



**DANE COUNTY DEPT. OF
PUBLIC WORKS, HIGHWAY &
TRANSPORTATION**

1919 Alliant Energy Center Way
Madison, Wisconsin 53713
Office: 608/266-4018 ♦ Fax: 608/267-1533
Public Works Engineering Division

ADDENDUM

March 22, 2019

ATTENTION ALL REQUEST FOR BID (RFB) HOLDERS

RFB NO. 318033 - ADDENDUM NO. 1

AVIARY SKYLIGHT PANEL REPLACEMENT

**BIDS DUE: TUESDAY, APRIL 9, 2019, 2:00 PM. DUE DATE AND
TIME ARE NOT CHANGED BY THIS ADDENDUM.**

This Addendum is issued to modify, explain or clarify the original Request for Bid (RFB) and is hereby made a part of the RFB. Please attach this Addendum to the RFB.

PLEASE MAKE THE FOLLOWING CHANGES:

1. Basic Requirements

Page 2 - Item 1.2.A.: After this item, insert the following:

“B. Existing gutter and downspouts shall be carefully removed and reinstalled as part of the Work. The approximate length of gutter to be removed and reinstalled is 95 L.F.”

Page 7 - Item 1.22.A.: After this item, insert the following:

“B. Flat roofs adjacent to all Kalwall roof areas are to be protected by one layer of ¾” thick plywood over one layer of 2” thick extruded polystyrene which is laid on top of the flat roof membrane. Plywood sheets shall be “knitted” together with 2 x 4 toe boards at each edge. 2 x 4 ends shall be staggered from plywood ends a minimum of 2 feet. Protection shall extend from the work area a minimum of 8 feet. Walkways or access ways traversing flat roof areas to get to the work area shall be of the same protection and a minimum of 8 feet wide. Walkways shall be ballasted to keep them in place against wind uplift.”

2. Section 086300 - Skylight System Specification

Page 4 - Item 2.2.A.2.:

Change “Light transmission 15% value per NFRC Certified based on NFRC 202” to “Light transmission 14% value per NFRC Certified based on NFRC 202”.

Change “Solar heat gain coefficient: .30” to “Solar heat gain coefficient: .20”

3. Sheet SP1.1 - Site Plan

Add new Sheet SP1.1, issued with this Addendum, for reference.

4. Sheet A1.2 - Upper Floor Plan & Building Schedules

Add new Sheet A1.2, issued with this Addendum, for reference.

5. Sheet A3.1 - Roof Plan & Roof Details

Add new Sheet A3.1, issued with this Addendum, for reference.

6. Sheet A4.1 - Exterior Elevations

Add new Sheet A4.1, issued with this Addendum, for reference.

7. Sheet A4.2 - Exterior Elevations

Add new Sheet A4.2, issued with this Addendum, for reference.

8. Pre-Bid Sign-Up Sheet

Add Pre-Bid Sign-Up Sheet, issued with this Addendum, for reference.

If any additional information about this Addendum is needed, please call Eric Urtes at 608/266-4798, urtes.eric@countyofdane.com.

Sincerely,

Eric Urtes, AIA

Project Manager

Enclosures:

- Sheet SP1.1 - Site Plan
- Sheet A1.2 - Upper Floor Plan & Building Schedules
- Sheet A3.1 - Roof Plan & Roof Details
- Sheet A4.1 - Exterior Elevations
- Sheet A4.2 - Exterior Elevations
- Pre-Bid Sign-Up Sheet

HENRY VILAS PARK

HENRY VILAS ZOO AVIARY

702 S. RANDALL AVENUE
MADISON, WISCONSIN



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LANDSCAPE ARCHITECT:
PATRICK JANIKOWSKI
ARCHITECTS P.S.
ZOOLOGICAL CONSULTANT:
PATRICK JANIKOWSKI
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REVISIONS

PROJECT NO. 99193.00
DATE 10/12/00
DRAWN BY CLR
CHECKED BY GTB

SHEET CONTENTS
SITE PLAN

P:\99193\Drawings\9919300SP11.dwg

SHEET

SP1.1

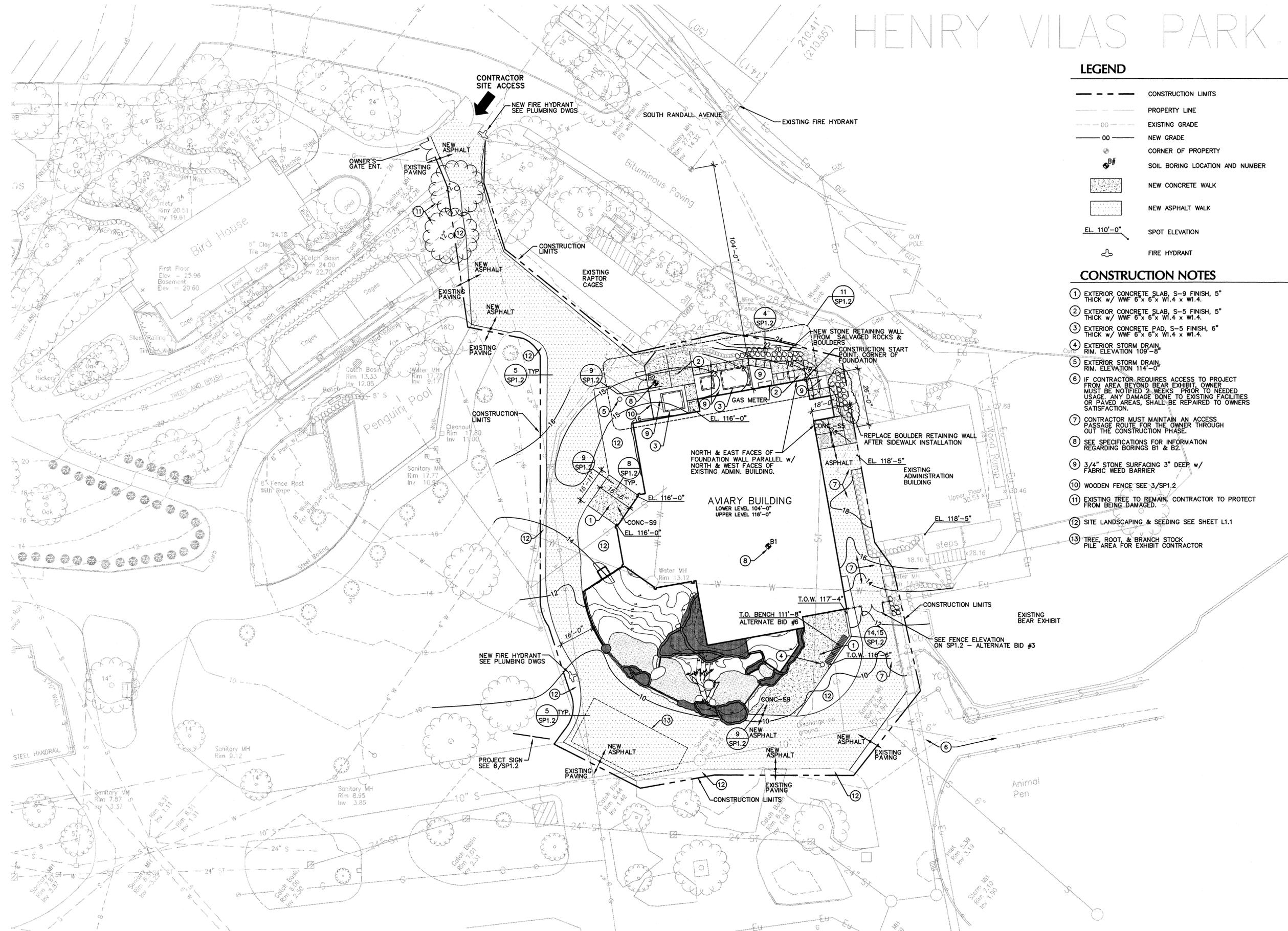
6 OF 94

LEGEND

- CONSTRUCTION LIMITS
- PROPERTY LINE
- EXISTING GRADE
- NEW GRADE
- CORNER OF PROPERTY
- ⊕ SOIL BORING LOCATION AND NUMBER
- ▨ NEW CONCRETE WALK
- ▨ NEW ASPHALT WALK
- EL. 110'-0" SPOT ELEVATION
- ⊕ FIRE HYDRANT

CONSTRUCTION NOTES

- 1 EXTERIOR CONCRETE SLAB, S-9 FINISH, 5" THICK w/ WWF 6" x 6" x W1.4 x W1.4.
- 2 EXTERIOR CONCRETE SLAB, S-5 FINISH, 5" THICK w/ WWF 6" x 6" x W1.4 x W1.4.
- 3 EXTERIOR CONCRETE PAD, S-5 FINISH, 6" THICK w/ WWF 6" x 6" x W1.4 x W1.4.
- 4 EXTERIOR STORM DRAIN, RIM ELEVATION 109'-8"
- 5 EXTERIOR STORM DRAIN, RIM ELEVATION 114'-0"
- 6 IF CONTRACTOR REQUIRES ACCESS TO PROJECT FROM AREA BEYOND BEAR EXHIBIT, OWNER MUST BE NOTIFIED 2 WEEKS PRIOR TO NEEDED USAGE. ANY DAMAGE DONE TO EXISTING FACILITIES OR PAVED AREAS, SHALL BE REPAIRED TO OWNERS SATISFACTION.
- 7 CONTRACTOR MUST MAINTAIN AN ACCESS PASSAGE ROUTE FOR THE OWNER THROUGH OUT THE CONSTRUCTION PHASE.
- 8 SEE SPECIFICATIONS FOR INFORMATION REGARDING BORINGS B1 & B2.
- 9 3/4" STONE SURFACING 3" DEEP w/ FABRIC WEED BARRIER
- 10 WOODEN FENCE SEE 3/SP1.2
- 11 EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT FROM BEING DAMAGED.
- 12 SITE LANDSCAPING & SEEDING SEE SHEET L1.1
- 13 TREE, ROOT, & BRANCH STOCK PILE AREA FOR EXHIBIT CONTRACTOR



SITE PLAN

SCALE: 1" = 20'-0"

VERSION:14.0 DATE/TIME:October 12, 2000 08:36:39am OPERATOR:cromenesko
LOCATION:P:\99193\Drawings\XREFS.P\99193\Drawings\9919300SP11.dwg
FILE:9919300SP11.dwg



ROOM NAMES

200	VESTIBULE	209	HABITAT 2
201	CORRIDOR	210	HABITAT 3
202	ORIENTATION	211	KEEPERS ROOM
203	CORRIDOR	212	OTHERS
204	KEEPERS ROOM	213	MECHANICAL MEZZANINE
205	EXHIBIT	214	EXIT VESTIBULE
206	HABITAT 1	215	STAFF ENTRY CORRIDOR
207	KEEPERS ROOM	216	EXHIBIT VESTIBULE
208	EXHIBIT	217	RECEIVING
		217-A	STAIR

CONSTRUCTION NOTES

- 3 - 5'-0" WALL MOUNTED BENCHES BY ALTERNATE #6
- SCUPPER DRAIN
- AT ALL INTERIOR CMU - EXTERIOR VERTICAL CORNERS ARE TO BE BULLNOSED (BN)
- CMU WALL BELOW
- EDGE OF HOLLOW CORE SLAB
- PARTIAL HEIGHT 8" CONCRETE WALL
- RECESSED ENTRANCE MAT
- CONCRETE RETAINING WALL
- HOLLOW CORE SLAB ABOVE
- BIRD CAGE SYSTEM, INCUBATOR EQUIPMENT, REFRIGERATORS, & FREEZERS GFOI BY VENDOR & ALTERNATE #4
- GARBAGE DISPOSAL BY P.C.
- STRUCTURAL GRADE BEAM BELOW SEE STRUCTURAL DRAWINGS
- POSITION DOOR FRAME WHERE FULL HEIGHT & PARTIAL HEIGHT CMU WALLS INTERSECT
- SEE SHEET SP.1 FOR EXTENT OF EXTERIOR CONCRETE PAVING
- SEE SHEET A1.3 FOR FREE FLIGHT AREA DETAILING AND RAMP DIMENSIONS
- STORM DRAIN - RIM ELEVATION 109'-8"
- 4x4 TS COLUMN BELOW SEE STRUCTURAL DRAWINGS
- SEE LATEX FLOOR FILL DRAINAGE PLANS FOR ROOMS 205 & 208, ON SHEET A1.4
- SEE 3/A5.2 FOR EXTENT OF SPRAY ON WATERPROOFING FOR EXHIBITS 205 & 208.
- ENTIRE WALL TO BE USED BY OWNER FOR BUILDING IDENTIFICATION & DONOR MEMORIALS.
- DIMENSIONS TO COLUMN LINE A
- SHIPS LADDER SEE 9/A5.5 FOR ROOM 204, 10/A5.5 FOR ROOM 207, & 5/A1.3 FOR ROOM 111
- RAMP BEGINS @ WALL CORNER
- DIMENSIONS TO FACE OF MASONRY
- FLOOR DRAIN BELOW RECESSED MAT
- METAL PLATFORM w/ LADDER SEE 3/A5.5
- 2'x3'x13 1/2" CONCRETE STEP
- MECHANICAL LOUVER SILL @ 121'-4" HEAD @ 126'-0"
- AIR SUPPLY DUCTS- SEE MECHANICAL DRAWINGS
- REMOVEABLE HANDRAIL
- HOIST BEAM WITH STOP ABOVE
- MECHANICAL UNIT-SEE MECHANICAL DRAWINGS
- TRIPLE CHAIN SET
- SIDE LIGHT & ABOVE DOOR GLAZING TO CONTINUE TO EL. 130'-1" 3 5/8" STUD WALL WITH 5/8" GYP EA. SIDE TO CONTINUE TO STRUCTURE
- EQUIPMENT PAD BY MECHANICAL CONTRACTOR VERIFY SIZE w/ ACTUAL UNIT

GENERAL NOTES

- SEE SHEET A7.1 FOR PARTITION TYPES
- ALL WALLS DIMENSIONS TO THE FACE OF WALL UNLESS NOTED OTHERWISE
- ALL FIRE RATED WALL ARE TO EXTEND TO THE ROOF SLABS AND BE SEALED AGAINST THE PASSAGE OF SMOKE AND FIRE. SEE SHEET TS1.2 FOR FIRE & SMOKE PARTITIONS.
- TOP OF ALL NEW INTERIOR FLOOR DRAINS SET 1 1/2" BELOW FINISHED FLOOR. EXCEPT AS NOTED.
- ALL EXTERIOR CONCRETE SLABS, APRONS, & WALKS TO BE CONCRETE FINISH S-5, UNLESS NOTED OTHERWISE.
- FOC = FACE OF CONCRETE WALL
- VERIFY ALL HB LOCATIONS WITH PLUMBING DRAWINGS.
- SEE ROOM MATERIAL SCHEDULE FOR CONCRETE WALL FORMED FINISHES & SPECIFICATION SECTION 03300
- PARTITION TYPE 4 INDICATES 6" ONE SIDED BURNISHED BLOCK ON INTERIOR OF WALL ONLY. FOR FURTHER WALL MAKE UP INFORMATION SEE SHEET A5.3.
- AT ALL INTERIOR CONCRETE WALLS - EXTERIOR VERTICAL CORNERS TO HAVE 3/4" CHAMFER
- REFER TO SHEET A1.4 FOR PITCHED TO DRAIN CONCRETE FLOORS FOR ROOMS 205 & 208

ROOM MATERIAL SCHEDULE

ROOM NO.	ROOM NAME	FLOOR MAT'L	BASE MAT'L	WALLS				CEILING MAT'L	HEIGHT	FINISH CLASS	REMARKS	ROOM NO.
UPPER LEVEL				NORTH	SOUTH	EAST	WEST					
200	VESTIBULE	CONC S-9	NONE	CMU-3	CMU-3	CMU-3	CMU-3	LC-1	VARIES	FC-1	2,8	200
201	CORRIDOR	SEE PLAN	NONE	CMU-3	CMU-3	CMU-3	CMU-3	LC-1	VARIES	FC-1	1,2,8	201
202	ORIENTATION	CONC S-9	NONE	CMU-4	CMU-4	CONC-F2	CMU-4	LC-1	10'-8"	FC-6	2,8,9	202
203	CORRIDOR	SEE PLAN	NONE			CONC-F2	CMU-4	LC-1	11'-1"	FC-6	1,2,3,8	203
204	KEEPERS ROOM	CONC S-2	NONE	CONC-F1/CMU-4	CMU-4	CMU-4	CONC-F1/CMU-4	ES		FC-2		204
205	EXHIBIT			CONC-F2	CMU-4	CMU-4	CONC-F2	PT-2		FC-6	4	205
206	HABITAT 1	CONC S-9	NONE	CONC-F1	CONC-F2	CONC-F1	CONC-F1	PT-2		FC-6	2,5,8	206
207	KEEPERS ROOM	CONC S-2	NONE	CMU-4	CMU-4	CMU-4	CMU-4	ES		FC-2		207
208	EXHIBIT			CMU-4	CONC-F2	CMU-4		PT-2		FC-6	6	208
209	HABITAT 2	CONC S-10	NONE	CONC-F2		CONC-F2	CONC-F2	ES		FC-7	2	209
210	HABITAT 3	CONC S-10	NONE	CONC-F2	CONC-F1	CONC-F2	CONC-F2	ES		FC-7	2,7	210
211	KEEPERS ROOM	CONC S-2	NONE	CONC-F1	CONC-F1	CONC-F1	CONC-F1	ES		FC-3		211
212	OTHERS	CONC S-2	NONE	CONC-F1	CONC-F1	CONC-F1	CONC-F1	ES		FC-3		212
213	MECHANICAL MEZZANINE			CMU/CONC-F2	CONC-F2	CMU-4		ES		FC-3		213
214	EXIT VESTIBULE	CONC S-9	NONE	CMU	CONC-F2	CMU-4	CONC-F2	ES		FC-3	2	214
215	STAFF ENTRY CORRIDOR	CONC S-5	NONE		CONC-F1	CONC-F1	CMU-4	ES		FC-3		215
216	EXHIBIT VESTIBULE	CONC S-5	NONE	CONC-F1	CONC-F1	CONC-F1	CONC-F1	ES		FC-3		216
217	RECEIVING	CONC S-2	NONE	CMU-4	CMU-4	CMU-4	CMU-4	ES		FC-3		217
ST-A	STAIR	CONC S-2	NONE	CONC-F2	CMU-4	CMU-4	CMU-4/CONC-F2	PT-1		FC-1		ST-A

- REMARKS**
- CONCRETE S-9 & S-10 AS SHOWN ON PLAN.
 - NO EXPANSION OR CONTROL JOINTS IN POURED S-9 & S-10 FLOORS.
 - EAST WALL PRIME PAINTED PT-4. AT CMU: HIGH PERFORMANCE LATEX BASED BLOCK FILLER WITH SPECIFIED PRIMER COLOR. AT CONC: ALKALI RESISTANT ACRYLIC LATEX INTERIOR PRIMER.
 - NO PRIME OR FINISH PAINTING ON WEST WALL, EXCEPT FOR HIGHEST 1'-0" @ ROOF H.C. SLAB. THIS 1'-0" SECTION IS TO BE PRIME PAINTED. SOUTH & EAST SOFFITS TO BE PAINTED PT-1.
 - PRIME PAINT SOUTH WALL (CONC-F2) & ANGLE WALL @ DOOR 207 & NORTH WALL ADJACENT TO DOOR 207. NO CMU PAINTING BELOW GLASS WALLS. SOFFITS @ NORTH & EAST TO BE PAINTED PT-1. AT CMU: HIGH PERFORMANCE LATEX BASED BLOCK FILLER WITH SPECIFIED PRIMER COLOR.
 - AT CONC: RESISTANT ACRYLIC LATEX INTERIOR PRIMER.
 - NO CMU PAINTING BELOW GLASS WALL. SOFFIT @ WEST WALL TO BE PAINTED PT-1.
 - WALLS ABOVE SLOPED ROOF, SOUTH & EAST, TO BE PRIME PAINTED. WALLS BELOW SLOPED ROOF, SOUTH & EAST, TO HAVE NO PAINT. AT CMU: HIGH PERFORMANCE LATEX BASED BLOCK FILLER WITH SPECIFIED PRIMER COLOR. AT CONC: ALKALI RESISTANT ACRYLIC LATEX INTERIOR PRIMER.
 - AT UNDER SIDE OF HOLLOW CORED SLAB, APPLY 7/8" METAL FURRING @ 1'-4" O.C. & ACOUSTICAL CEILING PANEL.
 - PRIME COAT CMU-1 WALLS ONLY. CONCRETE EAST WALL TO BE PT-1

ABBREVIATIONS

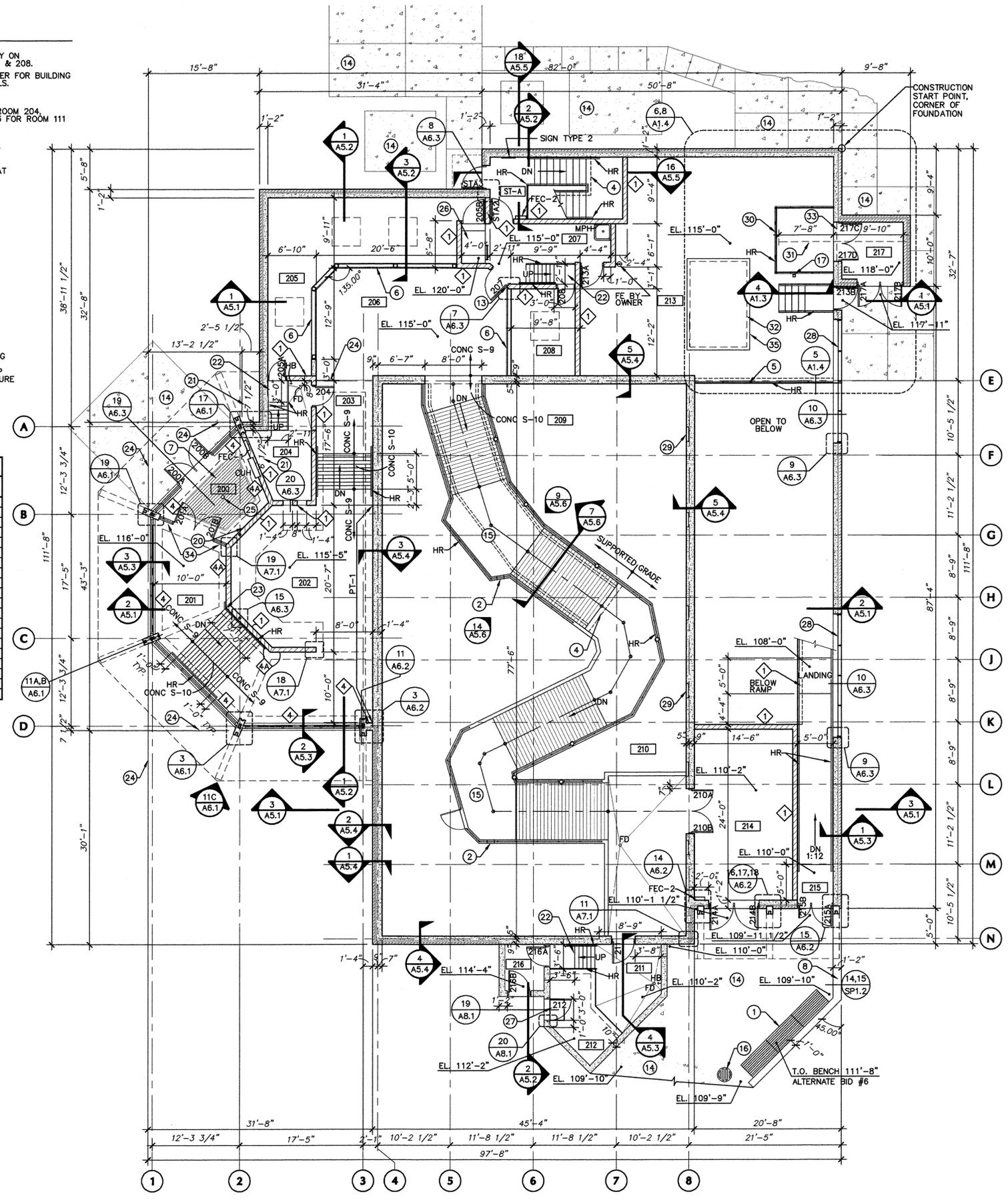
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
ES	EXPOSED STRUCTURE
LC	LINEAR METAL CEILING
ACP	ACOUSTICAL CEILING PANEL
FC	FINISH CLASSIFICATION
PT	PAINT

OPENING SCHEDULE

OPNG NO.	TYPE	DOOR SIZE		FRAME										HWR SET	REMARKS	OPNG NO.
		W	H	GLASS	LABEL	TYPE	MAT'L	GLASS	JAMB	HEAD	OTHER	LABEL				
200A	K	AL	3'-0"	6'-10"	GL-5		AL-2	AL	GL-2,5						A1	200A
200B	K	AL	3'-0"	6'-10"	GL-5		AL-2	AL	GL-2,5						A1	200B
201A	K	AL	3'-0"	6'-10"	GL-1		AL-1	AL	GL-1,6				19/A7.1		A2	201A
201B	K	AL	3'-0"	6'-10"	GL-1		AL-1	AL	GL-1,6				19/A7.1		A2	201B
204	A	STL	2'-8"	6'-10"			F1	STL		12/AB.1	11/AB.1				10	204
205A	G	FG	2'-4"	6'-10"			F5	FG							5	205A
205B	G	FG	3'-0"	6'-10"			F5	FG							5	205B
207	A	STL	3'-0"	6'-10"			F1	STL		12/AB.1	11/AB.1				10	207
208	G	FG	2'-4"	6'-10"			F5	FG							5	208
210A	C	STL	3'-0"	6'-10"	GL-1		F1	STL		16/AB.1	15/AB.1				8	210A
210B	C	STL	3'-0"	6'-10"	GL-1		F1	STL		16/AB.1	15/AB.1				8	210B
211	A	STL	3'-0"	6'-10"			F1	STL		16/AB.1	15/AB.1				10	211
212	E	STL	3'-0"	3'-0"			F3	STL		20/AB.1	19/AB.1				12	212
213A	A	STL	3'-0"	6'-10"			F1	STL		12/AB.1	11/AB.1				2	213A
213B	A	STL	3'-0"	7'-2"			F1	STL		18/AB.1	17/AB.1				6	213B
214A	C	STL	3'-4"	7'-0"	GL-1		F2	STL		18/AB.1	17/AB.1				6	214A
214B	C	STL	3'-4"	7'-0"	GL-1		F2	STL		18/AB.1	17/AB.1				6	214B
215A	A	STL	2'-10"	7'-2"			F2	STL		18/AB.1	17/AB.1				6	215A
215B	A	STL	2'-8"	7'-2"			F2	STL		18/AB.1	17/AB.1				6	215B
216A	A	STL	2'-10"	6'-10"			F1	STL		16/AB.1	15/AB.1				9	216A
216B	A	STL	3'-0"	6'-10"			F1	STL		16/AB.1	15/AB.1				11	216B
217A	A	STL	3'-0"	7'-2"			F2	STL		18/AB.1	17/AB.1				6	217A
217B	A	STL	3'-0"	7'-2"			F2	STL		18/AB.1	17/AB.1				6	217B
217C	A	STL	3'-0"	7'-2"			F6	STL		18/AB.1	17/AB.1				7	217C
217D	A	STL	2'-4"	7'-2"			F6	STL		18/AB.1	17/AB.1				7	217D
STA2	B	STL	3'-0"	6'-10"	GL-4	90	F1	STL		12/AB.1	11/AB.1			B	9	STA2
STA3	A	STL	3'-0"	6'-10"			F1	STL		18/AB.1	17/AB.1				6	STA3

ABBREVIATIONS

FG	FIBERGLASS
AL	ALUMINUM
STL	STEEL
GL	GLASS



UPPER LEVEL PLAN
SCALE: 1/8" = 1'-0"

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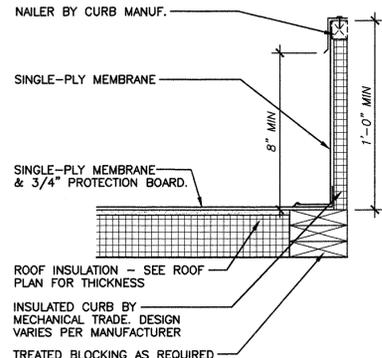
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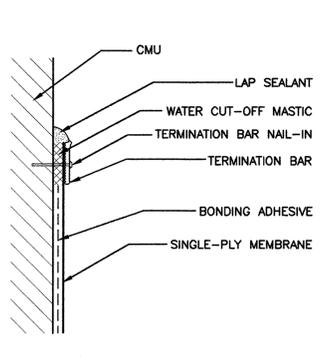
SHEET CONTENTS

UPPER FLOOR PLAN & BUILDING SCHEDULES

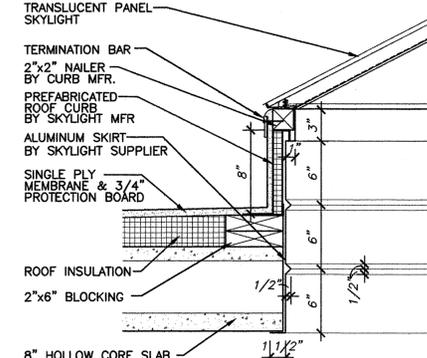




1 EQUIPMENT SUPPORT
SCALE: 1 1/2" = 1'-0"



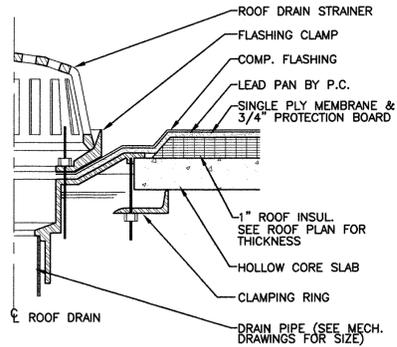
2 TERMINATION BAR
SCALE: 3" = 1'-0"



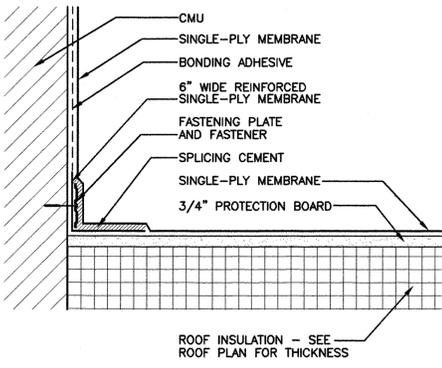
3 SKYLIGHT CURB (TYP.)
SCALE: 1 1/2" = 1'-0"

GENERAL ROOF NOTES

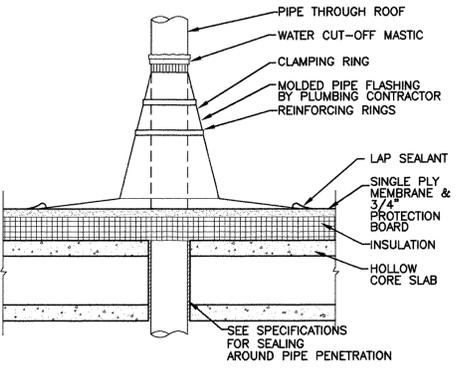
- ELEVATION MARKERS INDICATES THICKNESS OF RIGID INSULATION ABOVE HOLLOW CORE SLAB. THICKNESS DOES NOT INCLUDE 3/4" PROTECTION BOARD
- GUTTER SYSTEM TO BE DESIGNED & INSTALLED AS A FLAT SYSTEM.
- GUTTERS & DOWN SPOUTS BY MFR OF TRANSLUCENT ROOF SYSTEM.



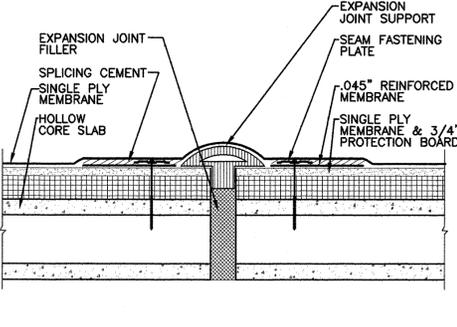
6 ROOF DRAIN (RD)
SCALE: 1 1/2" = 1'-0"



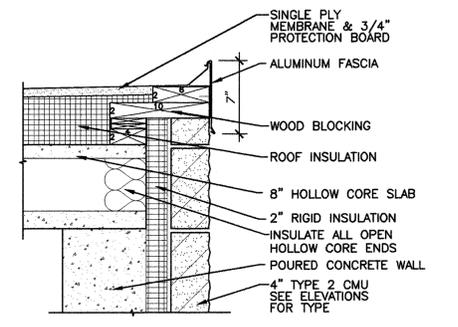
7 VERTICAL TRANSITION
SCALE: 3" = 1'-0"



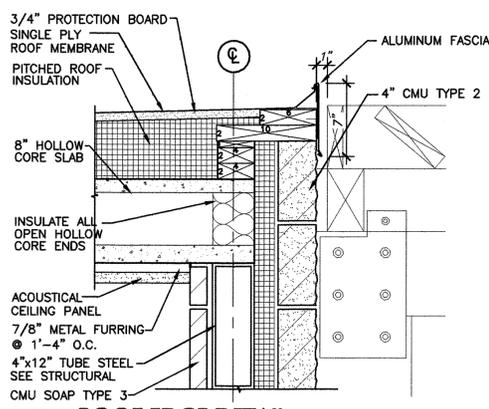
11 VENT THRU ROOF
SCALE: 1 1/2" = 1'-0"



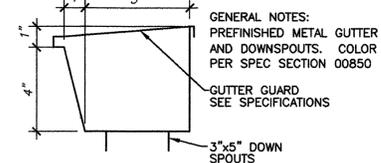
12 ROOF EXPANSION JOINT
SCALE: 1 1/2" = 1'-0"



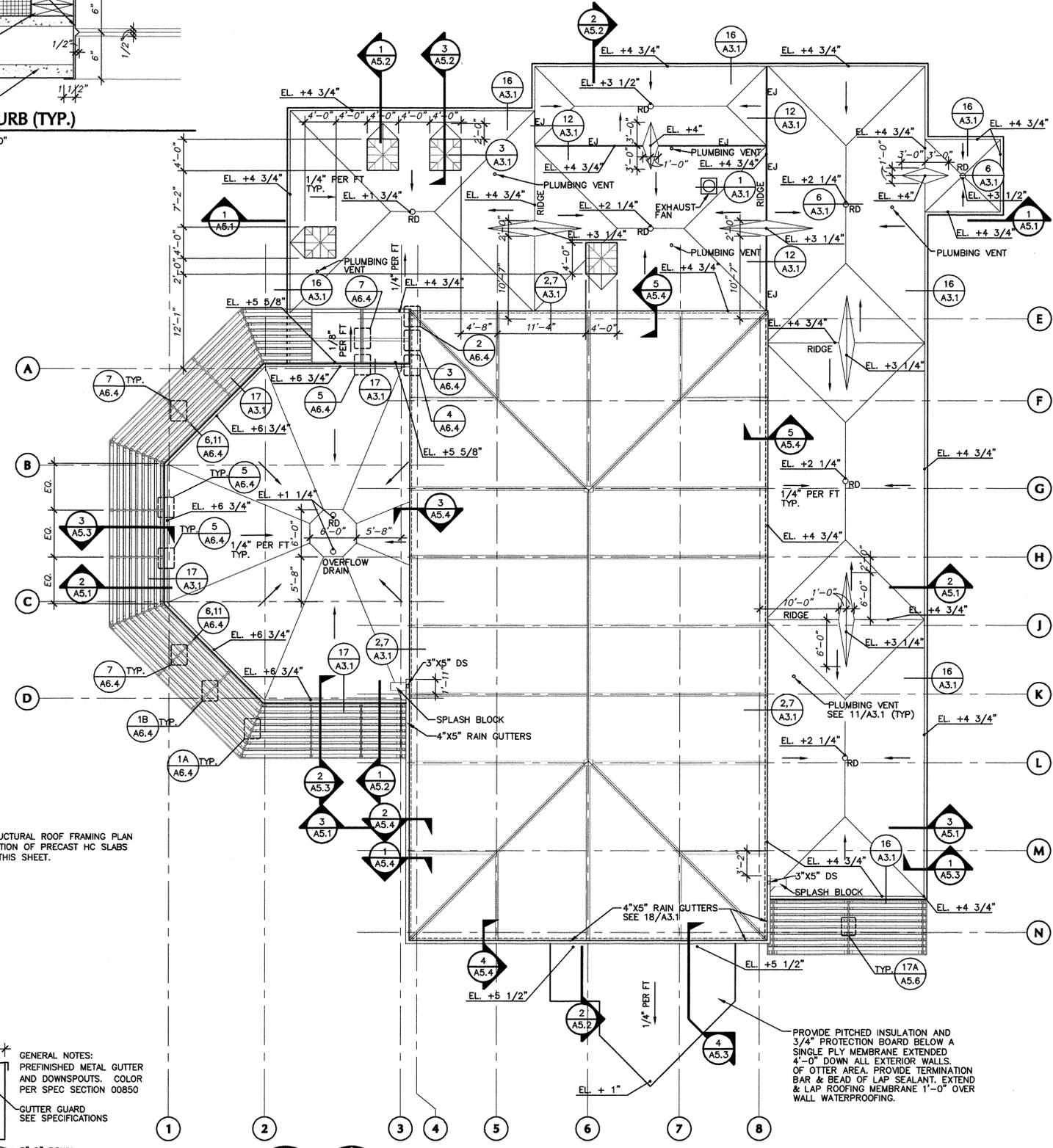
16 ROOF EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



17 ROOF EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



18 GUTTER PROFILE
SCALE: 3" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

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ELECTRICAL ENGINEER: DURRANT
LANDSCAPE ARCHITECT: PATRICK JANIKOWSKI ARCHITECTS P.S.
ZOOLOGICAL CONSULTANT: PATRICK JANIKOWSKI ARCHITECTS P.S.

REVISIONS

NO.	DESCRIPTION

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DRAWN BY CLR
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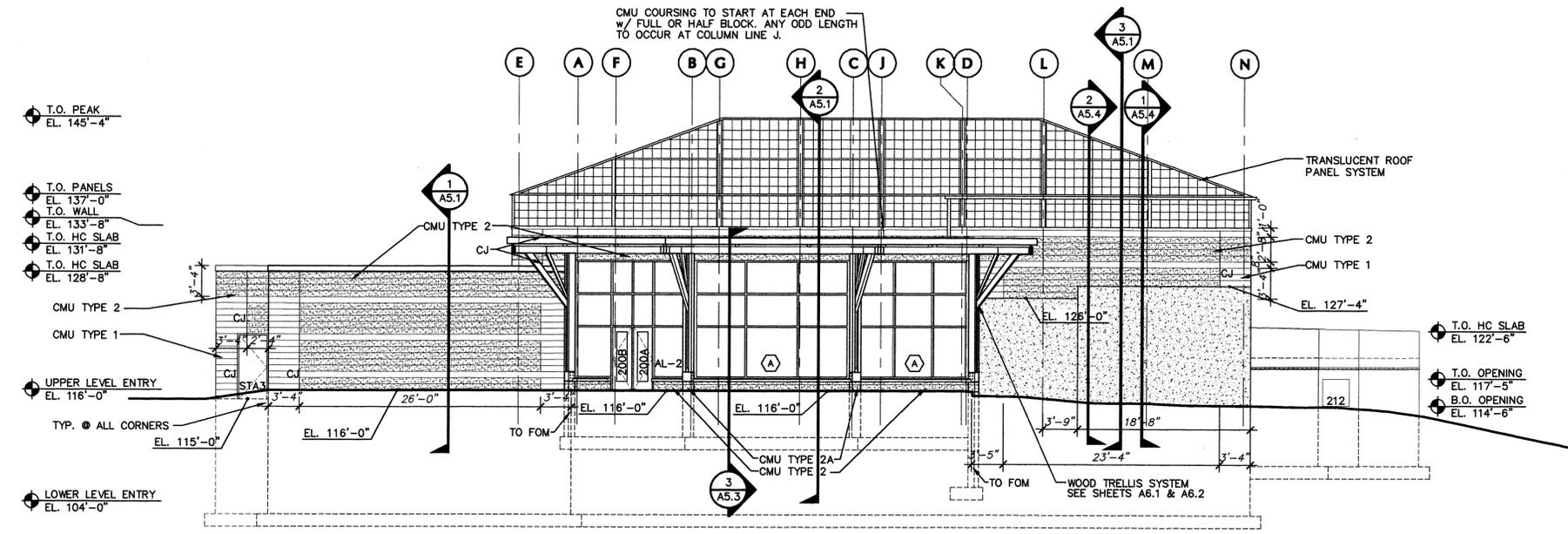
SHEET CONTENTS
ROOF PLAN & ROOF DETAILS

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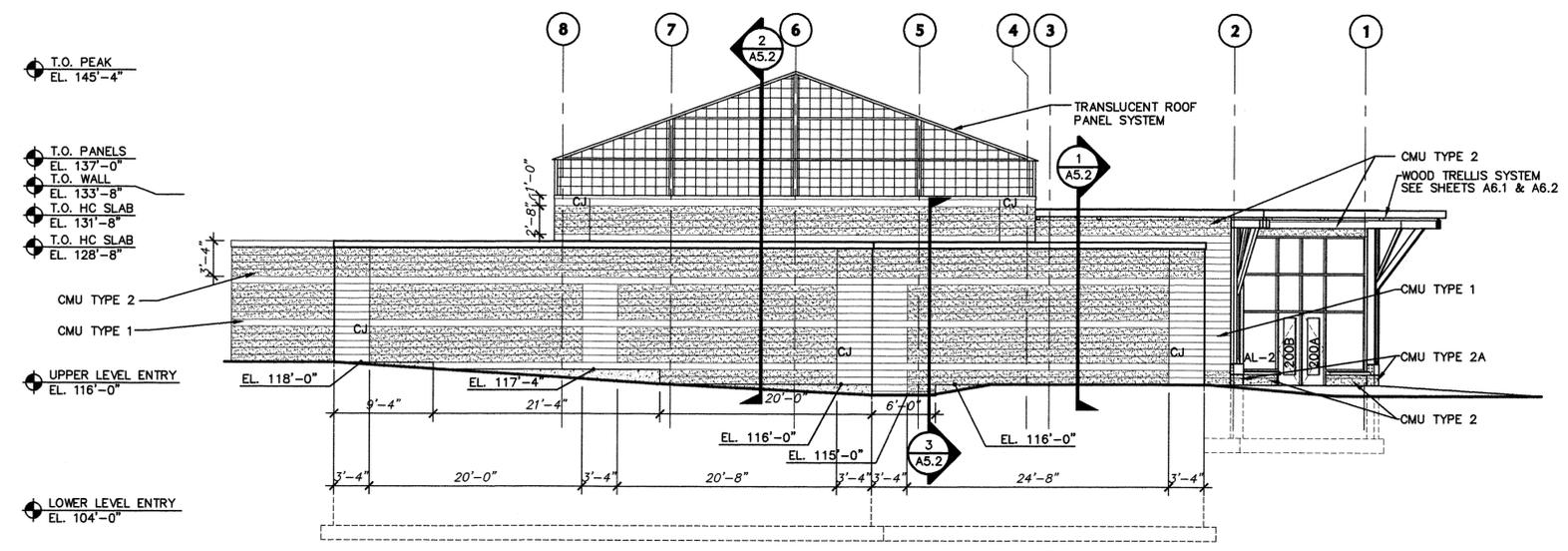
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 LOCATION: P:\99193\Drawings\99193007BLK.dwg XREFS: P:\99193\Drawings\9919300A41.dwg



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

HENRY VILAS ZOO AVIARY

702 S. RANDALL AVENUE
 MADISON, WISCONSIN



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REVISIONS

PROJECT NO. 99193.00
 DATE 10/12/00
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SHEET CONTENTS
 EXTERIOR ELEVATIONS

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Henry Vilas Zoo Aviary Building
 Aviary Skylight Panel Replacement
 Wednesday, March 20, 2019, 1:00 PM

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