

# DANE COUNTY DEPARTMENT of PUBLIC WORKS, HIGHWAY and TRANSPORTATION

County Executive  
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Commissioner / Director  
Gerald J. Mandli

April 30, 2008

## ATTENTION ALL REQUEST FOR BID (RFB) HOLDERS

### RFB NO. 108059 - ADDENDUM NO. 1

#### LAKEVIEW BRICK TUCKPOINTING – PHASE II

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**BIDS DUE:** THURSDAY, MAY 8, 2008, 2:00 PM. DUE DATE AND TIME ARE NOT CHANGED BY THIS ADDENDUM.

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This Addendum is issued to modify, explain or clarify the original Request for Bid (RFB) and is hereby made a part of the RFB. **Acknowledge this addendum on the Bid Form.**

#### PLEASE MAKE THE FOLLOWING CHANGES:

**1. Instructions to Bidders**

Page ITB-2: The last line of this page was cut off of any bid packets that were picked up in our office. It was included in any bid packets that were downloaded from our website. The last line on this page should read:

“Wisconsin; that persons executing contract on its behalf are authorized to do so; and,”

**2. Changes to Specifications**

Sections 04810.2.2.F, 04810.3.3.E, and 04900.3.3.C:

Where spacing between weeps is specified in these sections, change the existing language so that weeps are placed 18” o.c., with a minimum of three weeps per window lintel.

Section 04900, Masonry Restoration and Cleaning, Page 3, Paragraph 3.3.B.1:

Delete, “Cut out loose or disintegrated mortar in joints to minimum 3/4 inch depth,” and replace with, “Cut out mortar in 100% of mortar joints within the Work area to minimum 3/4 inch depth”

Section 07900, Joint Sealers, Page 1, Paragraph 1.1, SUMMARY:

Add, “Work does not include the replacement of sealant between window frames and brick unless it is damaged during adjacent Work or it is in need of repair, as approved by the Project Engineer. Work includes sealant along all joints of stone window sills. Work includes sealant between window frame and steel lintels above. After sealing

these areas, drill weeps as described in Construction Documents. Work also includes grinding out all caulk along joints of all stone parapet caps and replacing with new sealant.”

### **3. Additional Information Addressed in Pre-bid Meeting**

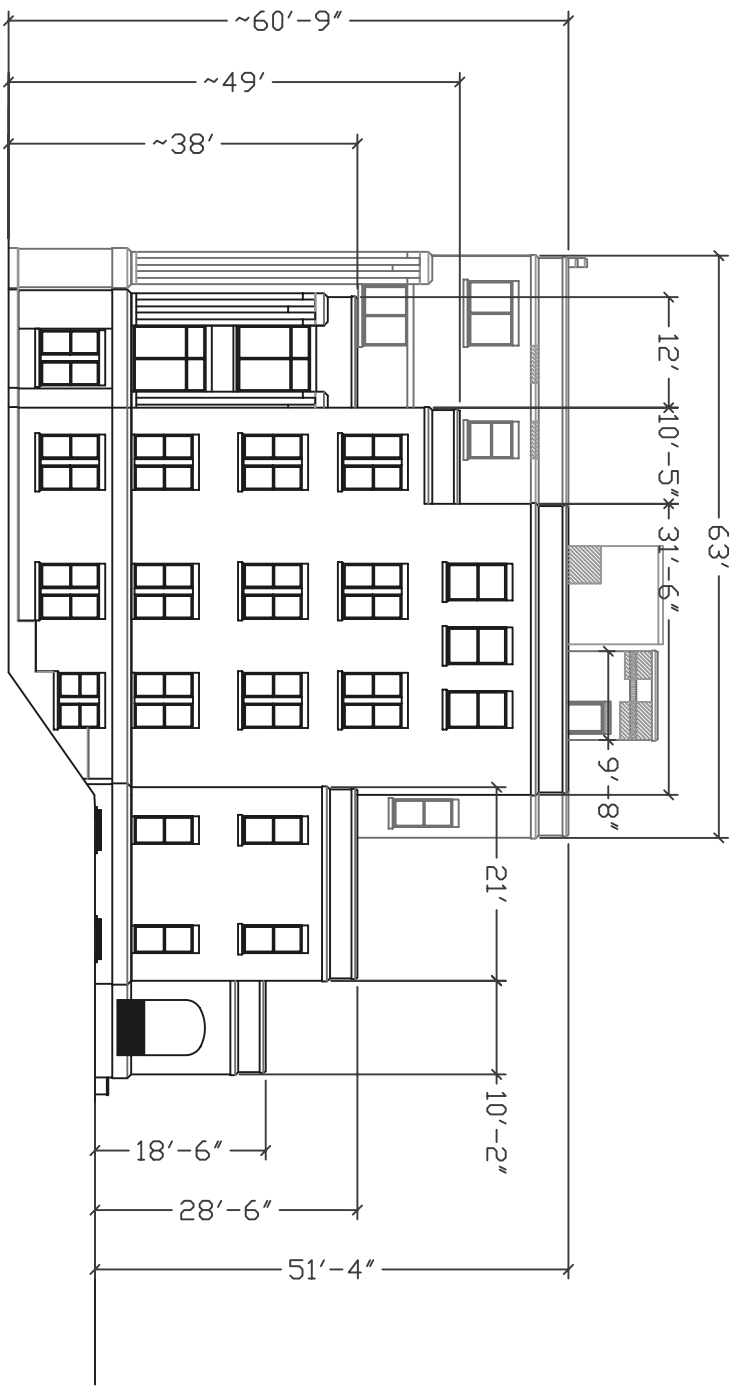
- i. There will be one (1) enclosed garage stall available for storing Contractor materials on site. There will also one (1) parking stall reserved near the building for the Contractor’s vehicle or equipment. Additional parking stalls are available in the parking lot. Contractor may also park equipment on the grass, but Contractor must repair lawn to existing conditions.
- ii. The project completion date has been moved from October 30, 2008 to November 10, 2008. If there are extreme weather conditions, which prevent Contractor from finishing by that date, an extension may be granted if Contractor has given a major effort to complete the Work on time.
- iii. Contractor’s insurance must include builder’s risk.
- iv. Contractor is responsible for paying for and obtaining all permits. The City of Madison will require a permit.
- v. The affirmative action forms included with the bid package must be submitted before starting Work. These forms outline the goals of Dane County. However, a contractor will not be disqualified for not meeting these goals.
- vi. There are water spigots and electrical receptacles around the outside of the building.
- vii. Owner will provide Contractor with keys to gain access to roof for Work. This is a high security building, and Contractor must take precautions.
- viii. There are occasionally public events on the Human Service grounds. The most notable of these is Rhythm and Booms viewing. During these events, Contractor will need to move trucks and equipment to a back area of the parking lot. Contractor will also need to thoroughly clean the site before these events and on a nightly basis.
- ix. Vandalism is fairly common on this site. Cameras have recently been installed on the grounds. However, Contractor is required to take necessary precautions, and Contractor is responsible for any damage that may occur to Contractor equipment or materials.
- x. The areas described in the Construction Documents are very rough estimates. Bidder is solely responsible to verify all quantities of Work before bidding. Drawings are attached that indicate building dimensions. If more detail is needed, a complete set of plans is available in the Public Works office for Bidders to review.
- xi. Contractor is responsible to clean areas of Work as Work proceeds. This includes having the windows professionally cleaned upon completion of Work. Contractor is not responsible for cleaning the brick or stone other than to clean any mess resulting from Contractor’s Work. However, there is a caulk residue on the

underside of the arches of the north porch area that must be cleaned off by the Contractor.

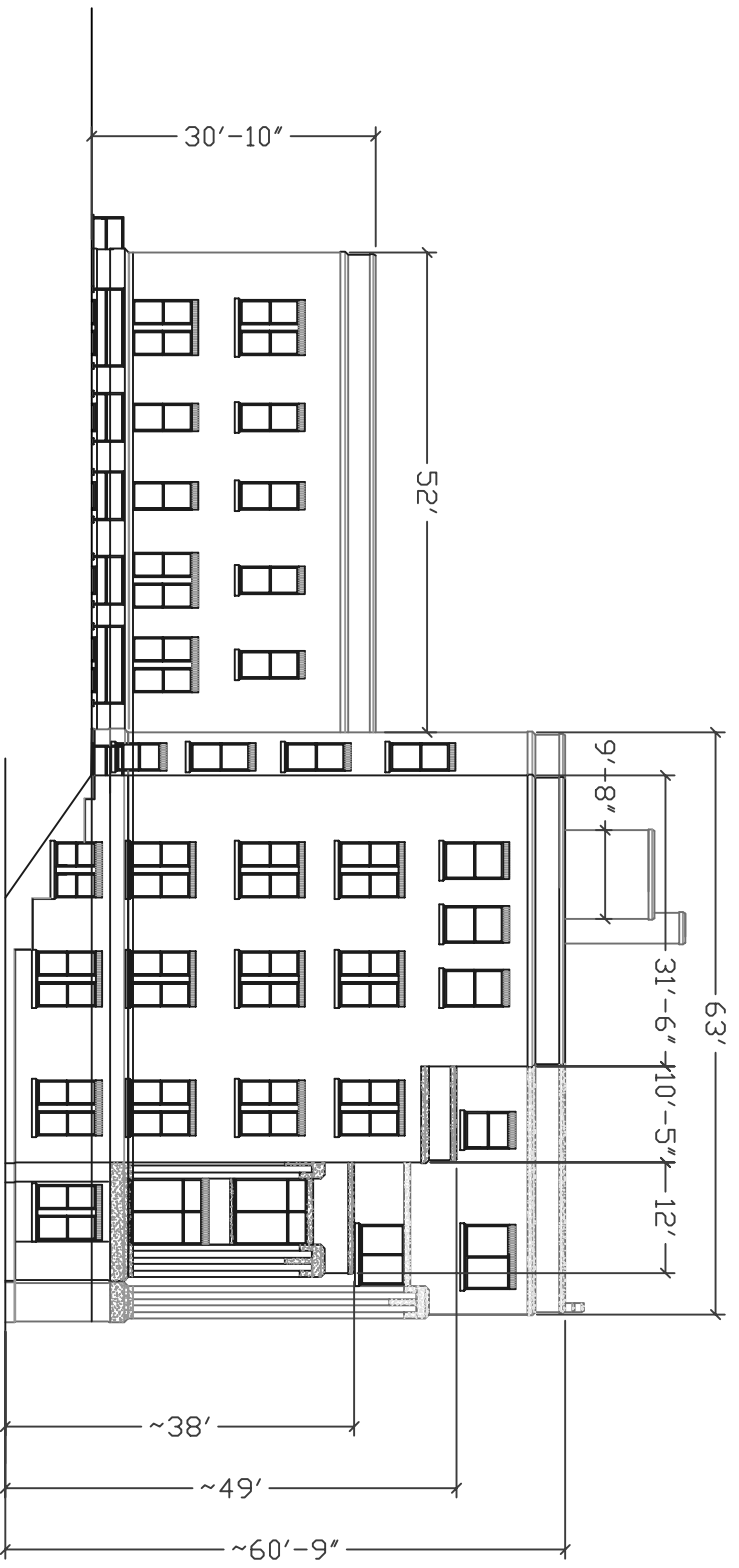
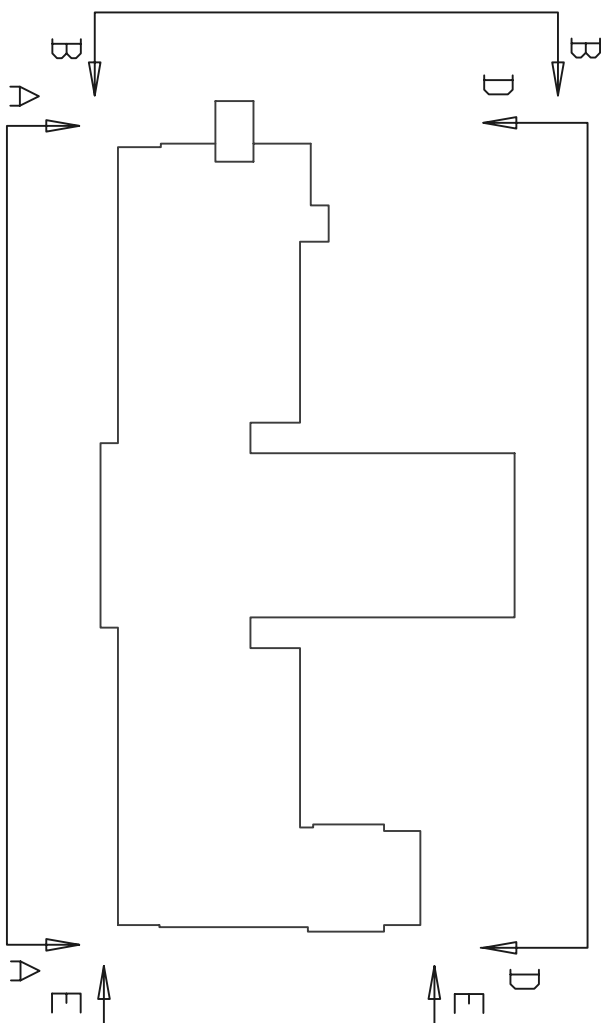
- xii. Bills over \$10,000 usually take 1 to 1-1/2 months to pay because of the County Boards that must approve them. Contractor may bill as often as every two weeks, and may submit a bill for new Work completed even if the previous bill for previously completed Work has not been paid yet.
- xiii. The Owner will provide all brick for brick replacement.
- xiv. Areas to receive tuckpointing include all brick faces of the building except the following: areas that were tuckpointed in 2007, the interior faces of the porch on the north side of the building, and the elevator shaft on the west side of the building (except for the 20 square feet of elevator shaft tuckpointing shown on the original drawings). The areas that were tuckpointed in 2007 include the south building face and the east and west returns to the first offset. To clarify, the areas to receive tuckpointing do include the interior face of all parapet walls and the east and west returns of the tower that protrudes from the building's southern face.
- xv. There are a total of 12 parapet cap stones that need to be replaced on the upper parapet wall on the north face of the building. Owner has marked the stones to be replaced. These stone range in length from 3-5 feet, and there is a total of approximately 50 feet of stone parapet caps to be replaced.
- xvi. Contractor will be required to remove or lift electrical conduit in order to tuckpoint the mortar joints behind the conduit. Electrical boxes will not be required to be moved for tuckpointing Work. Additionally, patch in any deteriorated mortar joints up to the face of any electrical boxes. Caulk around the top and two sides of the electrical boxes to prevent moisture from getting behind the boxes.
- xvii. For antennas which are attached to the central elevator shaft, caulk around the base plates but do not remove them. Remove or loosen antennas and appurtenances enough to tuckpoint all areas in the vicinity of the antennas and appurtenances.
- xviii. Bidders may visit the site and perform a test cut on the mortar before submitting bids.
- xix. Along the joints of the west elevator, remove any exposed old or loose caulk and install new caulk over copper backer.
- xx. The original plans show two lintel stones to be replaced on the east face of the building. Instead, there is one stone at the southeast corner below the fourth floor windows that must be reset. The other stone is approximately 10 feet to the north of this stone and approximately 3 feet above the fourth floor windows. The face of this stone is cracking off at one end. Remove the small section that is cracked and reattach it to the stone with an exterior concrete adhesive approved by the Project Engineer.

Enclosures:

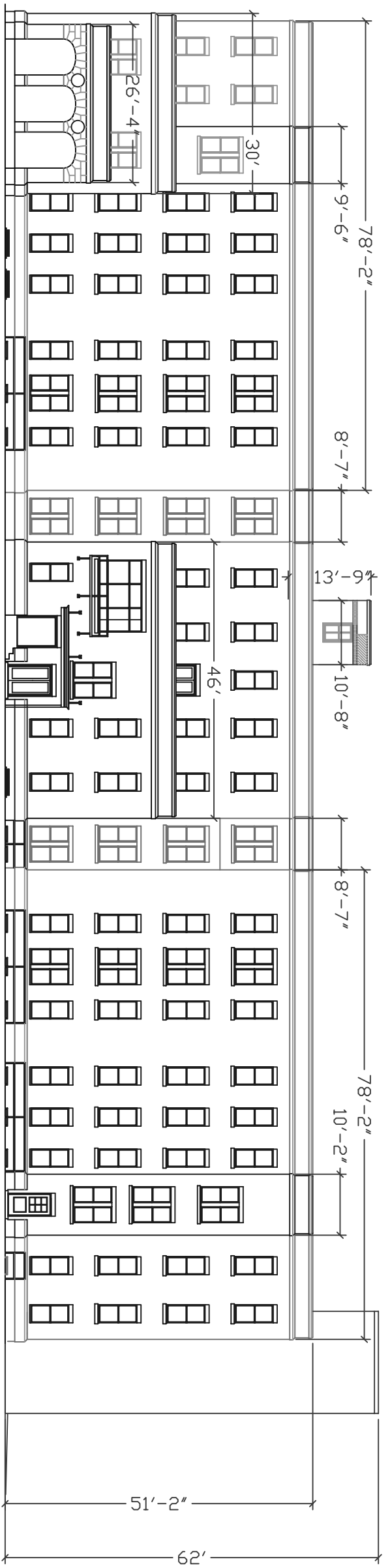
Two site drawings with dimensions



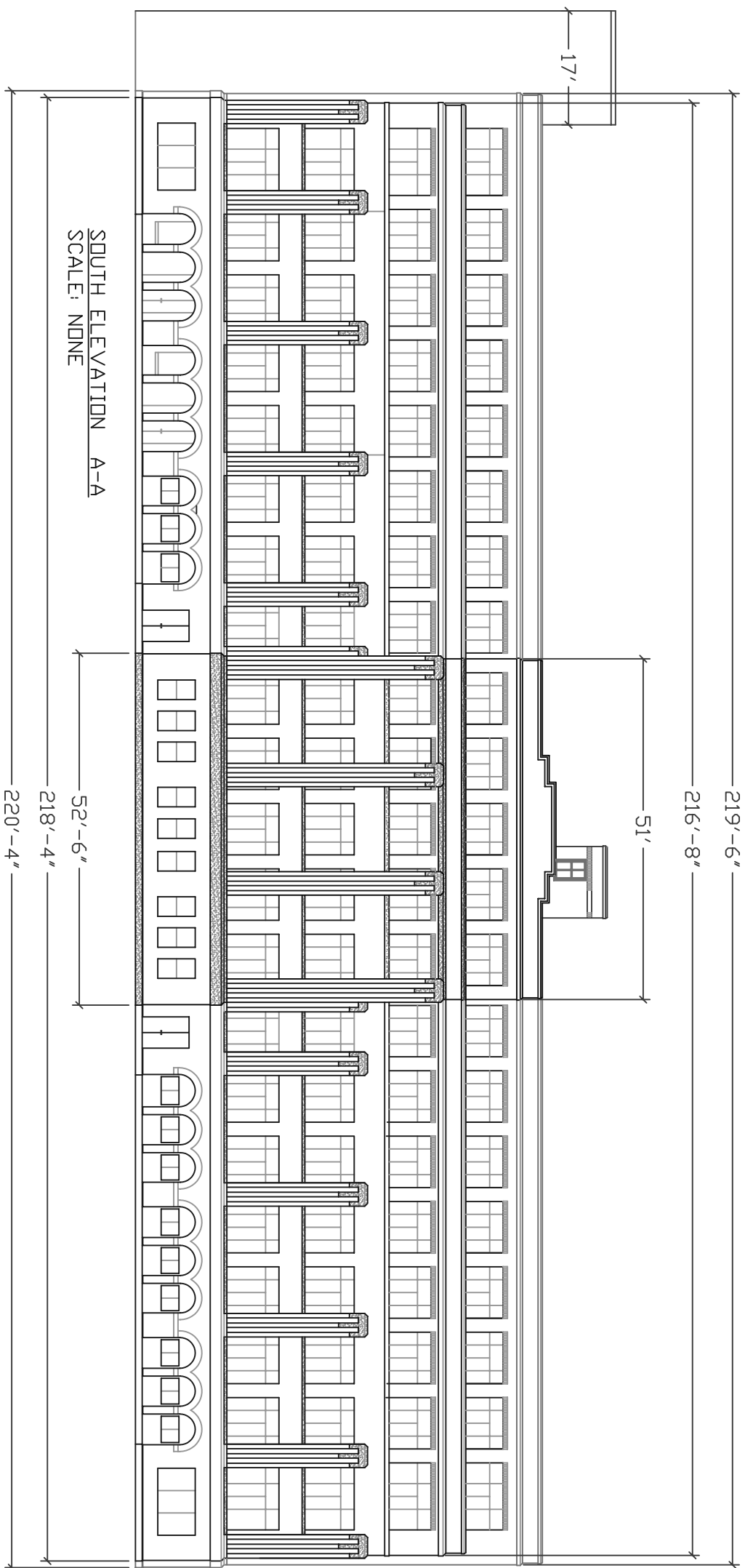
EAST END ELEVATION E-E  
SCALE: NONE



WEST END ELEVATION B-B  
SCALE: NONE



NORTH ELEVATION D-D  
SCALE: NONE



SOUTH ELEVATION A-A  
SCALE: NONE