

### **Is lead painted concrete/block/brick considered clean fill?**

Painted concrete is only considered clean if it is not coated with lead paint.

Lead Paint is Paint containing more than 0.5% lead by weight; or  
Painted surfaces more than 1.0 mg/cm<sup>2</sup> lead (XRF analysis)

## **When are certified lead workers/supervisors/risk assessor/inspectors required?**

The Department of Health Services requires certified workers, site risk assessment and follow up clearance sampling when conducting abatement within child occupied facilities (where lead abatement is the “purposeful reduction of lead hazards). Health department ordered abatement or the use of federal monies also requires the use of certified personnel.

In addition rules will require the use of certified renovators in all subject target housing and child occupied facilities where lead is present. Firms performing such work must also be certified.

## **Post Renovation Clearance and/or Cleaning Verification**

In some scenarios, post renovation clearance samples or cleaning verification may be required. This type of work can only be conducted by lead certified personnel. Cleaning verification is completed by wiping specific areas and comparing dust levels to an EPA cleaning verification card. Clearance wipe sampling is accomplished by sampling floors and windows in the abatement area.

The following is a summary of clearance criteria:

Floors	40 µg/sq. ft.
Window Sill	250 µg/sq. ft.
Window Trough	400 µg/sq. ft.

Contact the EMC office with any questions or to help with exposure monitoring.

Environmental Management Consulting, Inc.  
W7748 County Highway V  
Lake Mills, WI 53551  
1-800-279-2020

**SECTION VII**

**CONCRETE RECYCLING DISPOSAL FACT SHEET**

# Concrete Recycling and Disposal Fact Sheet

Publication WA 605

Rev. 2017



P.O. Box 7921  
Madison, Wisconsin  
53707-7921

## What is the purpose of this fact sheet?

This fact sheet is intended to help property owners, renovation and demolition contractors and used concrete handlers determine what painted concrete can be recycled or how it must be disposed of. “Clean” concrete is exempt by rule from most regulations. With certain location limitations, clean concrete may be crushed and used as fill, aggregate in road beds or concrete to concrete recycling. Most painted concrete can be used for these purposes in accordance with rule exemptions. This fact sheet explains when painted concrete is considered clean and is exempt for use vs. when painted concrete is not considered clean and where a specific approval is required by the Department of Natural Resources.

## On what basis is painted concrete considered clean vs. not clean?

Painted concrete is considered to be clean if the concrete has not been coated with lead-bearing paint. “Lead-bearing paint” is defined by s. 254.11(8), Wis. Stats., to mean:

Any paint or other surface coating material containing more than 0.06 percent lead by weight, calculated as lead metal, in the total nonvolatile content of liquid paint, more than 0.5 percent lead by weight in the dried film of applied paint, or more than 1 milligram of lead per square centimeter in the dried film of applied paint.

*Note: Latex-based paint does not contain lead and, therefore, concrete coated only with latex-based paint is considered clean.*

## Who is responsible to determine what type of paint is on the concrete and whether it is lead-bearing?

The generator or owner of the painted concrete has the responsibility to determine if the paint on the

concrete is latex or oil-based and if it has been coated with lead-bearing paint. The responsible individuals include:

- The property owner
- Individuals carrying out a renovation or demolition project
- Individuals that later take ownership or control of painted concrete materials for recycling or disposal

## So, tell me again, exactly what painted concrete should have the paint tested for lead?

Paint on concrete should be tested for lead if the paint is not latex-based and both of the following are true:

1. The painted concrete will be processed and/or used under a rule exemption for fill, aggregate or concrete to concrete recycling, and
2. The structure was built before 1978.

These criteria apply to painted concrete from all structures, whether used for residential, farm, commercial, industrial or other purposes. Information below explains how to sample and test paint for lead to determine if the painted concrete is clean for exempt use.

Paint other than latex-based paint manufactured before 1978 may contain lead at concentrations that define lead-bearing paint and the paint must be tested for lead to determine if the painted concrete is clean for exempt use. Because an owner of a structure older than 25 years won't usually know if only latex paint was used over the entire life of the building, lead testing is normally needed for all pre-1978 structures.

*Note: If the painted concrete is disposed of in a landfill approved by the DNR, the paint doesn't have to be tested.*

### **What management options are available for concrete coated with paint that isn't lead-bearing?**

Concrete coated with paint that is not lead-bearing paint may be used as fill, aggregate or concrete to concrete recycling in accordance with the following rule exemptions:

Reuse of clean concrete is exempt under s. NR 500.08(2)(a), Wis. Adm. Code. Certain environmental performance, location and operational requirements apply. Please review these requirements [s. NR 504.04(3)(c) and s. NR 504.04(4)] before placing used concrete on the land. For more information about this disposal exemption, refer to a separate frequently asked question, *What is defined as "clean fill" that does not have to be taken to a landfill?*, on the DNR website at

<http://dnr.wi.gov/topic/Waste/SolidFAQ.html>

Concrete coated with paint that is not lead-bearing may also be disposed of in a landfill.

### **What management options are available for concrete coated with lead-based paint?**

Landfill disposal is an available management option for concrete coated with lead-based paint. The landfill must be either a construction and demolition landfill approved under ch. NR 503, or a municipal solid waste landfill approved under ch. NR 504.

If someone wishes to use ground concrete coated with lead-bearing paint for structural fill beneath an impermeable material such as a building foundation or a parking lot, they should fill out an Application for Low Hazard Waste Exemption for Reuse of Concrete Coated with Lead-bearing Paint

<http://dnr.wi.gov/files/pdf/forms/4400/4400-274.pdf>

and submit it to the local DNR office. If DNR reviews the application and is convinced the proposed use will not impact human health and the environment, they will grant a written exemption under s. 289.43(8), Wis. Stats. and s. NR 500.08(5)(a).

### **Who should I contact if I have questions about painted concrete recycling and disposal?**

Questions about disposal of painted concrete should be directed to the DNR Waste and Materials Management Program. Find your local DNR solid waste contact at <http://dnr.wi.gov/topic/waste/>.

### **Is the paint sampling recommended by the DNR the same as what's required by the Department of Health Services?**

No. The lead sampling and testing for paint on concrete for recycling and disposal purposes isn't subject to the same (more rigorous) DHS requirements that may apply to occupied structures, especially schools and residences.

If a structure will be used for residential purposes after the project is complete, DHS rules require sampling by a certified individual. Also, according to federal law, a seller (or landlord) of a home built before 1978 is required to provide information to a buyer (or renter) about whether the home contains lead-bearing paint or any lead poisoning hazards. For more information about this, visit

<https://www.dhs.wisconsin.gov/lead/homepurchase.htm>.

### **Who can sample and test paint samples from concrete for recycling and disposal purposes?**

There is no specific requirement or certification required for an individual sampling paint from concrete for recycling and disposal purposes to determine if the painted concrete is clean for exempt use. An individual may take their own samples or a DHS certified individual may be hired to do the sampling. However, unless an XRF instrument is used by a qualified individual to determine lead concentrations on site, the paint samples must be sent to a certified laboratory for analysis.

Lists of certified lead-bearing paint inspectors, risk assessors and laboratories are available from DHS at <https://www.dhs.wisconsin.gov/lead/company-list.htm>. If you contact a DHS-certified individual but you only need to determine lead levels in paint on concrete to comply with recycling and disposal requirements, be sure to say this. The following summarizes sampling and testing options for lead-bearing paint for recycling and disposal purposes:

- Hire a Lead Inspector: A lead inspector may test paint using XRF (x-ray) instruments that "peer" through layers of paint to determine lead content immediately. A lead inspector can also collect samples for laboratory analysis. If immediate results are desired, be sure to inquire about on site testing with an x-ray instrument.
- Hire a Risk Assessor: A risk assessor will collect

## Concrete Recycling and Disposal Fact Sheet

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paint samples and send them to a laboratory for lead testing. Normally, a week or more may be needed for a laboratory to complete testing and additional time for a risk assessor to review results and get back to you. For time sensitive projects, it may be possible to obtain an “expedited” laboratory analysis and results interpretation, which may cost more, and may still require several days.

- **Self-Sampling:** For recycling and disposal purposes only, a DHS certified individual isn't required to do the sampling. Instead, an individual may take their own samples and send the samples to a certified laboratory for testing. One or two samples are unlikely to be enough since multiple layers of paint types may be present in different areas. Sampling recommendations for recycling and disposal purposes are listed below.

The U.S. Environmental Protection Agency hasn't approved and doesn't recommend do-it-yourself lead test kits that do not include laboratory analysis because they may not be sufficiently accurate to identify lead-bearing paint. For example, one lead test kit manufacturer claims their product can reliably detect lead levels down to only 0.5 percent lead, almost 10 times the level used to define “lead-bearing paint” in Wisconsin.

### **If I want to take my own samples of paint from concrete for recycling and disposal purposes, how many samples should I take?**

Take at least one sample from each area of painted concrete, based on consideration of the different areas of a structure:

- Interior
- Exterior
- Foundation
- Upper walls
- Each room, or other area, where differences in coatings is visually apparent or seems likely

Each sample should be taken as a composite (mixture) of all paint layers at that location. Use a sharp knife to cut down to the concrete and a sharp scraper to release the paint from the concrete. (Thoroughly wash your hands after collecting paint samples.) Prior to collecting a sample, contact a certified laboratory to find out what cost is charged, how much paint sample is needed and what type of

sample container is recommended. Normally, a sealable plastic bag or clean and dry jar is suitable. *These sampling recommendations are not intended for assessment of lead hazard to occupants but are only for recycling and disposal purposes to determine if painted concrete is clean for exempt disposal.*

### **What are the concerns about disposal of concrete coated with lead-bearing paint and where can I get more information?**

Paint that contains lead poses potential risks. In the environment, paint from concrete will chip and lead can leach from the paint over time where the painted concrete is disposed of. The lead could leach into groundwater or be carried to surface water by soil erosion. If the concrete is crushed, windblown dust carrying the lead is an additional concern. Further information is available from the following sources:

- Wisconsin Department of Health Services Lead homepage, <https://www.dhs.wisconsin.gov/lead/index.htm>
- National Lead Information Center, 800-424-5323 or <http://www.epa.gov/lead/pubs/nlic.htm>

### **For more information**

DNR Waste & Materials Management Program, PO Box 7921  
Madison, WI 53707  
608-266-2111; [DNRWasteMaterials@Wisconsin.gov](mailto:DNRWasteMaterials@Wisconsin.gov)

**NOTE:** *This document is intended solely as guidance and does not include any mandatory requirements except where requirements found in statute or administrative rule are referenced. This guidance does not establish or affect legal rights or obligations and is not finally determinative of any of the issues addressed. This guidance does not create any rights enforceable by any party in litigation with the State of Wisconsin or the Department of Natural Resources. Any regulatory decisions made by the Department of Natural Resources in any manner addressed by this guidance will be made by applying the governing statutes and administrative rules to the relevant facts.*

**Equal Opportunity Employer and Americans with Disabilities Act Statement:** *The Wisconsin Department of Natural Resources provides equal opportunity in its employment, programs, services, and functions under an Affirmative Action Plan. If you have any questions, please write to Chief, Public Civil Rights, Office of Civil Rights, U.S. Department of the Interior, 1849 C. Street, NW, Washington, D.C. 20240.*

*This publication is available in alternative format (large print, Braille, etc.) upon request. Please call 608-266-2111 for more information. Note: If you need technical assistance or more information, call the Accessibility Coordinator at 608-267-7490 / TTY Access via relay – 711.*

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**EXISTING CONDITIONS MAP**

PART OF LOTS 3 AND 12 AND ALL OF LOTS 13, 14, 15, AND 16, BLOCK 217, FARWELL'S REPLAT OF A PART OF THE CITY OF MADISON, LOCATED IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

**DRAFT**

SECTION CORNER MONUMENTS				
LETTER	CORNER	FOUND	NORTHING	EASTING
A	CENTER 13-7-9	IN BUILDING	485,568.62	823,852.16
B	WITNESS CORNER	BRASS CAP	485,775.48	823,854.39
C	WITNESS CORNER	BRASS CAP	488,355.29	823,883.37
D	N 1/4 13-7-9	NO MONUMENT	487,727.95	823,876.33

**LEGEND**

- GOVERNMENT CORNER
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- ⊗ CHISELED "X" FOUND
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- COTTON SPINDLE SET
- ⊕ SIGN
- ⊕ SANITARY MANHOLE
- ⊕ CURB INLET
- ⊕ GAS REGULATOR/METER
- ⊕ ELECTRIC TRANSFORMER
- ⊕ LIGHT POLE
- ⊕ POWER POLE W/GUY
- ⊕ TELEPHONE PEDESTAL
- ⊕ DECIDUOUS TREE
- SECTION LINE
- PARCEL BOUNDARY
- RIGHT-OF-WAY LINE
- PLATTED LOT LINE
- EASEMENT LINE
- GROUNDWATER USE RESTRICTION AREA
- FENCE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD ELECTRIC DISTRIBUTION
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- BUILDING
- 850 INDEX CONTOUR
- 851 INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- END OF FLAGGED UTILITIES
- ( ) DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

**NOTES**

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON MAY 17 AND 18, 2018.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, (DANE COUNTY). THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 13-07-09, BEARS N00°38'30"E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE WITNESSING THE CENTER OF SECTION 13, T07N, R09E, ELEVATION = 849.79'.
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560, WITH A CLEAR DATE OF MAY 10, 2018.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:  
CITY OF MADISON ENGINEERING  
MADISON GAS AND ELECTRIC COMPANY (ELECTRIC AND GAS)  
AMERICAN TRANSMISSION COMPANY (ATC)  
WISCONSIN DEPARTMENT OF TRANSPORTATION-ITS EQUIPMENT  
CENTURYLINK KMC  
CHARTER COMMUNICATIONS  
AT&T TRANSMISSION  
AT&T DISTRIBUTION
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- JSD PROFESSIONAL SERVICES, INC. DOES NOT GUARANTEE THAT THE BENCHMARKS ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.
- PARCEL A IS ZONED TR-V (TRADITIONAL RESIDENTIAL-VARIED DISTRICT 1); PARCEL B IS ZONED CC-T (COMMERCIAL CORRIDOR-TRANSITIONAL DISTRICT); PARCEL C IS ZONED TE (TRADITIONAL EMPLOYMENT DISTRICT) PER THE CITY OF MADISON ZONING MAP DATED JANUARY 2013.
- WATER MAIN WAS NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560 AND IS SHOWN PER CITY RECORDS (GTWeb).
- GAS MAIN AND UNDERGROUND ELECTRIC IS SHOWN PER A PLAT OF SURVEY BY WILLIAMSON SURVEYING & ASSOCIATES, LLC, DATED JANUARY 21, 2016, COUNTY MAP No. 2016-00305. GAS MAIN AND UNDERGROUND ELECTRIC WERE NOT MARKED BY DIGGERS HOTLINE TICKET No.'s 20181904182, 20181904524 AND 20181904560.

**LEGAL DESCRIPTION (AS FURNISHED)**

(FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT No.: NCS-907830-MAD, COMMITMENT DATE: MAY 24, 2018 AT 7:30 A.M.)

**PARCEL A:**

THE SE 55 FEET OF LOT 3, THE NW 45 FEET OF LOT 16, AND THE NE 33 FEET OF THE SOUTHEAST 120 FEET OF LOT 16, ALL IN BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1316 & 1318 E WASHINGTON AVE

TAX PARCEL No. 251/0709-131-0201-2

**PARCEL B:**

THE SW 33 FEET OF THE SE 120 FEET OF LOT 16, BLOCK 217, FARWELL'S REPLAT OF PART OF THE CITY OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1314 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0209-5

**PARCEL C:**

THE SOUTHWEST 41 FEET OF LOT 13, AND ALL OF LOTS 14 AND 15 OF BLOCK 217, IN THE CITY OF MADISON ACCORDING TO FARWELL'S REPLAT THEREOF, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1326 & 1328 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0211-0

**PARCEL D:**

THE SOUTHWEST FIFTY-FIVE (55) FEET OF LOT TWELVE (12), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE

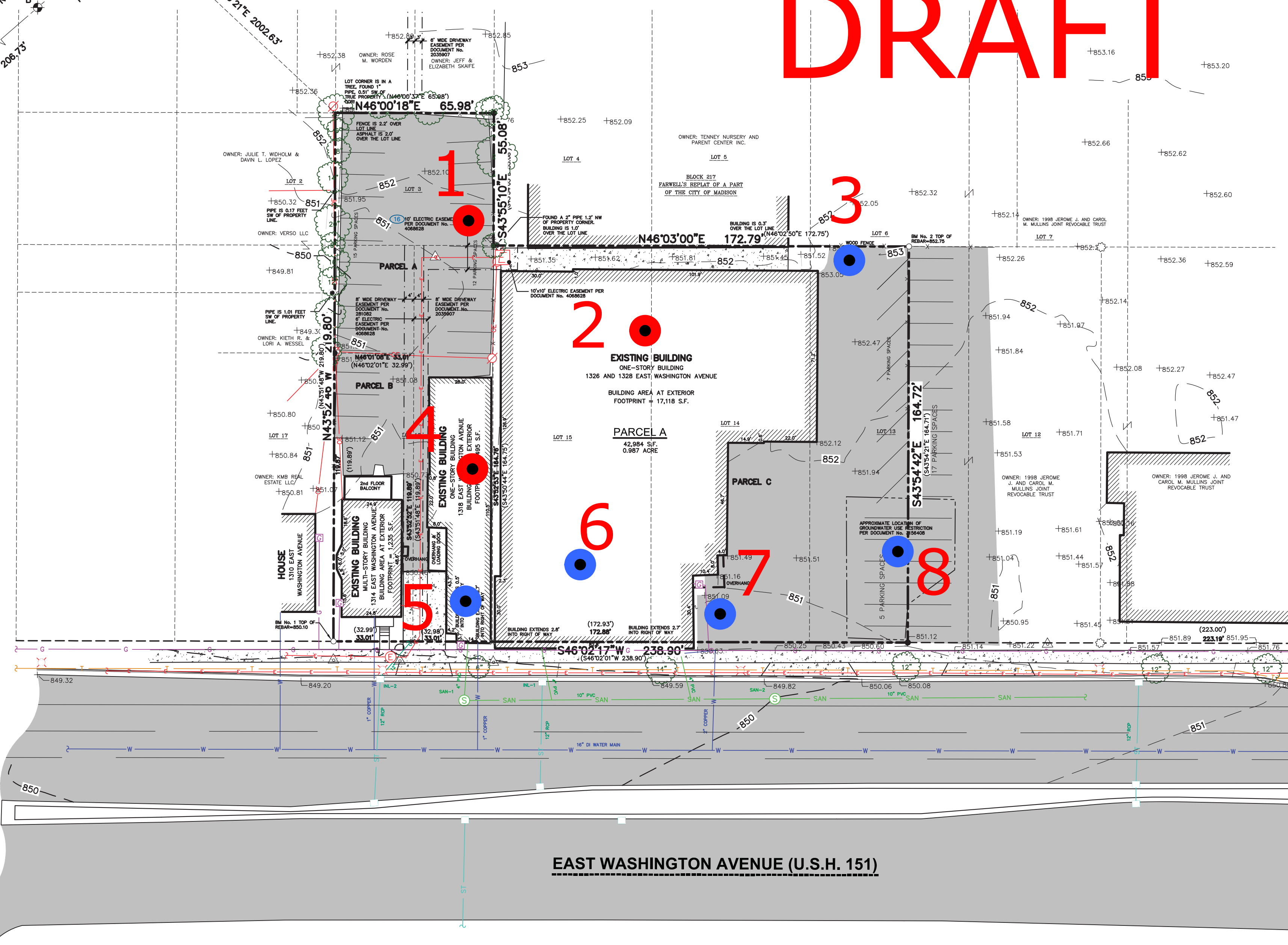
TAX PARCEL No.: 251/0709-131-0212-8

**PARCEL E:**

THE NORTHEAST TWENTY-FIVE (25) FEET OF LOT THIRTEEN (13), IN BLOCK TWO-HUNDRED SEVENTEEN (217), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ADDRESS PER TAX ROLL: 1334 E WASHINGTON AVE

TAX PARCEL No.: 251/0709-131-0212-8



SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	849.41	NW	840.19	4"	PVC
		NE	840.05	10"	PVC
SAN-2	850.01	SW	839.51	10"	PVC
		NW	842.25	4"	PVC
		NE	839.48	10"	PVC

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	849.31	SE	845.61	12"	RCP
INL-2	848.81	NW	845.61	12"	-
		SE	845.61	12"	RCP

- Proposed Soil Boring
- Proposed Soil Boring with Temporary Well