



DANE COUNTY DEPT. OF WASTE & RENEWABLES

1919 Alliant Energy Center Way
Madison, Wisconsin 53713
Office: 608/266-4018 ♦ Fax: 608/267-1533

ADDENDUM #1

August 2, 2022

ATTENTION ALL REQUEST FOR BID HOLDERS

RFB NO. 322026 - ADDENDUM NO. 1

MAINTENANCE / OFFICE BUILDING CONSTRUCTION

BIDS DUE: TUESDAY, AUGUST 9, 2022, 2:00 PM. DUE DATE AND
TIME ARE NOT CHANGED BY THIS ADDENDUM.

This Addendum is issued to modify, explain or clarify the original Request for Bid (RFB) and is hereby made a part of the RFB. Please attach this Addendum to the RFB.

PLEASE MAKE THE FOLLOWING CHANGES:

Clarifications

1. Existing Temporary Office Building

Existing temporary office building to be removed by others with minimum 30-day notice from contractor.

Replace current Drawing A100 with new Drawing A100, issued with this Addendum.

2. Existing Sanitary and Water Utilities

The sanitary and water utilities shown as existing on Drawing A104 are proposed, and are being installed in conjunction with the WDOT reconstruction of US Hwy 12&18 beginning in the fall of 2022.

Replace current Drawing A104 with new Drawing A104, issued with this Addendum.

3. Existing Shop Building Windows

The existing shop building has four openings on the southern façade originally designed for aluminum frames with 1" insulated glazing. Only one of the four opening had glass properly installed; the three other openings have aluminum frames covered with plywood. These three openings will require new aluminum frames with 1" insulated glazing.

Replace current Drawings A200 and A203 with new Drawings A200 and A203, issued with this Addendum.

4. Landscaping

Specification section "32 90 00 Landscaping" has been included in the bid package. There is no landscaping associated with this project.

5. Wood Door Specifications

Specification section "08 14 29 Wood Doors (Pre-Finished)" has been added.

Replace Table of Contents with new Table of Contents and add new specification section.

Alternate Bid #1

Provide Lump Sum Alternate Bid #1 to fully cover the scope of work outlined below.

Contractor Provided Temporary Office Space

- Existing temporary office building to be removed by others with minimum 30-day notice from Contractor.
- Contractor may elect to leave existing temporary office building in place during construction to the extent possible. Existing temporary office building does not need to be removed at the beginning of construction/demolition.
- Contractor provided temporary office space to be available and fully functional within 7-days of removal of existing temporary office building.
- Contractor provided temporary office space to meet the following requirements:
 - o Weather proof and climate controlled with heating and air conditioning for local ambient conditions.
 - o Minimum 320 square feet and 2 separated partitions, buildings, or containers.
 - o Furnished office space, including desks, chairs and tables for a staff of four.
 - o Single bathroom and handwashing facility with self contained water system and hot water (can be stand alone unit). If stand alone unit, bathroom to be available prior to removal of existing temporary office building.
- Contractor provided office space and bathroom for use by Dane County Staff only. Contractor shall provide separate job trailer and bathroom facilities for Contractor staff as necessary.
- Contractor responsible for all maintenance and/or servicing of temporary office and bathroom.
- Contractor provided temporary office space and bathroom shall be available until occupancy of finished maintenance/office building is granted.
- County shall provide access to existing electrical feed. Additional wire, equipment, relocation, and all other material and labor to complete shall be the responsibility of the Contractor. Existing facilities include:
 - o 60A 480V breaker feeding a 25kVA 120/240 transformer
 - o 70A 480V breaker feeding a 25kVA 120/240 transformer

Sincerely,

Robert Regan, P.E.
Project Engineer

Enclosures:

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Bid Form
Specification Section 08 14 29 Wood Doors (Pre-Finished)
Drawings A100, A104, A200, and A203

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DRAWINGS

- 1.0 Title Sheet
- A100 Existing Site Plan (Revised – Addendum #1)
- A101 Overall Site Plan
- A102 Architectural Site & Grading Plan
- A103 Existing Site Utilities Demo Plan
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- M201 HVAC Plans
- E201 Electrical Lighting and Power Plan
- E202 Electrical Schedules and Details
- IT201 IT Plan

Name of Bidding Firm: _____

SECTION 00 41 13

BID FORM

BID NO. 322026

**PROJECT: MAINTENANCE / OFFICE BUILDING CONSTRUCTION
DANE COUNTY RODEFELD LANDFILL**

**TO: DANE COUNTY DEPARTMENT OF WASTE & RENEWABLES
ROBERT REGAN, PROJECT ENGINEER
1919 ALLIANT ENERGY CENTER WAY
MADISON, WISCONSIN 53713**

NOTE: WISCONSIN STATUTE 77.54 (9M) ALLOWS FOR NO SALES & USE TAX ON THE PURCHASE OF MATERIALS FOR COUNTY PUBLIC WORKS PROJECTS. THIS

BASE BID - LUMP SUM:

Dane County is inviting Bids for construction services at the Dane County Rodefled Landfill. The project will consist of rehabilitation of an existing 2,800 square foot maintenance building and construction of an adjacent 1,200 square foot office building, including all civil, mechanical, and electrical work. The undersigned, having examined the site where the Work is to be executed and having become familiar with local conditions affecting the cost of the Work and having carefully examined the Drawings and Specifications, all other Construction Documents and Addenda thereto prepared by Dane County Department of Waste & Renewables hereby agrees to provide all labor, materials, equipment and services necessary for the complete and satisfactory execution of the entire Work, as specified in the Construction Documents, for the Base Bid stipulated sum of:

_____ and __ /100 Dollars
Written Price

\$ _____
Numeric Price

ALTERNATE BID 1 - LUMP SUM:

Add price for Contractor provided office space as outlined in Addendum #1.

_____ and __ /100 Dollars
Written Price

\$ _____
Numeric Price

Receipt of the following addenda and inclusion of their provisions in this Bid is hereby acknowledged:

Addendum No(s). _____ through _____

Dated _____

Dane County Department of Waste & Renewables must have this project completed by March 31, 2023. Assuming this Work can be started by September 15, 2022, what dates can you commence and complete this job?

Commencement Date: _____ Completion Date: _____
(final, not substantial)

I hereby certify that all statements herein are made on behalf of:

(Name of Corporation, Partnership or Person submitting Bid)

Select one of the following:

1. A corporation organized and existing under the laws of the State of _____, or
2. A partnership consisting of _____, or
3. A person conducting business as _____;

Of the City, Village, or Town of _____ of the State of _____.

I have examined and carefully prepared this Bid from the associated Construction Documents and have checked the same in detail before submitting this Bid; that I have full authority to make such statements and submit this Bid in (its) (their) (my) behalf; and that the said statements are true and correct. In signing this Bid, we also certify that we have not, either directly or indirectly, entered into any agreement or participated in any collusion or otherwise taken any action in restraint of free competition; that no attempt has been made to induce any other person or firm to submit or not to submit a Bid; that this Bid has been independently arrived at without collusion with any other bidder, competitor, or potential competitor; that this Bid has not been knowingly disclosed prior to the Bids Due Date to another bidder or competitor; that the above statement is accurate under penalty of perjury.

The undersigned is qualified as a Best Value Contractor or has proven their exemption. Qualification or exemption shall be complete before Bid Due Date / Time.

The undersigned further agrees to honor the Base Bid and the Alternate Bid(s) for sixty (60) calendar days from date of Award of Contract.

SIGNATURE: _____
(Bid is invalid without signature)

Print Name: _____ Date: _____

Title: _____

Address: _____

Telephone No.: _____ Fax No.: _____

Email Address: _____

Contact Person: _____

END OF SECTION

THIS PAGE IS FOR BIDDERS' REFERENCE
DO NOT SUBMIT WITH BID FORM.

BID CHECK LIST:

These items **must** be included with Bid:

- | | |
|---|---|
| <input type="checkbox"/> Bid Form | <input type="checkbox"/> Bid Bond |
| <input type="checkbox"/> Proposed Subcontractors Form | <input type="checkbox"/> Fair Labor Practices Certification |

DANE COUNTY BEST VALUE CONTRACTING QUALIFICATION

General Contractors & all Subcontractors must be qualified as a Best Value Contractor with the Dane County Public Works Engineering Division. Qualification & listing is not permanent & must be renewed every 36 months. Complete a *Best Value Contracting Application* online at:

publicworks.countyofdane.com/bvc

DANE COUNTY VENDOR REGISTRATION PROGRAM

All bidders are strongly encouraged to be a registered vendor with Dane County. Registering allows vendors an opportunity to receive notifications for RFBs & RFPs issued by the County and provides the County with up-to-date company contact information. Complete a new form or renewal online at:

danepurchasing.com/Account/Login?

SECTION 08 14 29 WOOD DOORS (PRE-FINISHED)

SCOPE Applicable provisions of the General and Supplementary Conditions and Division 1 govern work under this Section.

INDEX	1.1 Description	1.5 Warranty
	1.2 Quality Assurance	2.1 Materials
	1.3 Submittals	3.1 Surface Conditions
	1.4 Product Delivery, Storage and Handling	3.2 Installation
		3.3 Adjustments and Cleaning

PART 1 GENERAL

1.1 Description

- A. Work Included: Wood doors and wood transoms not matched grain to doors required for this Work are indicated on the Drawings and include rated and non rated passage doors. See Door Schedule in Drawings.
- B. Related Work Specified Elsewhere
- | | |
|---------------------------|------------------|
| 1. Metal Fabrications | Section 05 50 00 |
| 2. Rough Carpentry | Section 06 10 00 |
| 3. Architectural Woodwork | Section 06 40 00 |
| 4. Metal Door Frames | Section 08 11 00 |
| 5. Finish Hardware | Section 08 71 00 |
| 6. Glazing | Section 08 80 00 |
| 7. Painting | Section 09 91 00 |

1.2 Quality Assurance

- A. Qualifications of Manufacturers
- B. Qualifications of Installers: For actual installation of wood doors, and installation of finish hardware on wood doors, use only skilled journeyman carpenters who are completely familiar with the recommended methods of installation and the requirements of this Work.
- C. Allowable Tolerances
1. Size: Not prefit: +1/16 inch, overall dimensions.
 2. Maximum warp: 1/4 inch.
 3. Squareness: Length of diagonal measured on face of door from upper right corner to lower left corner between length of diagonal measured on upper left corner to lower right corner: maximum difference of 1/4 inch.
 4. Show-through (photographing): 1/1000 inch deviation from true plane in any 3 inch span on door face.
- D. Source Quality Control
1. Door Standards: AWI Quality Standard Section.
- E. Reference Standards
1. American National Standards Institute (ANSI):

- a. A 135.4, Basic Hardboard
2. Commercial Standards (CS)
 - a. 171, Hardwood Veneered Doors (Solid-core, Hollow-core and Panel and Sash)
 - b. 262,
3. National Woodwork Manufacturers Association, Inc. (NWMA):
 - a. I.S.I, Wood Flush Doors
 - b. I.S.4, Water-Repellant Preservative Non-Pressure Treated for Millwork

1.3 Submittals: Within 35 days after award of Contract, and before any of the materials of this Section are delivered to the job site, submit complete to the Architect in accordance with these Specifications; the following:

- A. Samples: Submit samples showing face veneers and finish of doors.
- B. Shop Drawings
 1. Show details of door construction.
 - a. Wood transoms per schedule.
 - b. Face veneer species.
 2. Prefitting and prematching doors: Prepare in accord with hollow metal frame shop drawings and schedule, hardware schedule and templates, furnished before doors are fabricated.
 3. Door Schedule: Indicate opening identifying symbol, sizes, door type and grade and show elevation, fire classification marking, swing, light and louver cutout sizes and locations, undercuts, stile and rail reinforcement, and internal blocking for hardware attachment.
- C. Certificates: Certificates of compliance with fabrication and test requirements signed by an authorized representative of the door manufacturing company.

1.4 Product Delivery, Storage and Handling: Package, deliver and store doors in accord with AWI requirements.

- A. Protection: Use all means necessary to protect the materials of this Section before, during and after installation and to protect the installed work and materials of all other trades.
- B. Delivery of Materials
 1. Deliver doors to site after plaster and cement are dry and building has reached average prevailing relative humidity of locality.
 2. Seal all four edges of doors when delivered to project site.
- C. Storage of Materials, Equipment and Fixtures
 1. Stack flat on 2" x 4" lumber, laid 12 inches from ends and across center.
 2. Under bottom door and over top of stack provide plywood or corrugated cardboard to protect door surfaces.
 3. Store doors in area where there will be no great variations in heat, dryness and humidity.
 4. Protect from weather and construction activities.
- D. Handling Materials and Equipment: Do not drag doors across one another.
- E. Replacements: In the event of damage, immediately make all repairs and replacements

necessary to the approval of the Architect and at no additional cost to the Owner.

1.5 Warranty: Warranty materials and workmanship under conditions of NWMA Standard Door Warranty.

- A. Warranty to begin at date of substantial completion of the project or from date of approved repair work for Manufacturer's defects listed on the Punch List.

PART 2 PRODUCTS

2.1 Materials

- A. Door Standards: AWI flush door standards.
- B. Wood Veneer
1. Quality grade: custom
 2. Species: Red Oak
 3. Face cut: Rotary
- C. Adhesives: CS 171, Type I exterior and Type II interior.
- D. Core
1. Particleboard solid core: Type I Density C, CS 236.
 2. Mineral solid core.
 - a. Minimum density of 16 pcf and maximum density 28 pcf, ASTM C 303.
 - b. Moisture absorption by weight, maximum of 10% when core is in equilibrium with 90% relative humidity and 70 degrees F.
- E. Finish: Prefinish door and transoms with factory applied stain and varnish.

PART 3 EXECUTION

3.1 Surface Conditions

- A. Inspection
1. Prior to all Work of this Section, carefully inspect the installed work of all other trades and verify that all such work is complete to the point where this installation may properly commence.
 2. Verify that wood door work may be performed in accord with all pertinent codes and regulations, the original design and the reference standards.
 3. Verify that doorframes are of type required for door and are installed as required for proper installation of doors.
 4. Do not install doors in frames, which would hinder the operation of the doors.
 5. Do not proceed with installation until conditions are satisfactory.
 6. Beginning of installation means acceptance of substrate.
- B. Discrepancies
1. In the event of discrepancy, immediately notify the Architect.

2. Do not proceed with installation in areas of discrepancy until all such discrepancies have been fully resolved.

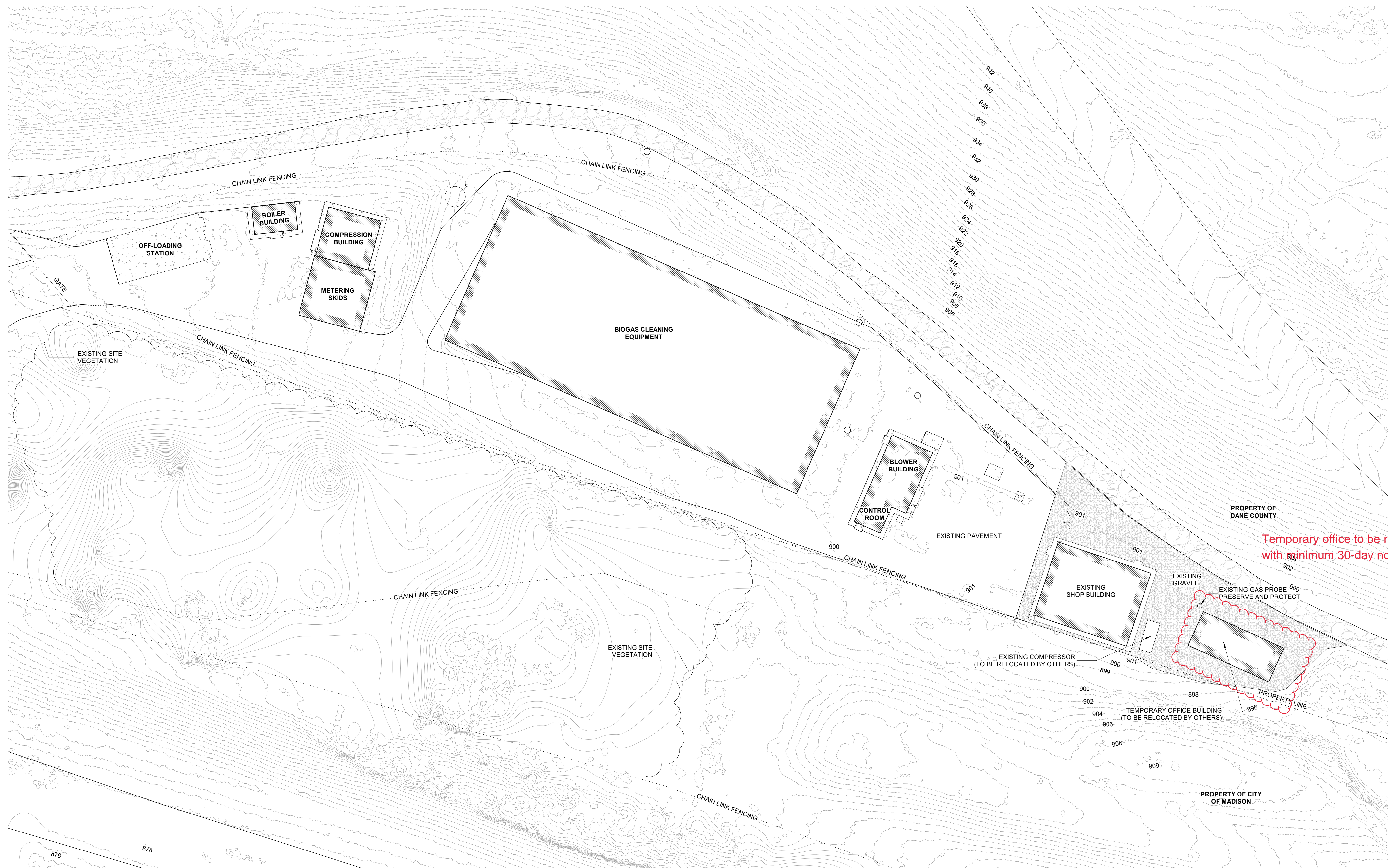
3.2 Installation

- A. Fitting and Machining
 1. Fit doors for width by planing equally on both jamb edges; for height by sawing.
 - a. 1/2 inch from bottom
 - b. 1/8 inch maximum from top.
 - c. Bevel lock and hinge edges 1/8 inch in 2 inches.
 2. Machine doors for hardware to clearance tolerances specified in Paragraph 2.3.J
 3. Cut light and louver openings in door not exceeding maximum sizes as specified in Paragraph 2.3.H and 2.3.I.
 4. Seal all job site cut surfaces with two coats of Manufacturer's standard sealer.
- B. Installation of Doors
 1. Install in accord with requirements of AWI and NWMA Standards.
 2. Install all finish hardware in strict accord with the Manufacturer's recommendations and AWI requirements, eliminating all hinge bound conditions and making all items smoothly operating and firmly anchored into position.
 - a. Machine cut relief for hinges and closers and coring for handsets and cylinders.
 - b. Pilot drill screw and bolt holes. Use threaded through bolts for half surface hinges.
 3. Coordinate installation of glass and glazing.

3.3 Adjustments and Cleaning

- A. Replace or rehang doors which are hinge bound and do not swing or operate freely.
- B. Replace prefinished doors damaged during installation.
- C. Replace all doors that can not be modified to fit opening due to lack of proper field measurement or coordination with other contractors
- D. Refinish or replace pre-finished doors damaged during installation.
- E. Touching up:
 1. Using fine-grained sandpaper, completely eliminate all scratches and abrasions in finished wood surfaces.
 2. Set all nails and fasteners for putty. Firmly putty all holes. Use putty tinted to match door finish.

* * * * *



Temporary office to be removed by others with minimum 30-day notice from contractor

Addendum #1 8/2/22

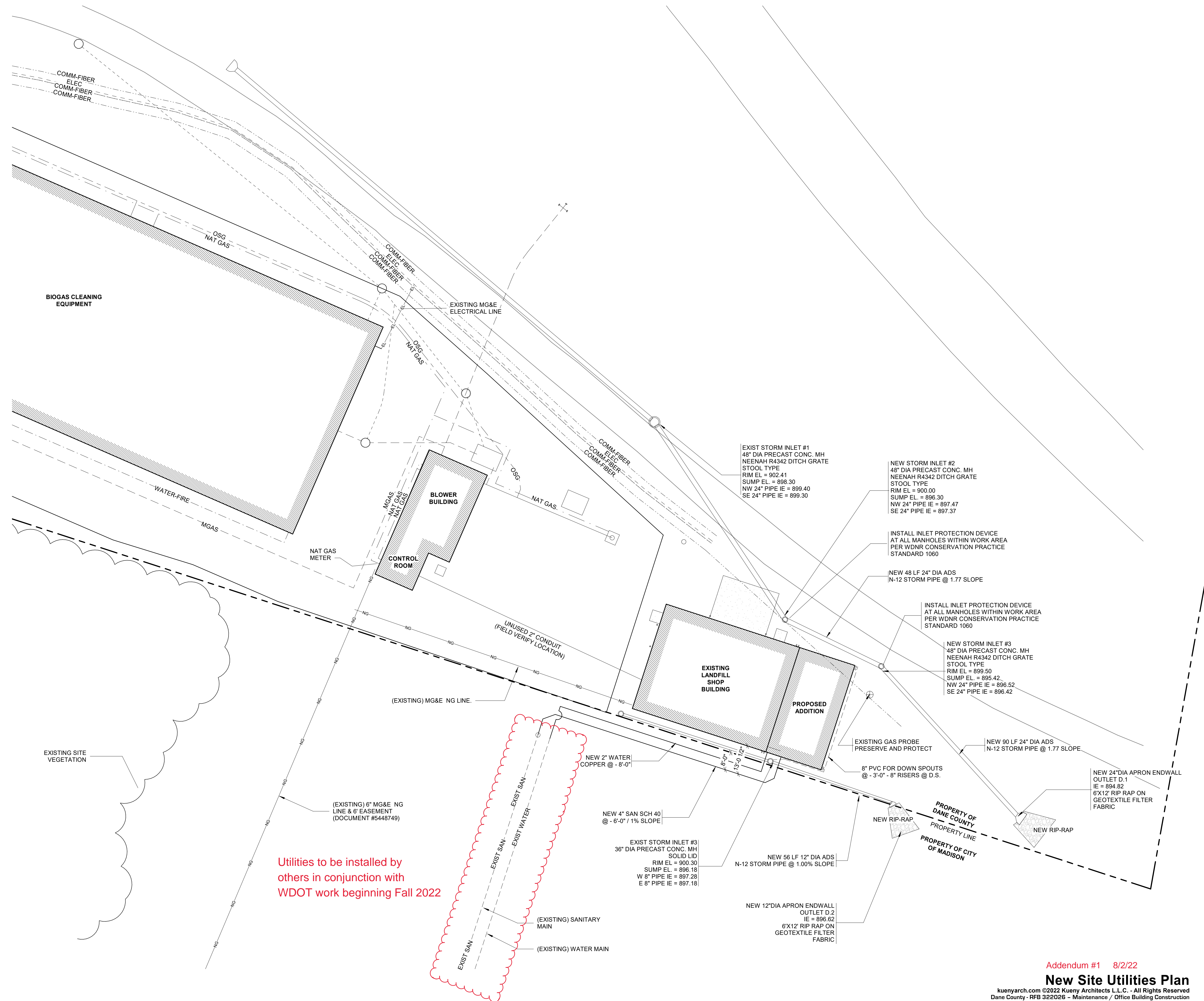
Existing Site Plan

kuenyarch.com ©2022 Kueny Architects L.L.C. - All Rights Reserved
 Dane County - RFB 322026 - Maintenance / Office Building Construction
 7102 US HWY 12/18 Madison, WI 53718
 July 12, 2022

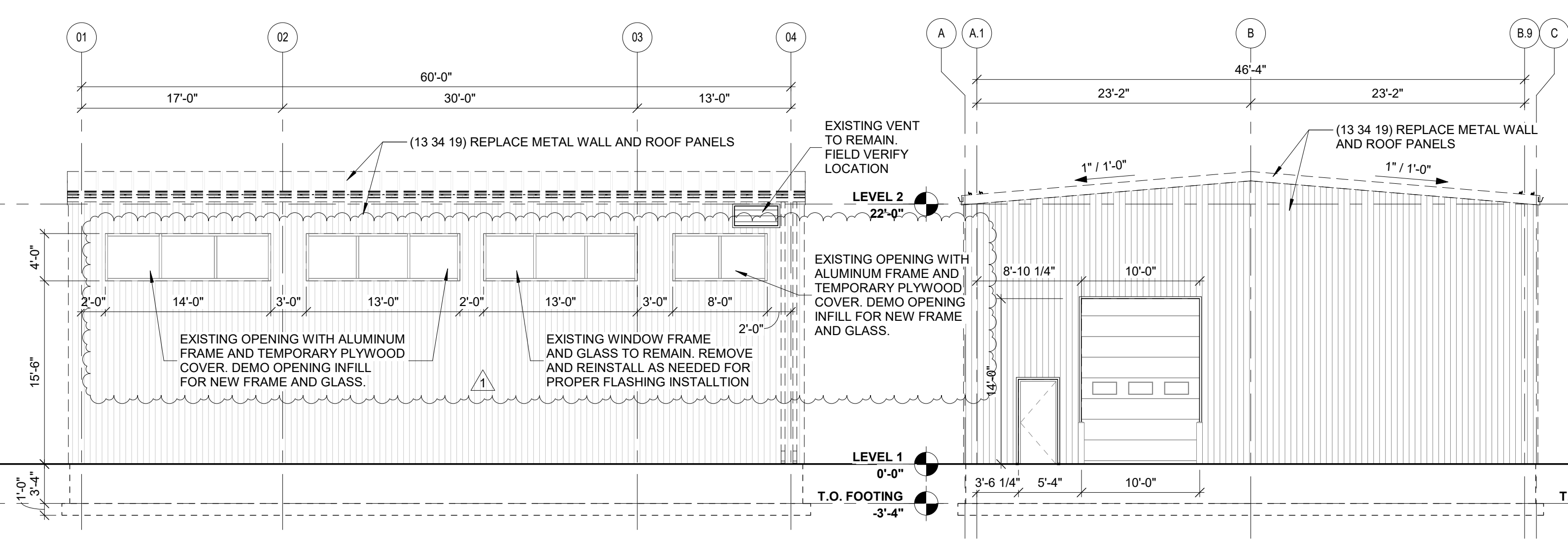


PLAN NORTH
 SCALE: 1" = 30'-0"

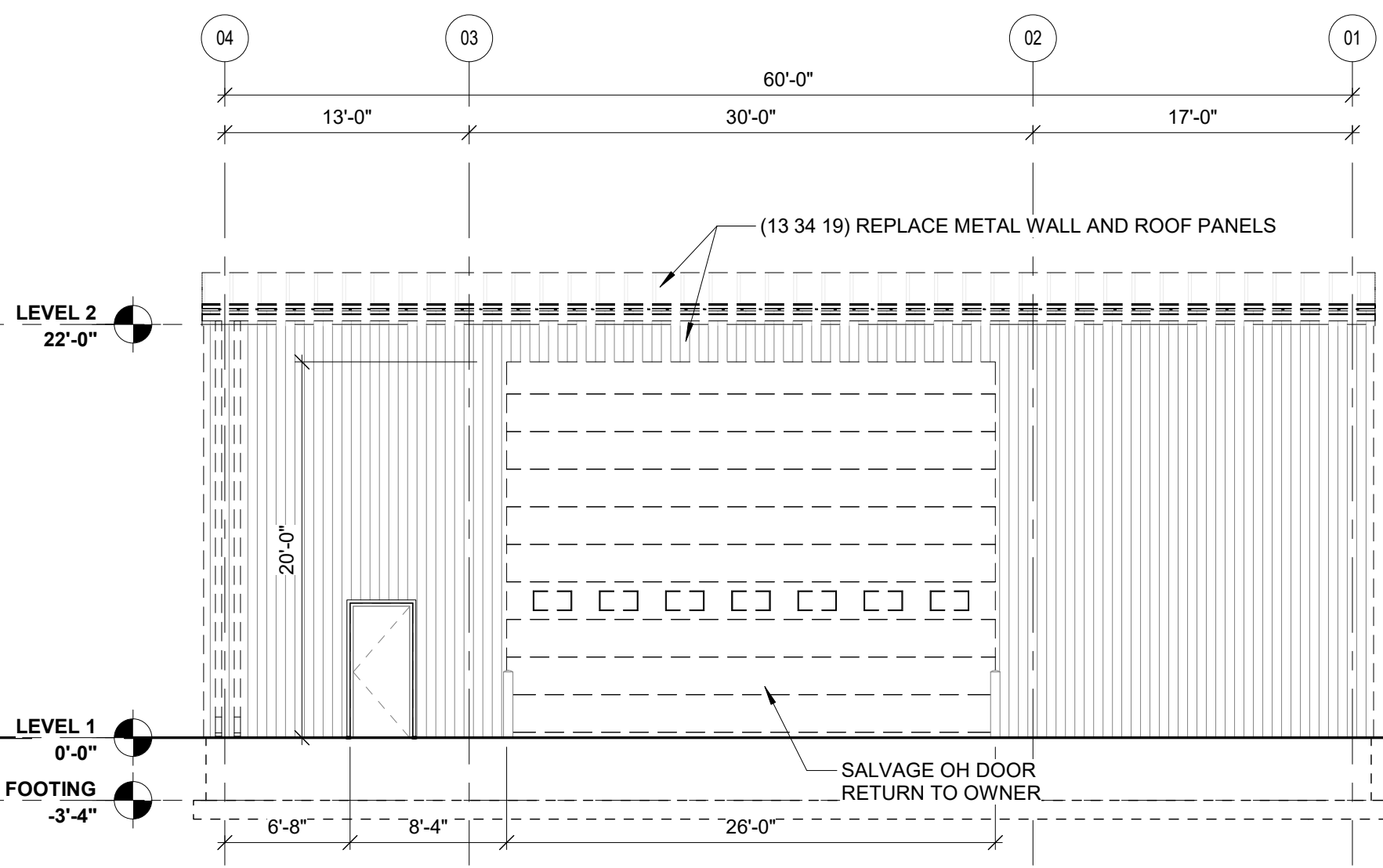
A100



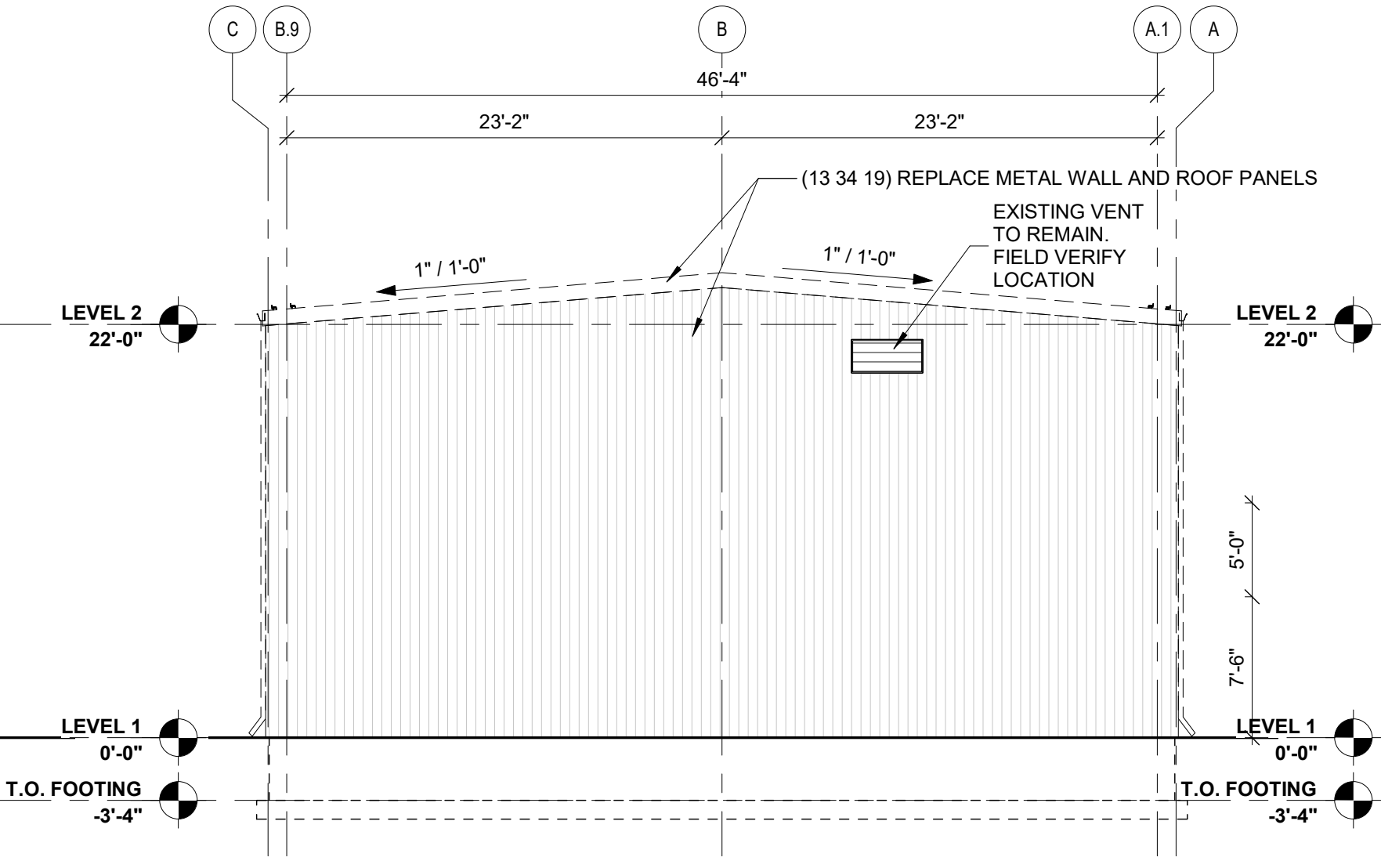
Utilities to be installed by others in conjunction with WDOT work beginning Fall 2022



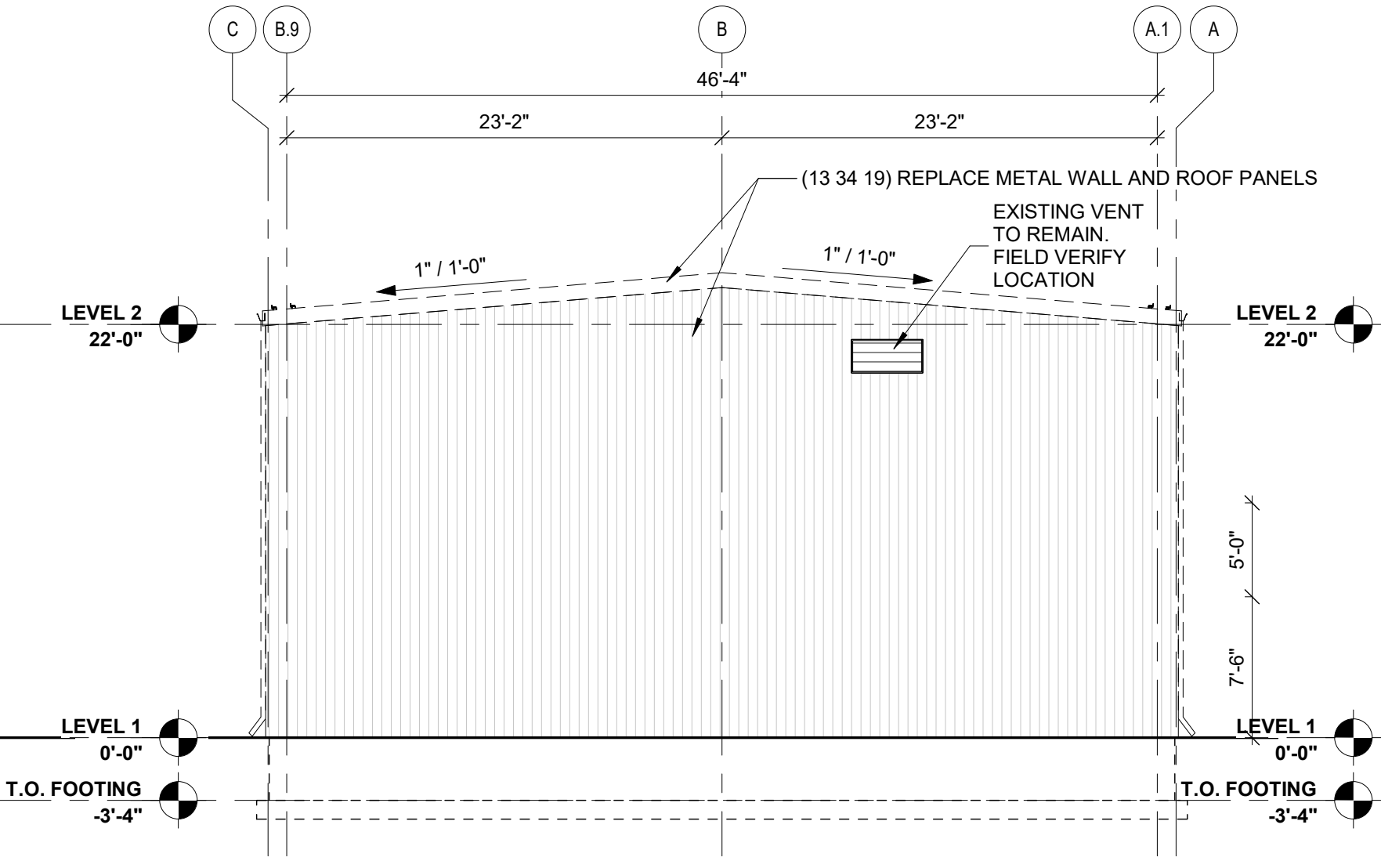
6 Existing South Elevation
1/8" = 1'-0"



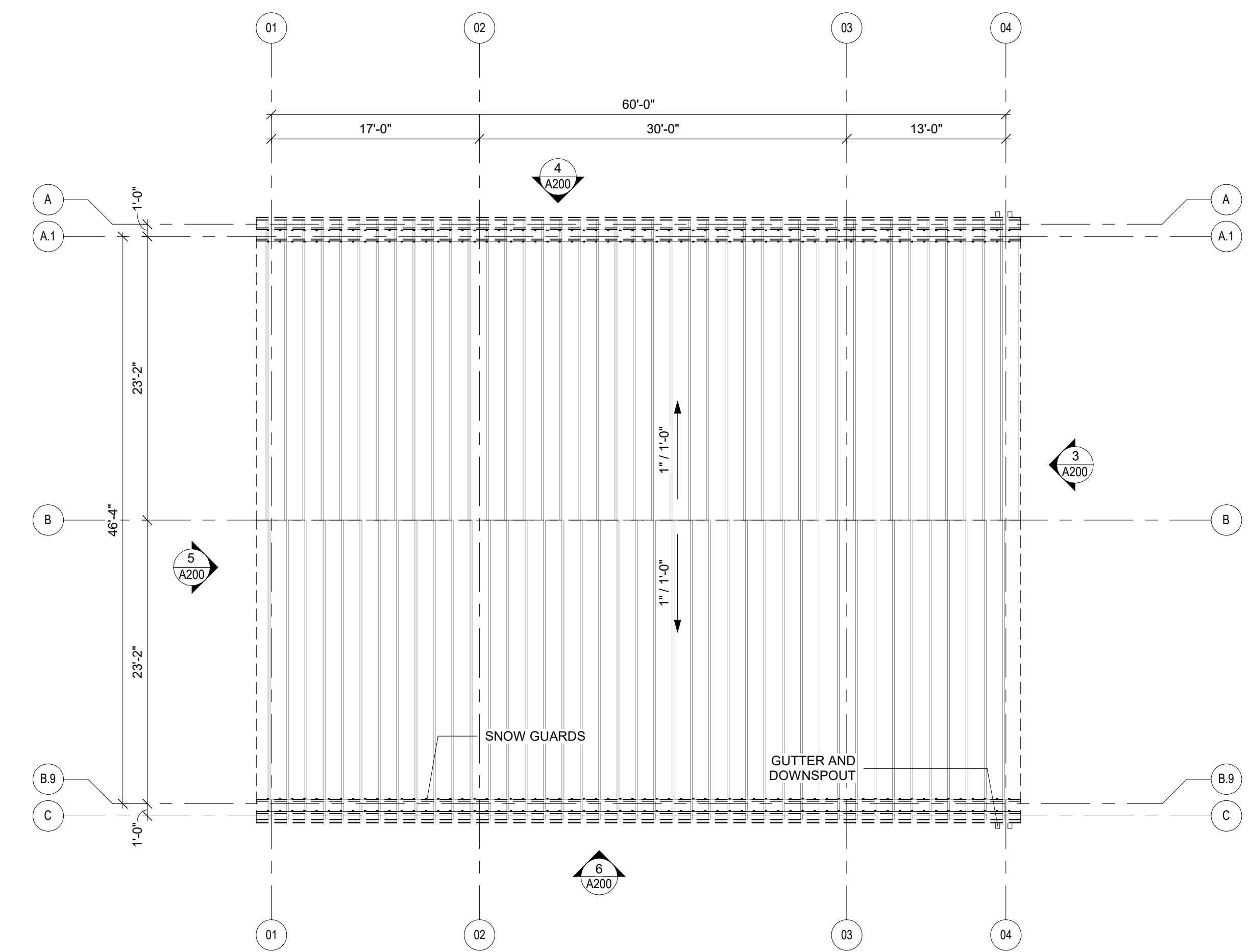
5 Existing West Elevation
1/8" = 1'-0"



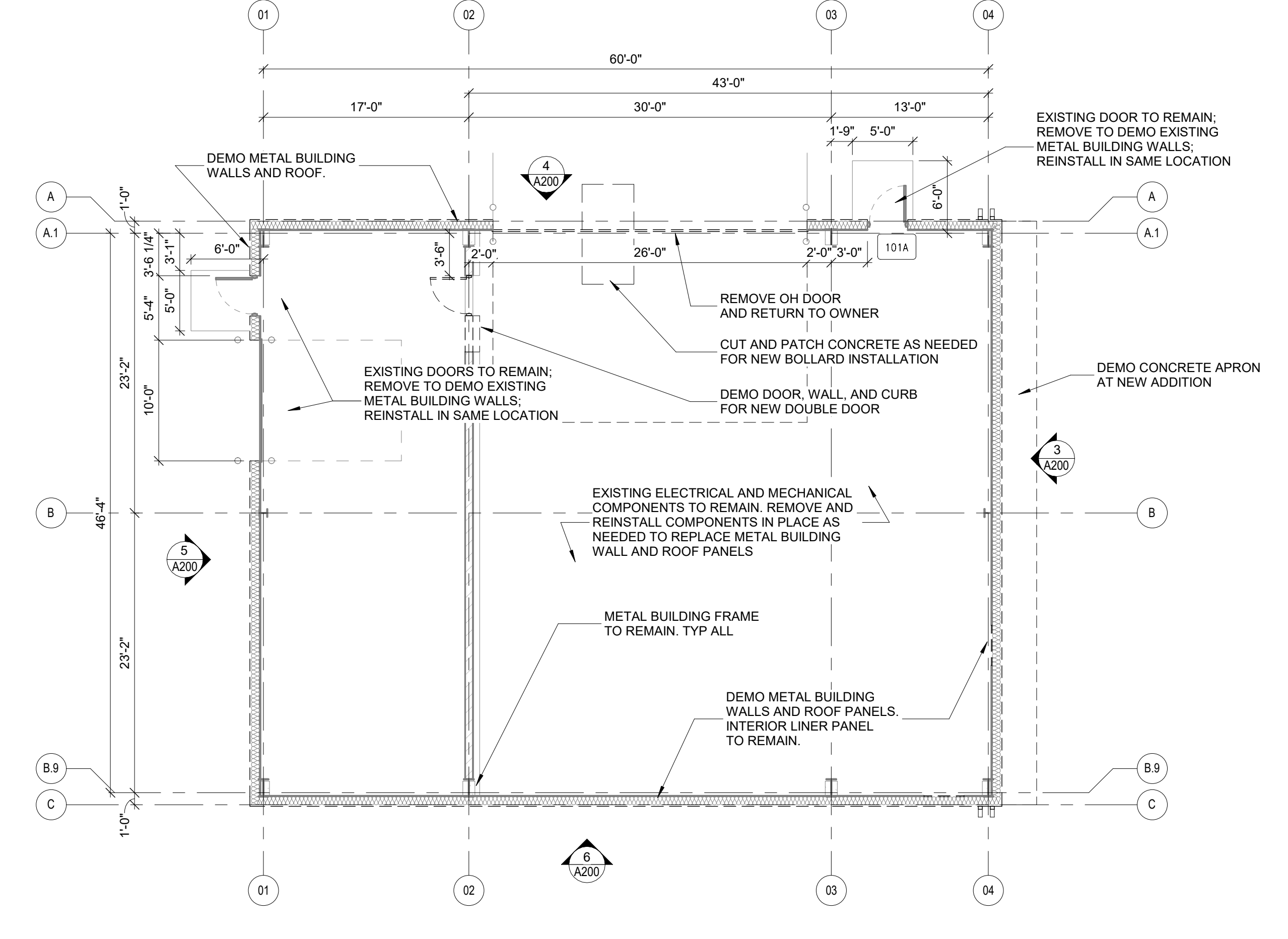
4 Existing North Elevation
1/8" = 1'-0"



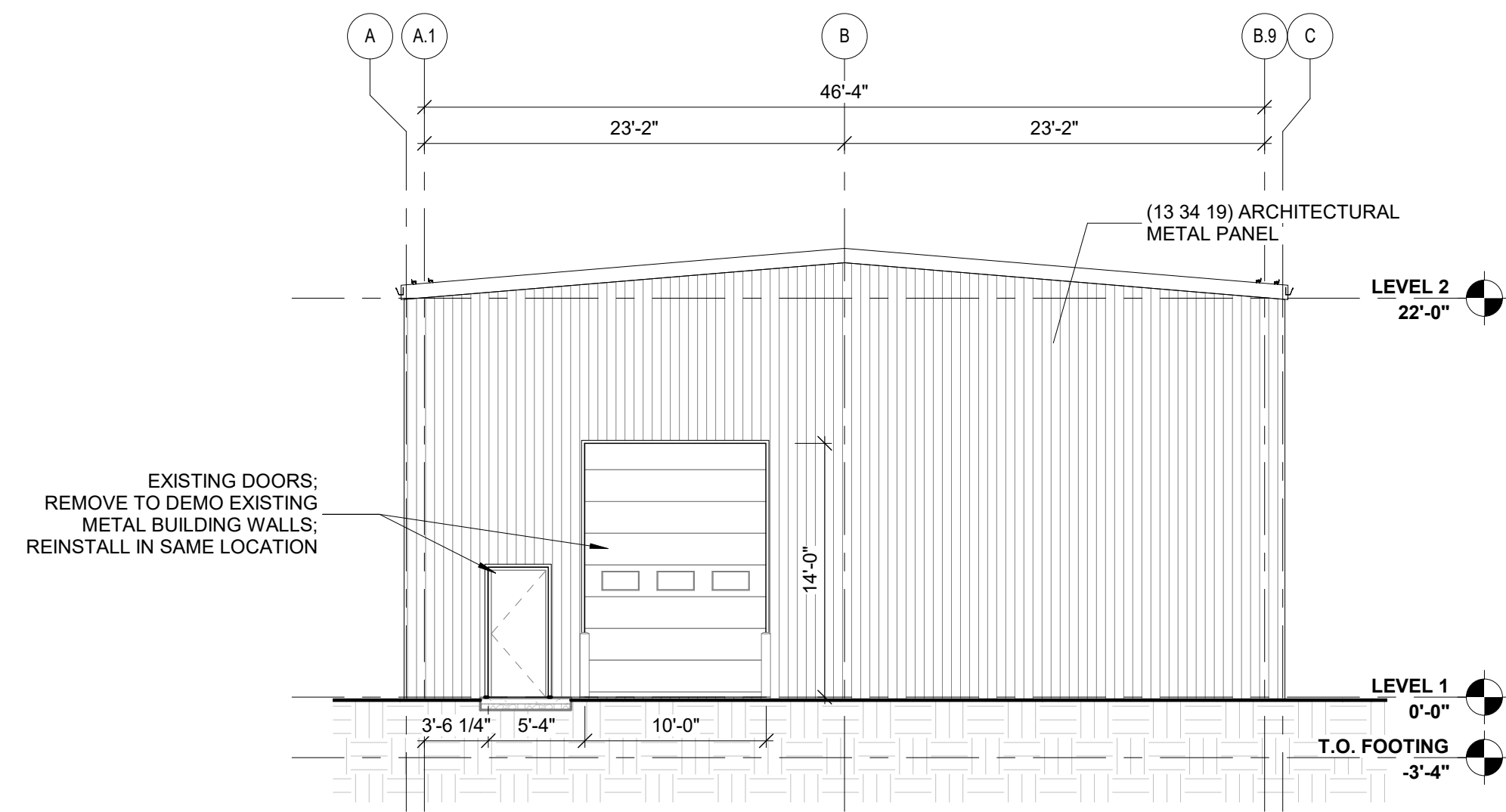
3 Existing East Elevation
1/8" = 1'-0"



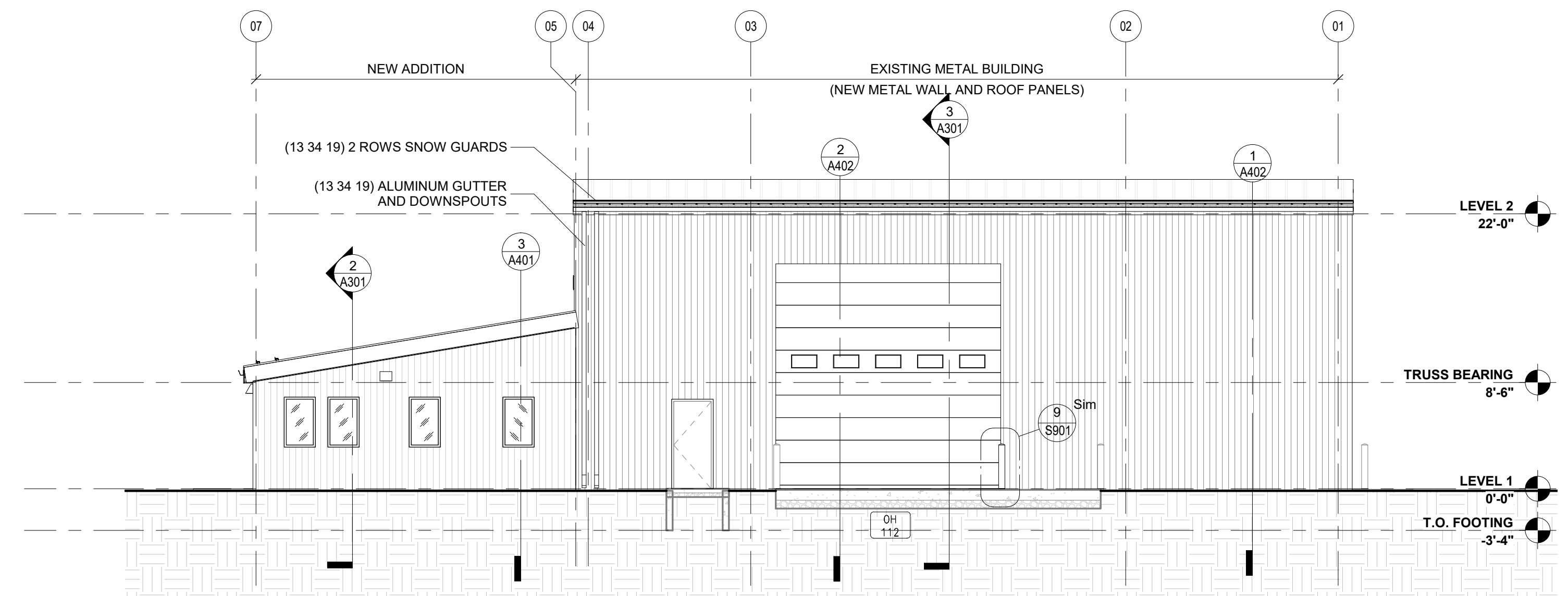
2 Existing Roof Plan
1/8" = 1'-0"



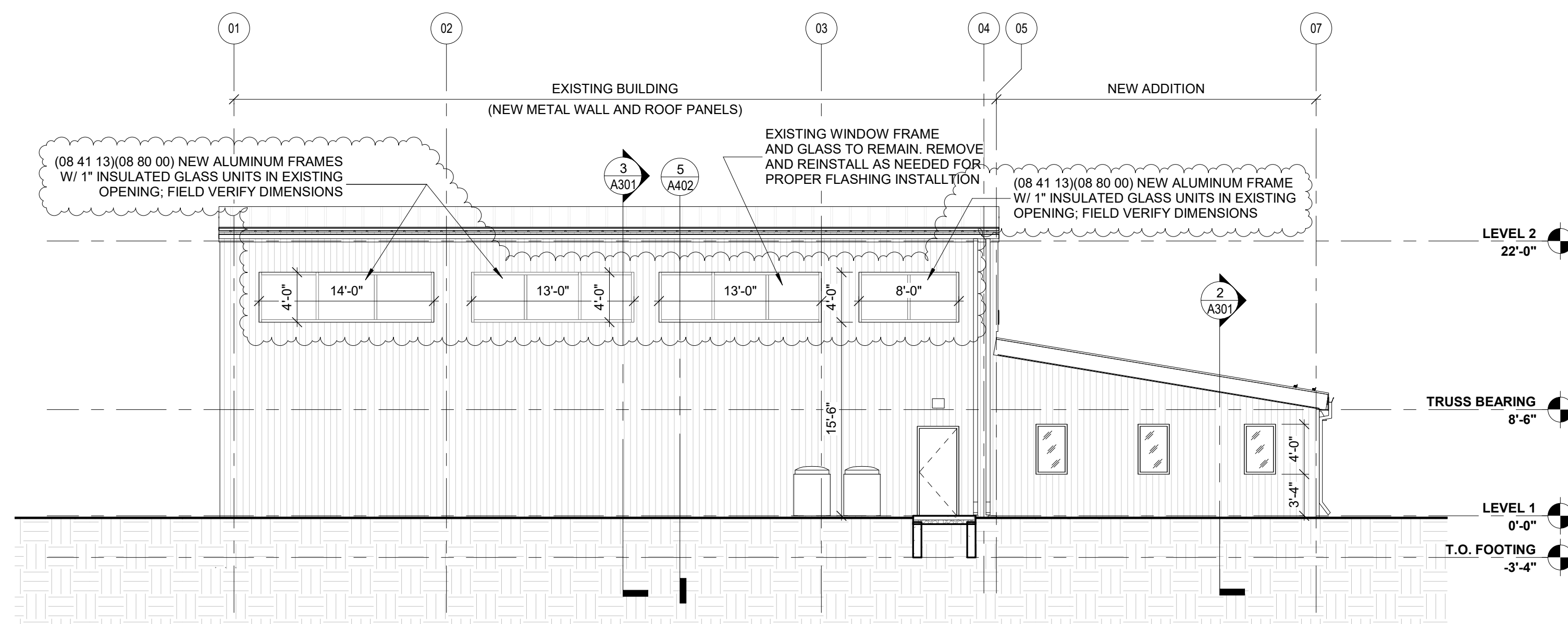
1 Existing Demo Floor Plan
1/8" = 1'-0"



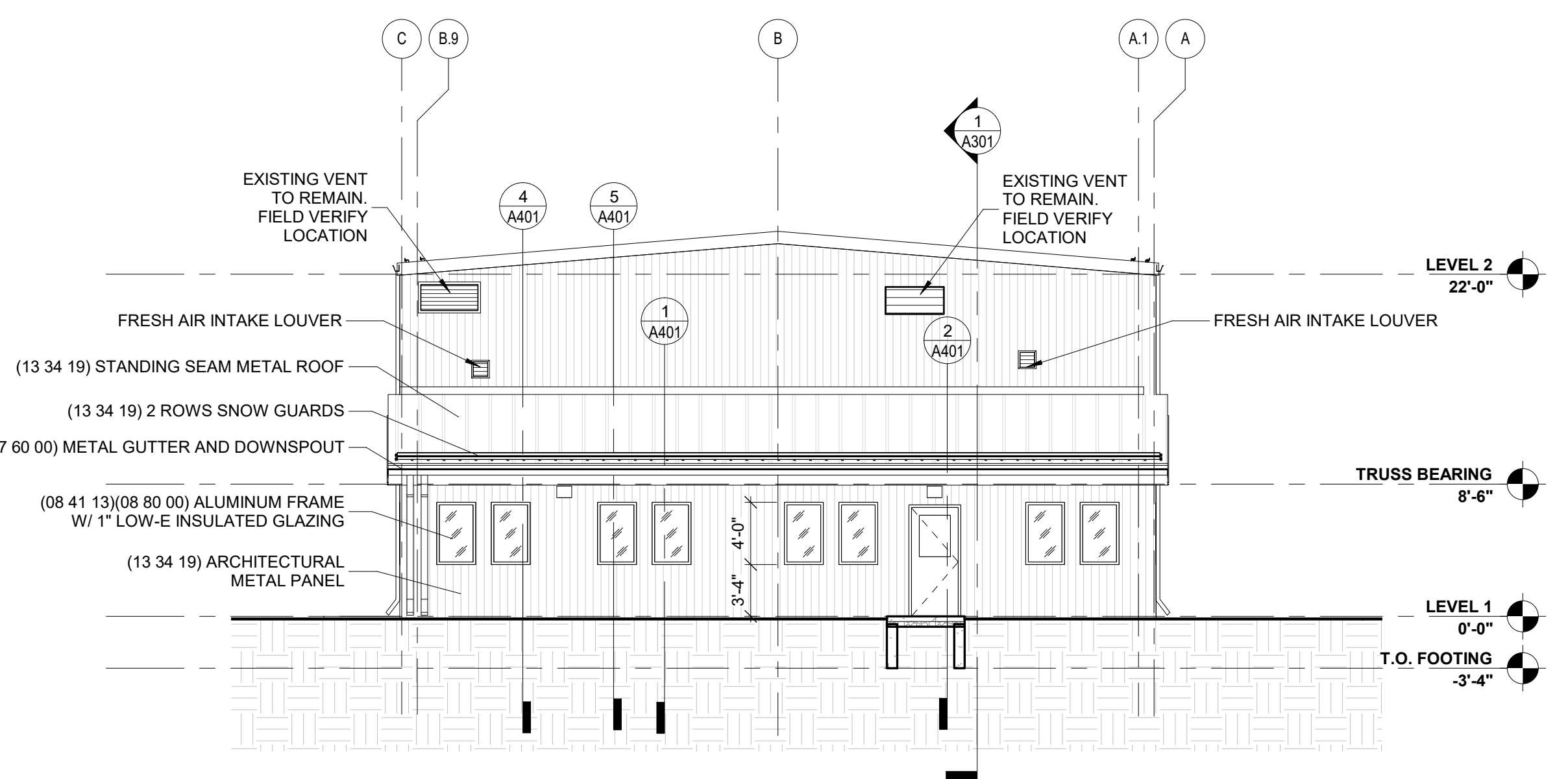
4 West Elevation
1/8" = 1'-0"



3 North Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"



1 East Elevation
1/8" = 1'-0"