



RFP NO. 321002

DANE COUNTY DEPARTMENT OF PUBLIC WORKS,
HIGHWAY AND TRANSPORTATION

**PUBLIC WORKS
ENGINEERING DIVISION**
1919 ALLIANT ENERGY CENTER WAY
MADISON, WISCONSIN 53713

**REQUEST FOR PROPOSALS NO. 321002
ARCHITECTURAL / ENGINEERING DESIGN SERVICES FOR
HEART OF THE ZOO IMPROVEMENTS
HENRY VILAS ZOO
702 S RANDALL AVE
MADISON, WISCONSIN**

Due Date / Time: **TUESDAY, APRIL 6, 2021 / 2:00 P.M.**

Location: **PUBLIC WORKS OFFICE**

FOR INFORMATION ON THIS REQUEST FOR PROPOSALS, PLEASE CONTACT:

J. ERIC URTE, AIA – PUBLIC WORKS PROJECT MANAGER
TELEPHONE NO.: 608/266-4798
E-MAIL: urtes.eric@countyofdane.com



Department of Public Works, Highway & Transportation
Public Works Engineering Division

608/266-4018

Gerald J. Mandli, P.E.
Commissioner / Director

Joseph T. Parisi
County Executive

Deputy Director
Todd Draper

1919 Alliant Energy Center Way
Madison, Wisconsin 53713
Fax: 608/267-1533

https://pwht.countyofdane.com/public_works.aspx#engineering

March 2, 2021

INVITATION FOR PROPOSALS

You are invited to submit a Proposal for RFP No. 321002 to provide professional architectural & engineering design services for the 'Heart of the Zoo Improvements' for the Henry Vilas Zoo. The Proposals are due on or before **2:00 p.m., Tuesday, April 6, 2021**. No performance bond is required for this project.

ADDITIONAL INFORMATION

Dane County is inviting Proposals for professional architectural & engineering design services. The Henry Vilas Zoo is looking to develop Schematic level (and extend with COUNTY approval through the Design Development level for the African Savanna Phase) design documents to establish 3 distinct phasing plans (to include Opinions of Probable Costs for each with a breakdown to assist in soliciting for donations) for the "Heart of the Zoo" capital campaign. The three phases will consist of an "African Savanna Phase" (to include giraffe/rhino exhibits among other animal exhibits); a "Big Cat Complex Phase" (to include tiger/lion exhibits among other animal exhibits); and a "Front Entrance Phase" (to include educational areas; exhibits (including animal exhibits), gift shop, concession, restrooms, and welcoming reception area). Additionally, the Zoo is looking to replace its outdated penguin exhibit and combine it with the African Savanna exhibits.

The COUNTY may determine to proceed beyond the Design Development of the African Savanna Phase to include Construction Documents, Bidding Phase, and Construction Administration services with the selected A/E. If this is determined to be done an Agreement Amendment will be issued and signed by the A/E and the COUNTY.

Only firms with capabilities, previous experience with zoological exhibit design & expertise with similar projects should obtain this RFP document & submit Proposals.

SPECIAL INSTRUCTIONS

Please refer to Scope of Services section for link to the Pre-Proposal Meeting on March 11 @ 10:00 AM. Details regarding the link are shown in the Section 00 24 16 Scopes of Proposals under Pre-Proposal Meeting (Virtual).

Please provide the entire proposal package in these formats: one (1) unbound original hard copy, three (3) bound hard copies and an electronic version on a USB flash drive or FTP site. Follow these instructions when submitting your proposal:

1. Place the signed Proposal Form on top as page 1. Acknowledge any Addenda on the form.
2. Place the signed Fair Labor Practices Certification after the Proposal Form as page 2.
3. Place the Proposal information after Fair Labor Practices Certification.
4. Clearly label your envelope containing your proposal in the lower left-hand corner as follows:

Proposal No. 321002
Heart of the Zoo Improvements
April 6, 2021, 2:00 p.m.

5. Mail or deliver to:

J. Eric Urtes, AIA – Public Works Project Manager
Dane County Department of Public Works, Highway & Transportation
1919 Alliant Energy Center Way
Madison, Wisconsin 53713

If any additional information about this Request for Proposals is needed, please call Eric Urtes, AIA – Dane County Public Works Project Manager at 608/266-4798 or send email to urtes.eric@countyofdane.com.

Sincerely,

J. Eric Urtes, AIA

Project Manager

Enclosure: Request for Proposals No. 321002 Package

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- 00 42 13 - Proposal Form
- 00 52 98 - Sample Architectural / Engineering Professional Services Agreement (PSA)
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DRAWINGS

- Sheet 1 – Henry Vilas Zoo Master Plan Map (highlighting approximate areas of each phase)
- Sheet 2 – Henry Vilas Zoo African Savanna Phase Concept Drawing
- Sheet 3 – Henry Vilas Zoo Front Entrance Phase Concept Drawing
- Reference Drawings 1 – Existing Conditions: Big Cat Complex
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END OF SECTION

SECTION 01 11 19

REQUEST FOR PROPOSAL(RFP)

LEGAL NOTICE

Dane County Dept. of Public Works, Hwy & Transp., 1919 Alliant Energy Center Way, Madison, WI 53713, will receive sealed Proposals until:

2:00 P.M., TUESDAY, APRIL 6, 2021

RFP NO. 321002

HEART OF THE ZOO IMPROVEMENTS

HENRY VILAS ZOO

702 S RANDALL AVE, MADISON, WI

Dane County is inviting Proposals for professional architectural & engineering design services. The Henry Vilas Zoo is looking to develop schematic level documents and establish phasing for the “Heart of the Zoo” capital campaign. The three phases will consist of an “African Savanna Phase”(to include giraffe/rhino exhibits); a “Big Cat Complex Phase” (to include tiger/lion exhibits); and a “Front Entrance Phase”(to include educational spaces, covered outdoor amphitheater, exhibits, gift shop, concession, restrooms, and welcoming reception area). Additionally, the Zoo is looking to replace its outdated penguin exhibit and combine it with the African Savanna exhibits. Only firms with capabilities, previous experience with zoological exhibit design & expertise with similar projects should obtain this RFP document & submit Proposals.

RFP document may be obtained after **2:00 p.m. on Thursday March 4, 2021** by downloading it from bids-pwht.countyofdane.com. Please contact Eric Urtes, AIA – Dane County Public Works Project Manager at 608/266-4798 or by e-mail at urtes.eric@countyofdane.com for any questions or additional information.

A virtual informational pre-proposal meeting and drone video overview of the zoo premises will be held **Thursday, March 11, 2021 at 10:00 a.m.** Interested firms are strongly encouraged to attend this virtual meeting; an access link for the meeting will be included in the RFP document. On-site visits can be made during regular public access hours (see RFP for mandatory disease transmission prevention practices if making a visit to the Zoo).

PUBLISH: MARCH 2 & MARCH 9, 2021 - WISCONSIN STATE JOURNAL
MARCH 3 & MARCH 10, 2021 - THE DAILY REPORTER

▪ SECTION 00 24 16

SCOPES OF PROPOSALS

1. GENERAL INFORMATION

- A. Dane County is inviting proposals for professional architectural and engineering (A/E) design services for the Heart of the Zoo Improvements (including providing a Site Survey of the areas associated with the design of all three phases).
- B. The Henry Vilas Zoo is a 28 acre public zoo in Madison, Wisconsin. The Zoo is one of the few Association of Zoos and Aquariums (AZA) accredited institutions that charges no admission or parking fees for the adjacent City of Madison parking lot. The zoo receives over 700,000 guests annually and has a diverse animal collection of over 600 specimens which currently includes polar and grizzly bear, seal, orangutan, white-handed gibbon, Bactrian camel, tiger, alligator, anaconda, flamingo, penguin, poison arrow and tree frogs.
- C. The Henry Vilas Zoo is operated by Dane County, Wisconsin. The Zoo is looking to develop the Schematic Design documents (and Design Development documents for the African Savanna Phase) and an overall phasing strategy for the “Heart of the Zoo” capital campaign. This will consist of Phase 1: giraffe/rhino areas and exhibits. Phase 2 for the big cat complex and Phase 3 for the front entrance/education complex where visitor services and the education department will reside. In addition the COUNTY may determine to extend A/E services beyond Design Development to Construction Documents, Bidding Phase, and Construction Administration for the African Savanna Phase (this would involve an Agreement Amendment if it is authorized)
- D. The Zoo is also looking for scope and timetable of each separate phase and to determine if there should be a certain order in the overall project approach on the site to best maintain public visitation/experience. A construction access/work plan and a plan addressing public circulation around the construction work during each phase shall be established during the early stages of design services.
- E. Additionally, the Zoo is looking to replace its outdated African Penguin exhibit and relocate it (likely to be included in the African Savanna Phase).
- F. *Expanded Description of Program Elements Being Considered by Zoo Staff for Each Phase:*
- **African Savanna Phase** (refer to the attached draft concept drawing of the African Savanna Phase at the back of the RFP, which includes many of the following elements listed by the Henry Vilas Zoo staff) : Potential to have one large savanna area with the ability to be split into two separate spaces. There will be a separate rhino yard. The savanna yard and indoor barn space should be able to accommodate potential breeding of giraffe’s as well as some smaller species such as zebra, ostrich and/or gazelle. The rhino yard and indoor space need to be large enough for a minimum of two animals. Provide indoor giraffe viewing through all seasons where guests will be able to view giraffe at both elevated and ground levels. Smaller exhibits featuring other African species such as Meerkats, Tortoises, and Red River Hogs, etc. are to be intermixed in the public space for outdoor giraffe viewing. Both the savanna yard and rhino yard need to be designed so as to allow warm weather species to inhabit the space in the summer-time and cold-weather species to be able to inhabit them during the winter season. The existing near-by Red Barn yards could function to hold Bactrian Camels in the summer-time, but connect to the savanna in the winter-time. The Red Barn goat yard and green space will accommodate Asian wild horse in the summer-time and connect with the rhino yard in

the winter-time. Barn space can be created to store hay while maintaining a service lane for delivery vehicles. In the savanna there can be a pavilion that can be rented for events and/or programs. There will be opportunity using the ADA-accessible elevated level to feed the giraffes both indoors and outdoors as is done successfully at several other zoos in the AZA system. The barns should be versatile enough to accommodate modern husbandry and medical needs. Associated with the African Savanna Phase will be the relocation of the African Penguins from their outmoded existing location. A new penguin exhibit will need indoor and outdoor areas featuring both above and underwater viewing. The exhibit will need to be able to have several breeding set-ups along with a place for meet & greets. An efficient LSS design will be required to ensure water clarity and to maintain the health of the penguins.

- **Big Cat Complex Phase** (refer to the Henry Vilas Zoo map at the back of the RFP for proposed location and potential configuration of the indoor lion yard and the indoor cat exhibits to be developed in the Schematic Design Phase): Indoor exhibit spaces are to be created for a small pride of lions (pair and resulting offspring) that allow the public to view the animals. Holding areas need to allow for flexibility of holding area layout, accommodating up to four big cats. The building complex will also have exhibit and holding space for a small to medium cat species, a zookeeper kitchen/work area, and an outdoor exhibit for small to medium cat species. The currently existing big cat yards would be able to access this new building. Dedicated training walls for big cats should be integrated into the existing cat yard spaces, adjacent to the new building complex. The indoor space needs to be designed to be versatile enough to hold events or programs. Creative shifting tunnels can be designed into the complex to use space over the visitor pathway to give visitors the unique experience of viewing the big cats move above them.
- **Front Entrance Phase** (refer to the Henry Vilas Zoo map and the Front Entry sketch at the back of the RFP for potential location of the Front Entrance/Visitor Center-Gift Shop/Education Center/Operations & Administration Offices): The Zoo's main entrance from the north parking lot will need to be an inviting space that will also be able to take guest counts, have public restrooms, gift shop, concessions, guest services and Education Center. Safety will be important in the design of entrance and exits. Ideally, a second floor will be incorporated to be used for Education, Operations and Administrative Offices. A major component of the entrance will be the Education Center with a large multi-functional space for groups that has partitioning able to split the space for smaller classroom areas. Design for animal holding (education) is a necessary component of these areas. Outside space for the 'education animals' and programming will need to be included. State-of-the-art technology (cameras, smart boards, etc.) will need to be incorporated in the design specifications and locations identified. The site design will need to allow deliveries and program drop off. Where possible parking spots will need to be supplied for Zoo staff. Guest services and gift shop will need to be versatile to maximize efficiency. Public restrooms will be necessary at this location but kept to a minimum as other restroom facilities are available on-site. Two or three small versatile exhibits could be added around this space to seasonally exhibit education animals or small animals. A multi-level Red Panda outdoor exhibit, able to house four pandas (two adults and resulting offspring) will need to be viewable to guests from ground level as well as an elevated staircase integrated into the treetop area integrated into the treetop play area (with ADA-Accessibility provided). An air-conditioned holding area and indoor exhibit for Red Pandas would have a built-in next box video monitoring equipment as well as a zookeeper area kitchen space.

2. SCOPE OF WORK

- A. Project deliverables and specific tasks for Schematic Design Phase and Design Development Phase (for African Savanna Phase only) are detailed in the *Professional Services Agreement*.

B. I – Schematic Design

1. Design services (which shall include recommendations for staging of future construction) shall be organized into three overall project phases. Programming shall be developed with the Henry Vilas Zoo staff and other County-designated personnel (aka. Heart Team) to determine placement on the site of the phases, animal species to be included in each phase, necessary rooms/spaces, utility/IT needs, enclosure requirements, public circulation/viewing needs, and any associated elements (such as viewing platforms, etc) to provide the public with a positive educational experience. A Programming spreadsheet indicating program specifics and sizes shall be created for all three project phases and an Opinion of Probable Cost spreadsheet shall also be maintained for each phase that reflects the design drawings: The three project phases are:
 - a. African Savanna Exhibit (Giraffe, Rhino, Camels, Zebra, Prezewalski’s Horse, African Penguins, and other species are being considered for inclusion)
 - b. Big Cat Exhibit (Tigers, Lions, Other Feline Species are being considered).
 - c. Front Entrance Area (Education Areas, outdoor amphitheater, gift shop, restrooms, workshop/teaching lab, visitor welcome area and other similar areas).
1. Adhere to Dane County Green Building Policy and Advanced Buildings design & construction techniques, including use of recycled and sustainably harvested building materials, such as the guidelines issued by the World Association of Zoos and Aquariums (WAZA) for selection of certified forest products & other similar product guidelines available from the American Institute of Architects. Review Green Design strategies throughout the process for inclusion at every step (such as photovoltaic solar systems, LED/natural lighting, high-efficiency mechanical + plumbing systems, rooftop water harvesting/conservation, software automated mechanical control systems that allow remote monitoring, green roof/patio adjacent to classroom spaces, and other similar ideas).
2. Schematic Design shall also include recommendations for content of interpretive elements to highlight each species on exhibit and wildlife conservation efforts related to them and their natural habitat. The A/E shall assist in suggesting size, type, electrical/data needs and locations of interpretive displays/signage.
3. A site archeological assessment will be a requirement at the beginning of the Schematic Design. A similar archeological assessment was done at the start of the Arctic Passage project.
4. The exhibit must be built according to the standards, guidelines, and code requirements of the USDA, USFWS (U.S. Fish and Wildlife Service, AZA (Association of Zoos and Aquariums), State of Wisconsin, County of Dane (Dane County Green Building Policy - adopted in 2000) and the City of Madison. Review of the City of Madison Vilas Park Masterplan, currently under development, will be required to assess any impact on the adjacent grounds of the zoo. Additionally, green design principles should be employed with the aim of achieving a net zero carbon emissions facility taking into account potential regulatory or performance factors. Dane County’s 100% renewable electricity status which is on schedule to be achieved by 2023 needs to be recognized as a critical design driver. A net zero energy or net zero energy ready design is preferred but not required. The Henry Vilas Zoo is a significant public-facing example of County operations and, as such, the County intends it will continue to lead by example, especially via the Heart of the Zoo project.

5. Dane County staff will review, provide input & make modifications throughout the design process. Determinations of significant changes and all meeting minutes will need to be documented in writing and distributed by the A/E.
6. Part of the schematic planning should include a feasibility study and will need to follow County environmental guidelines.
7. Develop & refine Opinions of Probable Cost (OPC) for all of the proposed Phases during Schematic Design (and refined again during additional Design Development for the African Savanna). During programming for each phase provide cost information to assist with design decisions to be made by Zoo Staff.
8. Each Schematic Design phase will have a minimum of 15 meetings (most can be virtual with at least requiring 3 on-site visits by the A/E). The Design Development phase (if authorized to proceed by the COUNTY) will require a minimum of 15 meetings (again most being virtual with at least 3 on-site visits by the A/E). The A/E is responsible for taking minutes and distributing them to the Heart Team with an updated schedule during both the Schematic Design and Design Development.

C. II – Design Development

1. Once authorized by the County proceed into design development for only the African Savanna Phase of the project. Proceed only through the end of the schematic design phase for both the Big Cat Exhibit and Front Entrance phases of the project.
2. Design development should include energy modeling that delineates estimated Energy Use Intensity (EUI) and the status of net zero carbon emissions.

- D. In-person meetings shall be limited & shall follow current *Public Health - Madison & Dane County* procedures & recommendations (see publichealthmdc.com/documents/office_space_checklist.pdf and publichealthmdc.com/coronavirus/forward-dane/current-order). Whenever possible, meetings shall be held via teleconference or videoconference, to be hosted by the consultant. Dane County reserves right to mandate safe physical distancing & use of face masks by all personnel while inside any County facility or on any County grounds.

3. PROPOSAL CONTENT

- G. Interested consultants are requested to submit the following information in their proposal, in eight (8) clearly distinct sections or divisions:
1. Proposal Form, Fair Labor Practices Certification and Proposer’s cover letter.
 2. Description of firm’s qualifications, experience, organization and resources. This description must pay specific attention to the planning and design of zoos and animal exhibit spaces. Description must include:
 - a. Experience with, or involvement in developing associated professional design standards, regulations, codes, (including familiarity with AZA Standards). etc.;
 - b. Related new construction experience;
 - c. Resumes describing the professional affiliations, educational and work experiences for each of the key staff (including subcontractors) that would be assigned to this Work; these key staff shall retain project involvement and oversight throughout the course of the Work.

- d. List other consultants who may participate in the project as a team member and their area of expertise. Provide the above information for each firm or individual.
3. Listing of at least three zoo construction projects/exhibits completed that are similar to the one being proposed. Listing shall include for each project:
 - a. Brief description of the project including services provided (e.g., structural design, civil engineering design, architectural design, MEP engineering, etc.);
 - b. Detail the proposing company's role(s) in the project;
 - c. Project references (name of the organization, contact person or responsible official, address, telephone, e-mail address);
 - d. Start and end dates of services; and
 - e. Specific details of originally proposed project budget and time of completion and final (actual) project budget and time of completion.
4. Description of planning and design techniques to be used in approaching the Work. Close attention will be paid to the A/E firm's knowledge and understanding of the needs of the animals being considered for inclusion in the exhibit areas and overall experience with design for the needs of zookeepers, maintenance staff, and the public visitors.
5. Indicate individual staff experience with similar projects, availability, and resume. Provide a tentative timetable (in the form of a Gantt chart) for the project development, design and construction phases, using a theoretical start date. Include listing of other consultants who will participate in this Work and their area of expertise.
6. Details of experience with green building design/site strategies associated with the green principals listed earlier in the Scope of Services. Provide any relevant experience designing net zero or net zero ready facilities, especially any zoo related experience
7. Fee for services stated a single lump-sum fixed fee for all Schematic Design services (for all three phases: African Savanna Phase, Big Cat Complex, and Front Entrance Phase and Design Development for the African Savanna Phase also stated as a single lump-sum fixed fee. In addition provide a percentage number of Construction Cost for the total African Savanna project that will used to establish the A/E fees for further design services (outlined in the Professional Services Agreement under Article 4) if authorized by the COUNTY to proceed beyond Design Development on the African Savanna Phase.
8. State clearly any limitations you wish to include in *Professional Services Agreement* and advise of any conditions that you may have.

4. EVALUATION CRITERIA

A. Proposing consultants will be evaluated on this criteria:

Project Personnel	15%
Strength / Capabilities	15%
Interview / Q & A	15%
Relative Experience	30%
Approach to Project/Work Plan	15%
Pricing / Cost Proposal	10%
Total	<u>100%</u>

5. PRICING

- A. Additional details about project phases, pricing & payments are detailed in the *Professional Services Agreement*.
- B. Fee for services stated as single lump-sum fixed fee for Schematic Design for all three phases and a single lump sum fixed fee for the Design Development for the African Savanna Phase shall be submitted in the Proposals.
- C. In addition provide the percentage number requested above for all additional design service beyond the African Savanna Phase Design Development as described above in Proposal Content and Article 4 of the Professional Services Agreement. The COUNTY may determine to proceed to further design phases and if so would issue an Agreement Amendment for the design services incorporating a lump sum fixed fee based on the percentage listed in the proposal submission.

6. PRE-PROPOSAL MEETING (VIRTUAL)

A pre-proposal virtual meeting (to include a short drone-view site tour) will be held on March 11, 2021 at 10:00 a.m. Central Standard Time using the following link:

Meeting ID: 826 6504 6029

Join Zoom Meeting:

<https://us02web.zoom.us/j/82865046029>

Join by Skype for Business

<https://us02web.zoom.us/skype/82865046029>

Proposing companies are strongly encouraged to attend this pre-proposal meeting with Henry Vilas Zoo staff, however attendance is optional.

7. OWNER’S RESPONSIBILITY

- A. Dane County will provide all available building and site drawings and specifications to selected A/E firm. These drawings and specifications may not be complete or in an as-built condition.. A/E firm will need to confirm accuracy of drawings and specifications. Dane County will provide any necessary hazardous material protection, testing or abatement.

8. TIMETABLE

- A. Listed below are specific and estimated dates and times of events related to this RFP. The events with specific dates must be completed as indicated unless otherwise changed by Dane County. In the event that Dane County finds it necessary to change any of the specific dates and times in the calendar of events listed below, it will do so by issuing an addendum to this RFP. There may or may not be a formal notification issued for changes in the estimated dates and times.

<u>DATE</u>	<u>EVENT</u>
March 2, 2021	RFP issued (Posted March 4, 2021)
March 11, 2021, 10 a.m.	Virtual Pre-Proposal Meeting
March 23, 2021 - 2:00 p.m.	Written inquiries due
March 31, 2021	Latest addendum (if necessary)
April 6, 2021 - 2:00 p.m.	Proposals due

April 20-22, 2021 (estimated)	Oral presentations / Virtual interviews for invited (short-listed) proposing firms
May 2021 (estimated)	Notification of intent to award sent out
July 2021 (estimated)	Notice-To-Proceed Issued by Dane County
<i>DATES OF DESIGN DOCUMENT DELIVERABLES – TENTATIVE</i>	
September 17, 2021	Master Plan Area Map of Locations for 3 Phases
October 15, 2021	Schematic Design for African Savanna Phase
November 12, 2021	Schematic Design for Big Cat/Front Entrance Phases
January 22, 2022	Design Development for African Savanna Phase
February 2022	Final Presentation Review

9. ADDITIONAL INFORMATION

- A. Dane County Department of Public Works, Highway & Transportation, 1919 Alliant Energy Center Way, Madison, Wisconsin 53713, will receive your Proposal.
- B. Information regarding this project may be obtained from Eric Urtes, AIA - Public Works Project Manager, 608/266-4798 (office) or by e-mail at: urtes.eric@countyofdane.com .
- C. Since RFP documents are obtained from the Dane County web site, proposing company is responsible to check back there regularly for Addenda. It is the responsibility of the proposing firm to check for Addendum and to acknowledge them on the Proposal Form included in the RFP documents.
- D. **All Proposals must be submitted by 2:00 p.m., Tuesday, April 6, 2021.**
- E. Dane County reserves the right to accept or reject any Proposal submitted.
- F. Information submitted by consultants will be reviewed and candidates may be scheduled to appear before an interview panel. Those appearing for an interview shall be prepared to discuss their approach for the design of this work, methodology, project team, a timetable, the basis of their fee schedule and answer questions from our staff.
- G. Dane County reserves the right to negotiate an Agreement after the successful firm is selected. Selection will be based only on the proposal submitted and subsequent interviews. Therefore, the proposals must be complete. Submission of a proposal shall constitute a valid offer, which may be accepted by the County for a period of ninety (90) calendar days following the proposal due date.
- H. Dane County is an Equal Opportunity Employer.

END OF SECTION



Department of Public Works, Highway & Transportation
Public Works Engineering Division

608/266-4018

Gerald J. Mandli, P.E.
Commissioner / Director

Joseph T. Parisi
County Executive

Deputy Director
Todd Draper

1919 Alliant Energy Center Way
Madison, Wisconsin 53713
Fax: 608/267-1533

https://pwht.countyofdane.com/public_works.aspx#engineering

SECTION 00 42 13

PROPOSAL FORM

PROPOSAL NO. 321002
PROJECT: HEART OF THE ZOO IMPROVEMENTS
HENRY VILAS ZOO

The undersigned, submitting this Proposal, hereby agrees with all terms, conditions and requirements of the above referenced Request for Proposals, and declares that the attached Proposal and pricing are in conformity therewith.

SIGNATURE: _____
(Proposal is invalid without signature)

Print or Type Name: _____ Date: _____

Title: _____

Company: _____

Address: _____

Telephone No.: _____ Fax No.: _____

Email Address: _____

Contact Person: _____

Receipt of the following addenda and inclusion of their provisions in this Proposal is hereby acknowledged:

Addendum No(s). _____ through _____

Dated _____

All Proposers are strongly encouraged to be a registered vendor with Dane County. Registering allows vendors an opportunity to receive notifications for RFPs & RFBs issued by the County and provides the County with up-to-date company contact information. Complete a new form or renewal online at: danepurchasing.com/Account/Login?

COUNTY OF DANE
PROFESSIONAL SERVICES AGREEMENT
SIGNATURE PAGE

Date: _____

Project No.: 321002

Agreement No.: _____

THIS AGREEMENT is between the County of Dane, by its Department of Public Works, Highway & Transportation,, hereinafter referred to as “COUNTY”, and [A/E, Engineer or Consultant Name, Address, City, State, Zip], hereinafter called the “A/E”.

WITNESSETH

WHEREAS, COUNTY proposes securing architectural / engineering services for a project described as follows:

Heart of the Zoo Improvements

WHEREAS, COUNTY deems it advisable to engage the services of the A/E to furnish professional services in connection with this project, and

WHEREAS, COUNTY has authority to engage such services, and

WHEREAS, the A/E represents that it is in compliance with the applicable Wisconsin Statutes relating to the registration of architects and professional engineers and designers, and has agreed to furnish professional services for COUNTY.

NOW, THEREFORE, in consideration of the premises and to their mutual and dependent agreements, the parties hereto agree as set forth in the following pages, which are annexed hereto and made a part hereof.

IN WITNESS WHEREOF, COUNTY and the A/E have executed this Agreement as of the above date.

[A/E Firm Name]

COUNTY OF DANE

Signature Date

Joseph T. Parisi, County Executive Date

Printed Name

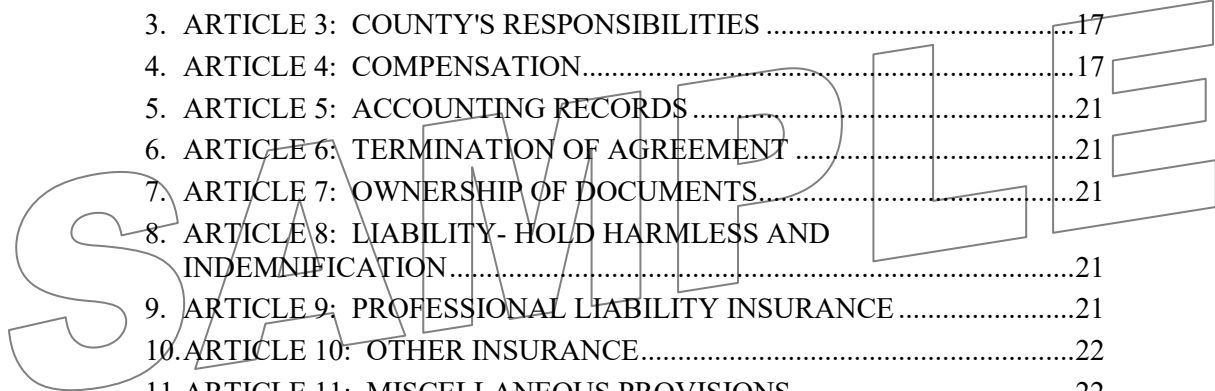
Scott McDonell, County Clerk Date

Title

Federal Employer Identification Number (FEIN)

COUNTY OF DANE
PROFESSIONAL SERVICES AGREEMENT
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1. ARTICLE 1: SCOPE OF AGREEMENT

- 1.A. This Agreement between COUNTY and the person or firm, duly licensed under the laws and in accordance with the regulations of the State of Wisconsin, hereinafter referred to as the "A/E" shall be governed by the following Terms and Conditions.
- 1.B. The A/E shall provide technical and professional services under this Agreement. The Terms and Conditions of this Agreement shall apply to modifications made to this Agreement and shall apply to both the services rendered in the creation of the design and to the additional services called for in carrying out the design.
- 1.C. The A/E shall serve as the professional technical advisor and consultant to COUNTY in matters arising out of or incidental to the performance of this Agreement and in that capacity, the A/E shall not have a contractual duty or responsibility to any other person or party or individual regarding the services under this Agreement, except as that duty may arise under the laws of the State of Wisconsin. The A/E is not an agent of the COUNTY within the meaning of s. 893.80 or 895.46, Wis. Stats.
- 1.D. Professional services performed or furnished under this Agreement shall be based on the care and skill ordinarily used by members of the profession involved, who practice under the authority of and who are governed by the license issued under the Wisconsin Statutes and the Wisconsin Administrative Code. The standard of care for architectural and engineering services under this Agreement shall include designing buildings, structures and / or related infrastructural systems that comply with all applicable building and safety codes.
- 1.E. By accepting this Agreement, the A/E represents possession of the necessary skill and other qualifications to perform work under this Agreement and is familiar with the practices in the locality where such services and work shall be performed.
- 1.F. The A/E shall review and become familiar with the current Division 00 & 01 requirements utilized by COUNTY in construction contracts and shall provide services and work, consistent with such requirements, so that the Contractor's schedule is not negatively impacted.
- 1.G. The A/E shall be professionally responsible for work performed under this Agreement. Upon written approval of COUNTY, the A/E may subcontract work to an approved consultant under this Agreement, to the specific extent authorized by COUNTY. The authorization to subcontract shall not relieve the A/E of professional or contractual responsibility for any work performed or delivered under this Agreement. The authorization to subcontract shall not be construed to create any contractual relationship between COUNTY and such consultant.
- 1.H. Subcontracts for services under this Agreement shall provide that work performed under such subcontract, shall be subject to provisions of this Agreement and shall also provide that any professional duty or responsibility pertaining thereto shall be accomplished to the benefit of COUNTY. Upon request, an electronic copy of each such subcontract for which COUNTY approval is granted shall be furnished to COUNTY.
- 1.I. The A/E may substitute consultants or professional staff under this Agreement only to the specific extent authorized by COUNTY in writing.
- 1.J. In the performance of this Agreement, the A/E shall become familiar with and perform such services in accordance with the specifications set forth in the Request for Proposals document. The COUNTY reserves the right to update County Master Specifications Division 00 and Division 01 at any time, including after the signing date of this Agreement.

The A/E shall use and conform to the most current County Master Specifications Division 00 and Division 01 available at the time of Final Review Documents and the A/E shall not be eligible for a change order based upon alterations to said County Master Specifications Division 00 and Division 01 occurring after the date of Agreement signing.

2. ARTICLE 2: SCOPE OF THE SERVICES TO BE PROVIDED

2.A. General:

2.A.1) Services are to be provided by the A/E in each of the following:

Schematic Design (All three project phases)
Design Development (African Savanna Exhibit Only if authorized to proceed)

2.A.2) An assigned COUNTY Public Works Project Manager will be the A/E's contact in securing COUNTY direction and for arranging the necessary meetings with COUNTY or other County Departments and obtaining the approvals required by COUNTY.

2.A.3) The A/E shall create a log of all COUNTY and A/E generated design changes resulting from meetings and communications from COUNTY. This log shall be kept throughout the entire design process and submitted to COUNTY every two (2) months.

2.A.4) The A/E shall facilitate a site investigation, including subsurface investigations or geotechnical exploration of the subsurface conditions of the site, for the purpose of identifying conditions at the site which might adversely affect the achievement of the proposed design.

2.A.5) The term "written" or "in writing" may be either electronic or hard copy documentation, unless otherwise stated or directed by COUNTY.

2.B. Study Phase: NOT USED

2.C. Schematic Design (Required for all Phases: African Savanna Phase, Big Cat Complex Phase and Front Entrance Phase. Including overall map with all Phases shown on the site together):

2.C.1) The A/E shall obtain from COUNTY information and materials necessary to ascertain scope of the Project and shall verify with COUNTY program and functional requirements of the Project. The Henry Vilas Zoo annotated map (included with the RFP) outlines the building/exhibit locations and general general foot print for all three Phases to be used as a starting point for the Schematic Design (the African Savanna Phase and the Front Entrance Phase have a more detailed concept drawing which is included only for reference for programming also included in the RFP. The A/E shall include gathering design information for programming of all three phases from building users subject to approval of COUNTY Public Works Project Manager.

2.C.2) Based on information, materials and requirements as verified by COUNTY, the A/E shall prepare Schematic Design Documents consisting of drawings and other documents illustrating scale and relationship of the Project components. Schematic Design Documents (to include Opinion of Probable Cost for the construction of each phase starting with the demolition of existing structures/site elements to completion). shall be submitted to COUNTY for review and written Approval.

- 2.C.3) The A/E shall submit to COUNTY opinions of probable construction cost (which will contain a detailed breakdown of overall construction and a cost breakout of areas assigned to each animal species/building element) based on information provided by COUNTY and approved Schematic Design Documents.
- 2.C.4) The A/E shall develop and maintain during the Schematic Design process an overview map showing all three phases on the Henry Vilas Zoo grounds. The map will be similar to the map included in the RFP (Sheet 1 – Henry Vilas Zoo Master Plan Map (highlighting new layouts determined for each of the three phases).
- 2.C.5) The A/E shall submit a timetable for each phase from beginning to completion. A schedule for when Schematic Design documents will be available shall be reviewed with the COUNTY and a priority established, as it would relate to fundraising efforts by the Henry Vilas Zoo, will be determined by the COUNTY.
- 2.C.6) The A/E shall submit Schematic Design level estimate of design energy level to target for Energy Star building lifecycle (EPA) and information on Green Design elements that are included for the project phases.
- 2.C.7) The A/E shall schedule meetings with the COUNTY to review the overall concept input and request available information to assist in development of the Schematic level design for each of the three Phases. For the African Savanna Phase the concept drawing included in the RFP will serve as a general basis for design to be followed (building layouts, types of animal exhibits, circulation patterns, overall site placement details utilities, enclosure layouts

2.C.8) Schematic Design deliverables shall be:

- 2.C.8) a. Four (4) bound, hard copies of all drawings & outline specifications; and
- 2.C.8) b. Electronic version of all documents delivered on a USB flash drive or by web based FTP site:

- (1) Specifications: Word 2016; and
- (2) Drawings: Adobe Acrobat 2020 (or earlier version) (PDFs converted from AutoCAD).

2.D. Design Development (Required **Only** on the African Savanna Phase following County Approval of the Schematic Design upon written authorization by the COUNTY to proceed):

- 2.D.1) The A/E shall review the program and functional requirements, plans and specifications of record, (to the extent that such documents are reasonably available), and applicable COUNTY standards and guides or other written direction by COUNTY. The A/E shall establish the limiting parameters of the design as defined by the instructions issued to it by COUNTY, to determine if the design concept is achievable within the schedule and budget proposed by COUNTY.
- 2.D.2) To the extent necessary, the A/E shall facilitate investigation of the site for existing conditions which differ from those indicated in the record drawings or which could have a detrimental impact on the achievement of the work called for under the project.
- 2.D.3) Within fourteen (14) calendar days of receipt of the program and functional requirements, plans and specifications of record, the A/E and COUNTY shall schedule a meeting to review the A/E's design concept and such other matters as are

necessary to establish that at this preliminary point, the proposed design concept is consistent with the requirements of COUNTY.

- 2.D.4) The A/E shall document the results of design meetings, including design factors agreed to, with any instructions furnished by COUNTY to carry out such factors, including, but not limited to:

- Program clarification
- Scheduling concerns/develop draft timetables
- Existing site conditions
- Inclusion of Green Design aspects
- Project opinions of probable cost (OPC)
- Cost-value trade offs under consideration
- Quality requirements
- Special material requirements
- Communications requirements
- Engineering requirements

- 2.D.5) The A/E shall furnish a copy of the documentation produced under this Phase to each participant attending a design concept meeting.

- 2.D.6) In agreements which involve renovation or remodeling of or additions to existing facilities, the A/E shall evaluate the suitability of existing building elements, materials and equipment for reuse in the renovated project. Reasonably accessible areas shall also be observed by the A/E or its consultants to evaluate existing major mechanical, plumbing and electrical systems. Any of the foregoing considered to be economically reusable shall be reported to COUNTY and may be reused unless directed otherwise by COUNTY.

- 2.D.7) The A/E shall provide sufficient, alternative design solutions on major design features to allow COUNTY to ascertain that the recommended design achieves a practical programmatic and economic solution, within the limitations of the authorized program, schedule and budget. Include staffing and occupancy considerations provided by COUNTY.

- 2.D.8) The major design features, equipment and systems that must be evaluated include, but are not limited to:

- Site & civil related work (e.g., utilities, stormwater management, erosion control). The A/E is responsible under this Agreement for any needed site survey work necessary for development of the design for all three phases).
- Demolition requirements of existing structures and site elements
- Structural systems
- Building envelope (wall, window and roofing) systems
- Building and enclosure configuration
- Incorporation of Green Design elements (as determined during design meetings)
- Life safety systems
- Heating, ventilating and air conditioning & associated controls
- Plumbing & associated controls
- Electrical & associated controls
- Lighting systems & associated controls
- Telecom systems
- Audio / visual systems (inc. security cameras)
- Facility & Exhibit Enclosures Security Systems (inc. surveillance and hardware)

Building signage (exterior + interior)
Interpretive display (size/type, location, and subject description)

2.D.9) The analysis of major design features and systems shall include initial and life cycle cost comparisons. The A/E shall utilize the Uniform Guide of Life Cycle Cost Factors provided by COUNTY in the calculation of life cycle costs. Energy Star Design Development level confirmation of design energy target based on EPA Energy Star guidelines for building lifecycle.

2.D.10) The A/E shall provide a working analysis of each major design feature included in the selected design concept, with constraints and dependencies that is sufficiently complete to allow commencement of the Construction Documents Phase:

2.D.10) a. The A/E shall prepare preliminary drawings, specifications and other data tailored to the project that fix and describe the size and character of the entire project as to major design features and systems and such other essentials outlined by COUNTY:

- (1) The preliminary drawings shall include plans, elevations, sections and details at a scale which is sufficient to fully illustrate the design concepts, materials and finishes to be employed. Drawings shall be in format as approved by COUNTY.
- (2) The outline specifications shall include relevant specific information for Division 01 - Bidding and Contract Requirements and a list of the applicable technical divisions.

2.D.10) b. The A/E shall prepare a Design Report that includes:

- (1) A time estimate for completion of each separate phase of the work (Design, Construction Documents, Bidding, and Construction and Commissioning).
- (2) A detailed estimate of project cost based on the preliminary design concept, which indicates that the project budget limitations will not be exceeded. Factors influencing the cost feasibility of each major division of the specification and related drawings shall be identified.
- (3) An analysis of the biddability and constructability of the project within the time allowed by COUNTY.
- (4) An analysis of all Green Design associated aspects that are proposed to be included in the project.
- (5) An identification of any part of the work that might require special monitoring or consideration during construction to prevent quality control problems, delays, or cost escalation. Include any long lead time equipment or materials, items which interface with difficulty, areas of work requiring significant care, sequencing or precision in installation and full or partial User occupancy during construction.
- (6) As a safeguard against unforeseen bidding conditions, the A/E may recommend appropriate alternate bids for COUNTY's consideration. Such alternates shall be identified and developed at no additional cost to this Agreement.

2.D.11) Upon determination by the A/E that the final design is represented by the preliminary drawings and specifications, those documents along with a final Design Report shall be submitted to COUNTY for review and concurrence.

2.D.11) a. The A/E shall provide COUNTY with up to four (4) sets and one (1) electronic file of the Design Report with appendix, preliminary drawings and outline specifications for review and coordination purposes. Electronic documents shall be in a format approved by COUNTY.

2.D.11) b. COUNTY will issue a list of recommended changes / corrections to be incorporated into the documents. Within seven (7) calendar days of receipt, the A/E shall transmit written replies to review comments issued by COUNTY. Directions by COUNTY shall be incorporated into the design, unless the A/E shall have explained objections to COUNTY and obtained prior written approval of noncompliance from COUNTY before proceeding with related work on the Design Report.

2.D.11) c. The A/E or COUNTY may call a further preliminary review meeting, when necessary to finalize the design concept.

2.D.11) d. Approval of these documents by COUNTY will complete the Design Development Phase.

2.D.12) Design Development (for the African Savanna Phase) deliverables shall be:

2.D.12) a. Four (4) bound, hard copies of drawings (full size-typical of all submissions) & specifications (in 8½ x 11 format-typical of all submissions); and

2.D.12) b. Electronic version of all documents delivered on a USB flash drive or web-based FTP site:

- (1) Drawings in AutoCAD 2019 (or earlier version);
- (2) Specifications in Word 2016 (or earlier version); and
- (3) Adobe Acrobat 2020 (or earlier version) of drawings and specifications (PDFs converted from Word, AutoCAD, or other programs; minimize pdf file size by converting files rather than scanning printouts).

2.E. Construction Documents Phase: NOT USED (Professional Services Agreement Sample shown here for potential future reference if A/E authorized in writing to proceed beyond the Design Development phase by the COUNTY with an Agreement Amendment to include a lump-sum fixed fee based on the percentage of construction – See Article 4. COMPENSATION).

2.E.1) Upon receipt of written instructions from COUNTY, the A/E shall prepare Construction Documents for bidding, construction [and commissioning] of the project. The Construction Documents shall provide the detailed requirements for the successful construction of the entire project.

2.E.2) Construction Documents shall comply with the COUNTY Master Specifications Division 00 and Division 01.

2.E.3) The Construction Documents shall be internally consistent in terms of coordination between:

2.E.3) a. Work of the A/E and its consultants.

2.E.3) b. Requirements of various divisions or trades.

2.E.3) c. Drawings and specifications.

2.E.4) During this phase, the A/E shall develop and provide documents for the systems designed under this Agreement which will achieve a biddable and constructible project, compliant with all applicable building and safety codes and within the assumption of professional responsibility set forth in this Agreement. These services shall include, but not be limited to:

2.E.4) a. Coordination, to protect the integrity of the design and facilitate construction with:

- (1) Manufacturers: Ensure that manufactured items called for in the documents are currently available and will fit, interface and perform as required to achieve design intent.
- (2) Consultants: Ensure that information necessary to their work is provided in a timely manner and that consultants exchange information with each other and the A/E.
- (3) Utility Companies: Determine the standard operating procedures and time requirements for obtaining the services and the cooperation of the utility companies involved in the execution of the project. Provide this information in writing to interested parties as needed.
- (4) Occupying Agency: Ensure that program-required furniture, fixtures and equipment (FF&E) layout is suitable so as to be compatible but not interfere with access to, placement or operation of the mechanical, electrical or plumbing appurtenances.
- (5) Governmental authorities having jurisdiction over the work:
 - (a) The A/E shall submit documents for approval to public agencies having jurisdiction over the project and after obtaining such approval of those agencies, the A/E shall file two (2) copies of such approval with COUNTY.
- (6) Such other agencies, boards, associations or individuals whose activities could impact or interfere with the successful completion of the project.

2.E.4) b. Inclusion in the Construction Documents of:

- (1) Plans, elevations and sections at a scale which is sufficient to give a full and complete understanding of the construction, dimensions thereof, materials to be employed, location of utilities and any other pertinent data.
- (2) Details, diagrams, schedules, photo reproductions and other graphic methods appropriate to define work required to be performed to accomplish the purposes of the project.
- (3) Description of existing conditions of site and / or structures with sufficient clarity to permit their use without ambiguity in the bidding, construction and commissioning process.

2.E.4) c. Inclusion in the specifications documents of bidding and contract requirements, special provisions and / or appendices, and technical sections. Unless otherwise agreed to by COUNTY in writing, the format shall generally follow the divisions of the Construction Specifications Institute. If approved by COUNTY in writing, short form specifications for limited scope work may be included on the drawings in lieu of Construction Specifications Institute format specification sections.

- (1) The technical sections of the specifications shall completely and concisely describe the materials and services to be employed or installed by the construction contractor(s) in the work. These specifications shall describe the work to be done and shall be arranged by work or material in appropriate divisions with suitable cross-references for clarity and continuity
- (2) The technical sections of the specifications shall be carefully worded to allow a clear understanding of the work required by each of the construction contractors and their subcontractors, and to describe the responsibility for the work required to be performed by such contractor(s), individually and collectively, for the performance of work required to deliver the project complete, without ambiguity as to which technical sections of the specifications cover each element of work.
- (3) The technical sections of the specifications shall clearly state the minimum grade, quality, and type of materials and workmanship required. These specifications shall not restrict competition, where it is available, but shall state a level of quality, which can be objectively determined by persons normally engaged in the type of trade or practice described.
- (4) When two (2) or more manufacturers offer on the open market materials, equipment or devices of equal quality and usability needed for the project, each such known manufactured product shall be specified for potential use on the project.
- (5) The professional judgment of the A/E or the direction of the COUNTY may limit competition to a brand name, process, or technique of manufacture.
- (6) The A/E shall compile and include in the construction contract documents a summary listing of all submittals required for the project from the construction contractor(s). Included shall be shop drawings, samples, cuts, catalogs, models, mockups and other preliminary information needed from the contractors to describe how they will fulfill their responsibilities under their contracts.

2.E.5) Upon determination by the A/E that the final project design is represented by completed Construction Documents, those documents shall be submitted to COUNTY for review and concurrence prior to release for bidding.

2.E.5) a. The A/E shall provide COUNTY with review sets in a format and standard specified by the COUNTY.

2.E.5) b. COUNTY will issue a list of recommended changes / corrections to be incorporated into the next review set or final documents. The A/E shall within seven (7) calendar days transmit written replies from the A/E and its sub-consultants to review comments issued by COUNTY or for which clarification requests were identified or for which changes were authorized at the final design review meeting and communicated to the A/E. Directions by COUNTY shall be incorporated into the documents.

2.E.6) Prior to submission of the final documents, the A/E shall call for a final review meeting with COUNTY, if needed, to finalize and prepare for publication of the final bidding documents, with any conditions required by COUNTY.

- 2.E.7) At the time of delivery of the final documents, the A/E shall report to COUNTY, in writing with updated estimates of project costs and schedules.
- 2.E.8) Upon receipt of the Construction Documents Phase deliverables, updated Design Report the COUNTY shall evaluate these documents & indicate to the A/E in writing when & how to proceed.
- 2.E.9) COUNTY will print and distribute drawings and specifications for bidding purposes without cost to the A/E. The A/E shall provide the original drawings, original specifications and an electronic copy of both the drawings and original specifications for printing by COUNTY, in a format as approved by COUNTY. If the A/E is directed by COUNTY to acquire the necessary printing services, these services shall be a reimbursable expense as provided in Article 4.C. hereof.

2.E.10) Constructions Documents Phase deliverables shall be:

2.E.10) a. 60% Construction Documents:

- (1) Four (4) required hard bound copies of full-size Drawings & Specifications; and
- (2) Electronic version of all documents delivered on a USB flash drive or FTE web link:
 - (a) Drawings in Adobe Acrobat 2020 (or earlier version; PDFs); and
 - (b) Specifications in Word 2016 (or earlier version).

2.E.10) b. 95% Construction Documents:

- (1) Four (4) required hard bound copies of full-size Drawings & Project Manual; and
- (2) Electronic version of all documents delivered on a USB flash drive or FTP web link:
 - (a) Drawings in Adobe Acrobat 2020 (or earlier version; PDFs); and
 - (b) Specifications in Word 2016 (or earlier version).

2.E.10) c. Final Construction Documents:

- (1) Original unbound, hard copy of Drawings and Project Manual in full size, paper format;
- (2) Four,(4) required hard bound copies of Drawings and Project Manual;
- (3) One (1) bound, hard copy of Drawings and Project Manual to be submitted by A/E to City of Madison for stamped approval; and
- (4) Electronic version of all documents delivered on a USB flash drive or FTP web link:
 - (a) Drawings (.dwg files) in AutoCAD 2019 (or earlier version):
 1. Each drawing sheet shall be complete with x-refs or base plan sheets included and attached;
 2. All external data from non-AutoCAD programs (e.g., Excel or Word) shall be included and attached; and
 3. Include copy of Plot Style Table (ctp file) used to print drawings.
 - (b) Drawings in Adobe Acrobat 2020 (or earlier version; minimize pdf file size by converting files from AutoCAD or other programs);
 - (c) Project Manual in Word 2016 (or earlier version); and

(d) Project Manual in Adobe Acrobat 2020 (or earlier version; minimize pdf file size by converting files from Word or other programs, rather than scanning printouts).

2.F. Bidding Phase: NOT USED (Professional Services Agreement Sample shown here for potential future reference if A/E authorized in writing to proceed beyond the Construction Documents phase by the COUNTY with an Agreement Amendment to include a lump-sum fixed fee based on the percentage of construction – See Article 4. COMPENSATION).

2.F.1) The Bidding Phase shall commence with the publication of the Invitation to Bid and shall conclude with the award of the number of contracts necessary to achieve the purposes of construction.

2.F.2) The A/E shall serve as the professional technical consultant and advisor to COUNTY during the bidding process, including the preparation for and participation in Pre-Bid Conferences.

2.F.3) The A/E shall answer all pre-bid questions from contractors in an addendum and prepare any additional addenda necessary, for COUNTY to authorize, print and distribute as appropriate.

2.F.4) The A/E shall assist COUNTY by evaluating and making recommendations to COUNTY on the qualifications of prospective construction contractors and subcontractors.

2.F.5) The A/E shall assist COUNTY in analyzing bids and negotiating with the lowest, qualified, responsible bidders as deemed appropriate by COUNTY.

2.F.6) If the low bids submitted by qualified, responsible bidders exceed construction cost estimate approved at Construction Documents Phase by five percent (5%) or more, the A/E shall revise and change the Construction Documents for a project rebidding, as approved by and without additional cost to COUNTY that will permit a proper award of the contract(s) within the approved estimate of project cost or other funding limitation. If the low bid exceeds construction cost estimate approved at Construction Documents Phase by less than five percent (5%), at the COUNTY's option, the A/E shall revise and change the Construction Documents for a project rebidding, as approved by COUNTY, but shall be compensated for revisions per negotiated amendment to this Professional Services Agreement.

2.F.7) In the event that there is a reduction in scope to keep the project within budget and this results in low bid(s) which total less than the construction budget, then the A/E shall, at no additional fee, prepare construction bulletin(s) to add deleted program work back into the project.

2.F.8) Upon construction contract offer, the A/E shall immediately prepare construction documents which incorporate the bid documents, addenda issued, alternate bids accepted and negotiated contract deductions, all of which are incorporated in the Construction Documents. Such work shall be completed in a timely fashion, but no later than seven (7) calendar days, so that construction is not delayed.

2.G. Construction Phase: NOT USED (Professional Services Agreement Sample shown here for potential future reference if A/E authorized in writing to proceed beyond the Bidding Phase by the COUNTY with an Agreement Amendment to include a lump-sum fixed fee based on the percentage of construction – See Article 4. COMPENSATION).

2.G.1) An assigned COUNTY Project Manager will be responsible for arranging and conducting construction-related meetings as required and act as the point of contact for the construction contractors. A COUNTY approved A/E representative shall attend, take notes, publish and distribute COUNTY approved minutes of job meetings.

2.G.2) After the award of the construction contract(s), the A/E shall become an on-site technical and professional advisor to COUNTY. In this capacity the A/E will have continuous access to the site. The A/E, through COUNTY's Project Representative, will have access to data in the construction contractor(s) files or offices pertaining to the quality or time requirements of the construction contract(s), in the same mode, manner and extent that such data would be available to COUNTY.

2.G.2) a. When requested and specifically contracted for by COUNTY, the A/E shall provide a full-time, on-site representative who shall be qualified in construction administration and subject to the approval of COUNTY. On projects for which COUNTY does not authorize full-time, on-site representation, the A/E shall provide, in accordance with ATTACHMENT A - CONSTRUCTION PHASE SITE VISITS AGREEMENT, a COUNTY-approved person, with suitable experience in the construction process to visit the site in order to monitor and report the progress, quality, and timely performance of the work relative to the Construction Documents, as such work is being performed by the construction contractor(s). The A/E shall keep COUNTY informed of the progress and quality of the work based on on-site observations and shall endeavor to protect COUNTY against defects and deficiencies in the work.

2.G.3) Immediately following the pre-construction meeting and prior to the start of construction, the A/E shall review the proposed schedule for submittals from the construction contractor(s). The A/E shall assess the timing feasibility of such submittals relative to the construction schedule and review needed, and advise COUNTY in writing accordingly.

2.G.3) a. The A/E shall be responsible for the professional review and approval or rejection of shop drawings, samples and other submittals from the construction contractor(s) to determine conformance with the specific portions of the Construction Documents under which the submittal was made. Deviation from the Construction Documents as noted by the contractor on submittals or otherwise observed by the A/E shall be brought to the attention of COUNTY's Project Representative and concurrence received from COUNTY before any approval is given to a contractor. Review of the submittals which have priority status as determined by COUNTY's Project Representative, must be completed within five (5) business days of receipt. Review of other submittals shall be completed within ten (10) business days of receipt, or in accordance with the submittal schedule prepared by the General Contractor and as approved by COUNTY and A/E at the start of construction. The A/E is responsible for submittal activity conducted by its consultants in the same manner as if such review were made by the A/E.

2.G.3) b. The A/E shall also review the results of all testing conducted during or after construction and report to COUNTY whether these results meet the design intent and the requirements of the Construction Documents.

2.G.4) The A/E's site representative shall observe the construction process to evaluate the adequacy and completeness of the construction contractor(s) compliance with the Construction Documents, and shall immediately report any noncompliance to the COUNTY Project Manager in writing.

2.G.4) a. The A/E shall be responsible for the coordination and performance of on-site services performed by consultants employed by the A/E and shall review reports and other data submitted by such consultants. The A/E and each consultant engaged under Article 1.G. and ATTACHMENT B. - A/E / CONSULTANT AGREEMENT shall visit the job site as delineated in ATTACHMENT A. - CONSTRUCTION PHASE SITE VISITS AGREEMENT. The A/E shall provide in each consultant agreement, a requirement for consultant visits to the site and a schedule for such visits for professional evaluation of the work monitored by each consultant and a reporting system to inform COUNTY. Site visits shall coincide with crucial times of the construction for the specialty area involved.

2.G.4) b. Following construction site visits, the A/E shall make routine, written status reports detailing observations and activities on the project, at such intervals as is elsewhere herein established and in a format approved by COUNTY. The A/E shall submit the reports within three (3) business days of the site visit by the A/E's representative. Reporting requirements for full-time, on-site representation shall be established by each Agreement for such professional services.

2.G.4) c. The A/E's site representative will receive copies of reports submitted by the General Contractor and shall provide site observation to evaluate the reports. Discovered construction variances shall immediately be reported to COUNTY.

2.G.4) d. If it becomes necessary during construction, to interpret, construe, clarify or to otherwise determine the reasonable meaning, application or implementation of the Construction Documents, the A/E acting in good faith, based upon the facts made known to it at the time, shall recommend to COUNTY in writing, a reasonable course of conduct in connection with the issues involved. Such recommendation(s) may be considered for further contractual action by COUNTY.

2.G.4) e. Should the A/E become aware that the work of any contractor or subcontractor in place or underway does not conform to the work or quality required by the Construction Documents, the COUNTY Project Manager shall be immediately notified in writing. It is appropriate for the A/E to also immediately advise the contractors of substantial deficiencies, and that notification of these deficiencies will be made to COUNTY. The A/E shall furnish such data as necessary to inform COUNTY of the degree of the noncompliance with the Construction Documents, the cause thereof, the impact on schedule and cost, if known, and a recommended course of conduct. COUNTY shall be solely responsible for implementation of the A/E's recommendation. This assumption of responsibility by COUNTY shall not relieve the A/E or its consultants for negligence in the discovery of the condition, which was or should have been discovered.

- 2.G.4) f. If the A/E considers suspension of construction work appropriate, the A/E shall notify COUNTY in writing and state the reasons, which, in the professional opinion of the A/E, justify such action.
- 2.G.5) Necessary professional services or construction required to repair or overcome problems caused by errors, omissions, ambiguities or changes not authorized by COUNTY in the preparation of the documents or design shall be the responsibility of the A/E or its consultants, without additional cost to COUNTY.
- 2.G.6) The A/E shall review requests for information (RFIs) and shall respond within five (5) business days.
- 2.G.7) The A/E shall develop and issue appropriate construction bulletins (CBs) at the direction of the COUNTY Project Manager. The A/E shall then evaluate the CB proposals received from the construction contractors and provide COUNTY with a written recommendation regarding the appropriateness of the proposals. The evaluation and recommendation shall be completed within five (5) business days of receipt, or in accordance with another schedule approved by COUNTY. The evaluation shall consider the necessity for such change, the reasonableness of the proposed change, and an analysis of the cost proposed for effecting the change.
- 2.G.8) The A/E shall assist in the preparation of applications for energy incentive programs, when applicable.
- 2.G.9) Upon contractor's written notification and the COUNTY Project Manager's confirmation that Substantial Completion has taken place, the A/E shall observe the construction and provide a written punchlist to the COUNTY Project Manager. The COUNTY Project Manager will schedule the punchlist inspection in conjunction with the User and contractors involved. The punchlist shall contain items found not to be complete, in need of correction, replacement or otherwise not in accordance with the Construction Documents. As part of the Substantial Completion verification, the A/E shall perform or witness and document functional testing and review the testing and balance report prepared by others for all plumbing, HVAC, fire protection and electrical systems to verify installation and operation meet the intent of their design. The A/E shall forward the results of the functional testing and provide written recommendations for corrective measures where systems do not meet the intent of their design. The A/E shall prepare and distribute the Certificate of Substantial Completion when appropriate.
- 2.G.10) COUNTY will provide a set of Construction Documents to General Contractor on which daily records of changes and deviations shall be recorded. At completion of the project, General Contractor will submit its marked-up as-built documents to the A/E who shall, based on these marked up as-built documents, revise the original documents, including the electronic files, showing changes in the work made during the construction process to produce a set of Record Documents. Electronic documents shall be in a format and on a medium required by COUNTY. This work shall be completed and submitted to COUNTY within thirty (30) calendar days of receipt of the last marked up prints. The consequences of addenda, change orders and other circumstances known by the A/E to have caused change shall be included in the production of the Record Documents. The marked-up as-built documents shall be turned over to the COUNTY at the same time as the Record Documents.

2.G.10) a. Record Documents deliverables shall be:

- (1) Original unbound, hard copy of Drawings and Project Manual in full size, paper format;
- (2) Two (2) hard bound copies of full-size Drawings and Project Manual; and
- (3) Electronic version of all documents delivered on a USB flash drive or FTP web link:
 - (a) Drawings (.dwg files) in AutoCAD 2019 (or earlier version):
 1. Each drawing sheet shall be complete with x-refs or base plan sheets included and attached;
 2. All external data from non-AutoCAD programs (e.g., Excel or Word) shall be included and attached; and
 3. Include copy of Plot Style Table (ctb file) used to print drawings.
 - (b) Drawings in Adobe Acrobat 2020 (or earlier version; minimize pdf file size by converting files from AutoCAD or other programs);
 - (c) Project Manual in Word 2016 (or earlier version); and
 - (d) Project Manual in Adobe Acrobat 2020 (or earlier version; minimize pdf file size by converting files from Word or other programs, rather than scanning printouts).

2.G.11) The A/E shall obtain from the General Contractor, and review for compliance with design intent, an Operating and Maintenance Manual for building systems and operable mechanical and electrical equipment on the project, both powered and manual. Two (2) copies and an electronic copy of the Manuals shall be provided to COUNTY's Project Representative. These manuals shall include:

2.G.11) a. Manufacturer's Instruction for Maintenance and Operation of Equipment and Systems, including a Spare Parts List; and

2.G.11) b. Temperature Control Record Drawings and Equipment Data Sheets including recommended maintenance procedures.

2.G.12) It is not intended by this Agreement to impose upon the A/E the duty of a guarantor of the construction contractor(s). It is, however, the intent of the Agreement to impose upon the A/E the duty of the faithful fulfillment, in accordance with the standard of care ordinary to the profession, of the performance of the duties specifically enumerated herein and for the close monitoring of the work of its consultants as if the work were performed by the A/E. As such, this shall not preclude the entitlement to COUNTY of reasonable expectation that systems as designed by the A/E or their consultants will operate as anticipated by COUNTY upon faithful completion of construction.

2.H. Commissioning Phase: NOT USED (Professional Services Agreement Sample shown here for potential future referece if A/E authorized in writing to proceed beyond the Design Development phase by the COUNTY with an Agreement Amendment to include a lump-sum fixed fee based on the percentage of construction – See Article 4. COMPENSATION).

2.H.1) The A/E shall work closely with the Commissioning Agent (CA) & incorporate all requirements into reviews, Construction Documents, & start-up procedures.

2.H.2) All building elements, equipment & systems shall be complete and operating. System start-up, testing, balancing and satisfactory system performance is the responsibility of the General Contractor. This includes all calibration and adjustment

of all system controls, balancing of loads, troubleshooting and verification of software and final adjustments that may be needed.

2.H.3) All operating conditions and control sequences shall be tested, adjusted & signed off as complete by the CxP, A/E & COUNTY during the start-up period.

3. ARTICLE 3: COUNTY'S RESPONSIBILITIES

3.A. COUNTY will determine the project scope for which the professional design services are required and will fully cooperate in achieving completion of that work.

3.B. COUNTY will establish an internal operating procedure for timely and proper performance of any COUNTY duty required to fulfill the needs of the project.

3.C. COUNTY will provide available information regarding the requirements for the project, which set forth COUNTY's objectives for program, schedule and overall budget. COUNTY will make available to the A/E data known to COUNTY or requested by the A/E, which may be needed for the fulfillment of the professional responsibility of the A/E. This data may include, but is not limited to, prints of existing buildings or record drawings and COUNTY standards and guides. Such documents will be the most recent and accurate available. The use of any such data by the A/E shall be without contractual or legal significance unless otherwise established elsewhere in this Agreement. However, providing of documents by COUNTY shall not relieve the A/E from the responsibility for conducting a field survey to verify existing conditions as specified herein.

3.D. COUNTY will communicate to the A/E the format of the documents required to be submitted.

3.E. COUNTY will examine documents submitted by the A/E and will render decisions regarding them promptly, to avoid unreasonable delay in the progress and sequence of the A/E's work. COUNTY will coordinate review comments from the User agency and COUNTY staff prior to issuance to the A/E.

3.F. COUNTY will prepare and process the Agreements between COUNTY and A/E.

3.G. Unless otherwise specified in this Agreement, COUNTY will arrange for services of a testing laboratory to furnish structural, chemical, mechanical and other laboratory tests, inspections and reports as required by law or deemed necessary by COUNTY.

4. ARTICLE 4: COMPENSATION

4.A. A/E fees for basic services will be compensated by COUNTY in accordance with the Terms and Conditions of this Agreement as follows:

4.A.1) COUNTY will pay the A/E a lump sum fixed fee of \$[] for the Schematic Design of the African Savanna Phase, Big Cat Complex Phase, and Front Entrance Phase.

COUNTY will pay the A/E a lump sum fixed fee of \$[] for the Design Development on the African Savanna Phase (if authorized by the COUNTY to proceed to the Design Development level).

COUNTY will pay the A/E a fee based on the percentage of Construction Cost, assigned by the A/E to be []% for the African Savanna Phase for design

services beyond the Design Development Phase to include the Construction Documents Phase, Bidding Phase, Construction (Administration) Phase, and Commissioning Phase (if authorized in writing by the COUNTY to proceed beyond the Design Development for any or all of the additional phases). The A/E lump sum fixed fee will be established in an Agreement Amendment to be signed by the A/E and COUNTY.

The lump sum fixed fee for Schematic Design of the of the African Savanna Phase, Big Cat Complex Phase, and Front Entrance Phase and the lump sum fixed fee for the Design Development of the African Savanna Phase shall be provided in the proposal submitted for this project (Proposal Content #7). Also the percentage of Construction Cost shall be provided in the same location with the submitted proposal.

4.B. The A/E's Compensation for Additional Services, as described in Article 4.D., will be computed as follows:

4.B.1) Principals' time at a fixed rate of \$[] per hour, unless separate amounts are provided for each Principal. For the purposes of this Agreement, the Principals are:

[
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S

A M P L E

4.B.2) Other design staff shall be billed at these fixed rates:

Senior design architect / engineer: \$[] per hour

Junior design architect / engineer: \$[] per hour

Senior designer: \$[] per hour

Junior designer: \$[] per hour

Drafting: \$[] per hour

Clerical: \$[] per hour

4.B.3) Employee's time shall be computed using the employee's basic hourly salary and include overhead costs for clerical support and mandatory and customary benefits such as statutory employee benefits, insurance, sick leave, holidays and vacations, pensions and similar benefits for persons in consultation, research and design in producing drawings, specifications and other documents pertaining to the project and for services during construction at the site.

4.C. Reimbursable Expenses:

4.C.1) Reimbursable Expenses are actual, incidental expenses incurred by the A/E, its employees or consultants, in the interest of the project and are not included in overhead costs for the Fees for Basic Services (4.A.) and Additional Services (4.D.). Reimbursable Expenses shall be incurred or contracted for only with PRIOR written approval from COUNTY. Such approval shall be based on a written proposal delineating the nature of the services, the time involved, the estimated cost thereof, and the individuals or firms involved. Payment Requests from consultants and construction contractors providing these Reimbursable Expenses shall be reviewed by the A/E to check the accuracy of and entitlement to the sums requested. Reimbursable Expenses may include, but are not limited to, the following incidental expenses:

4.C.1) a. Expense of reproduction of drawings and specifications, excluding the review sets required in Article 2.

4.C.1) b. Expense of a geotechnical investigation and soils and material testing when required.

4.C.1) c. Expense of State and / or City review fees when required.

4.C.2) Expenses not eligible for reimbursement shall include, but are not limited to, indirect project overhead costs associated with the Fees for Basic Services (4.A.) and Additional Services (4.D.) such as mileage, travel, lodging, replication of drawings for the design development meetings and subsequent design meetings, preliminary and final review document printing, handling and postage, cost of correspondence transmittals, telephone expenses, and CAD / electronic graphic services. Such expenses shall be included as part of the Lump Sum fee.

4.D. Additional Services:

4.D.1) The following services are in addition to but are not covered in Article 4.A. These services may be identified as part of the A/E's fee proposal and included with the lump sum fee as such. Compensation for these additional services or other services must be requested by the A/E, and subsequently approved by COUNTY PRIOR to proceeding with the work. If the additional services are requested after the Agreement has been issued, such authorization shall be based on a written proposal delineating the nature of the services, the time involved, the estimated cost thereof, the effect on the project schedule and the individuals or firms involved. When authorized, an Agreement Change Order will be used to modify the A/E's Agreement.

4.D.1) a. Revising previously approved drawings, specifications or other documents after written approval of Design Development Phase, to accomplish changes not initiated by the A/E other than record documents and revisions normally to be expected or required to correct deficiencies in the approved drawings and specifications.

4.D.1) b. Preparing detailed models, perspective or renderings.

4.D.1) c. Preparing documents for alternate bids or petitions for waiver when requested by COUNTY and, requiring significant additional time and expense on the part of the A/E or its consultants.

4.D.1) d. Obtaining or participating in third party Value Engineering / Enhancement of the project when directed by COUNTY.

- 4.D.1) e. Providing services other than corrective design work and record documents, after final payment to the construction contractor(s).
- 4.D.1) f. Providing services as expert witness in connection with any public hearings, arbitration proceeding, or the proceedings of a court of record except when the A/E is party thereto.
- 4.D.1) g. Providing historical preservation research or documentation.
- 4.D.1) h. Providing specialized design services, including, but not limited to Sustainability design, vibration, wind or acoustical analysis, energy modeling.

4.E. Payments to the A/E:

- 4.E.1) Payments of the A/E's lump sum fee will be made monthly, in proportion to services performed as confirmed by COUNTY, to increase the compensation to the following percentages of the lump sum fee at the completion of each phase of the work.

Schematic Design Phase (All 3 Individual Phases)	75%
Design Development Phase (African Savanna Phase only)	100%

- 4.E.2) No more than ninety percent (90%) of the A/E's lump sum fee shall be paid out prior to substantial completion of the design services for Schematic?Design Development. When COUNTY confirms that submittal of record documents, has been satisfactorily completed by the A/E, COUNTY will determine how and when the remaining lump sum fee is disbursed.

- 4.E.3) Payments for COUNTY-approved Reimbursable Expenses as defined in Article 4.C. and Additional Services of the A/E as defined in Article 4.D., will be made monthly upon request.

- 4.E.4) An A/E whose work is found deficient or fails to conform to the requirements set forth in the Agreement, is not entitled to further payments, until corrected to the satisfaction of COUNTY.

- 4.E.4) a. Payments to the A/E may be withheld for damages sustained by COUNTY due to error, omission, unauthorized changes or negligence on the part of the A/E. COUNTY will notify the A/E in writing of the alleged, specific damages and amounts involved, on a timely basis.

- 4.E.5) Payments to the A/E will not be withheld due to disputes between construction contractor(s) and COUNTY.

- 4.E.6) If the project is suspended for more than three (3) months in whole or in part, the A/E will be paid fees for services performed prior to receipt of written notice from COUNTY of the suspension, together with Reimbursable Expenses then due and reasonable expenses resulting from this suspension, as approved by COUNTY. If the project is resumed after being suspended for more than three (3) months, the A/E's compensation will be subject to renegotiation.

- 4.E.7) Every A/E firm engaged in performance of any contract for Department of Public Works, Highway & Transportation shall submit partial and final Application & Certificate for Payment for work under said contract. Form shall provide similar

information as shown on AIA Application for Payment Forms. Pay Applications shall be submitted to Public Works Project Manager for approval.

5. ARTICLE 5: ACCOUNTING RECORDS

- 5.A. Records of the A/E's direct personnel, consultants, and reimbursable expenses pertaining to the project shall be kept in accordance with Generally Accepted Accounting Principles (GAAP) and shall be available to COUNTY or an authorized representative throughout the term of this Agreement and for at least three (3) years after final payment to the A/E.

6. ARTICLE 6: TERMINATION OF AGREEMENT

- 6.A. This Agreement may be terminated by COUNTY without cause upon ten (10) calendar days written notice to the A/E. In the event of termination, the A/E will be paid fees for services performed to termination date, reimbursable expenses then due, and termination expenses as approved by COUNTY. Work performed prior to the date of termination shall be in accordance with the terms and conditions of this Agreement. Upon termination, the results of such work shall immediately be turned over to the COUNTY Project Manager and is a condition precedent to further payment by COUNTY.
- 6.B. In the event the Agreement between the A/E and any consultant on this project is terminated, the results of work by that consultant shall immediately be turned over to the A/E.

7. ARTICLE 7: OWNERSHIP OF DOCUMENTS

- 7.A. All drawings and specifications, renderings, models, scale details, approved copies of shop drawings and other such documents prepared by the A/E or any consultant pursuant to this Agreement shall become the property of COUNTY on completion and acceptance of any of the A/E's work, or upon termination of the Agreement, and shall be delivered to COUNTY upon request.
- 7.B. Documents prepared under this Agreement may be used by COUNTY for informational purposes without additional compensation to the A/E.
- 7.C. Specifications and isolated, detail drawings inherent to the architectural / engineering design of the project, whether provided by the COUNTY or generated by the A/E, shall be available for future use by the parties to this Agreement and other parties, each at their own risk.

8. ARTICLE 8: LIABILITY- HOLD HARMLESS AND INDEMNIFICATION

- 8.A. A/E shall indemnify, hold harmless and defend COUNTY, its boards, commissions, agencies, officers, employees and representatives against any and all liability, loss (including, but not limited to, property damage, bodily injury and loss of life), damages, costs or expenses which COUNTY, its officers, employees, agencies, boards, commissions and representatives may sustain, incur or be required to pay by reason of A/E furnishing the services required to be provided under this Agreement, provided, however, that the provisions of this paragraph shall not apply to liabilities, losses, charges, costs, or expenses caused or resulting from the acts or omissions of COUNTY, its agencies, boards, commissions, officers, employees or representatives. The obligations of A/E under this paragraph shall survive the expiration or termination of this Agreement.

9. ARTICLE 9: PROFESSIONAL LIABILITY INSURANCE

- 9.A. The A/E and its consultants retained under the terms of this Agreement shall procure and maintain a professional liability insurance policy with at least \$1,000,000 in coverage that

provides for payment of the insured's liability for errors, omissions or negligent acts arising out of the performance of the professional services required under this Agreement. The A/E shall provide up-to-date, accurate professional liability information on the A/E's Data Record, including amount of insurance, deductible, carrier and expiration date of coverage. Upon request by COUNTY, the A/E shall furnish COUNTY with a Certificate of Insurance showing the type, amount, deductible, effective date and date of expiration of such policy. Such certificate shall also contain substantially the following statement: "The insurance covered by this certificate shall not be canceled, the coverage changed or reduced by endorsement, by the insurance company, except after thirty (30) calendar days written notice has been received by COUNTY." The A/E shall not cancel or materially alter this coverage without prior written approval by COUNTY. The A/E shall be responsible for consultants maintaining professional liability insurance during the life of their Agreement.

10. ARTICLE 10: OTHER INSURANCE

10.A. The A/E and its consultants retained under terms of this Agreement shall:

10.A.1) Maintain Worker's Compensation Insurance:

10.A.1) a. Procure and maintain Worker's Compensation Insurance as required by State of Wisconsin Statutes for all of the A/E's and consultant's employees engaged in work associated with the project under this Agreement.

10.A.1) b. Maintain Employer's Liability Insurance with a policy limit of not less than \$1,000,000 per occurrence and \$2,000,000 in the aggregate.

10.A.2) Procure and maintain during the life of this Agreement, and until one year after the completion of this Agreement, Commercial General Liability Insurance, including Products and Completed Operations for all claims that might occur in carrying out the Agreement. Minimum coverage shall be \$1,000,000 per occurrence, \$1,000,000 general aggregate, combined single limit for bodily injury, personal injury, and property damage. Such coverage shall be of the "occurrence" type form and shall include the employees of the A/E as insureds.

10.A.3) Procure and maintain Commercial Automobile Liability Insurance for all owned, non-owned, and hired vehicles that are used in carrying out the Agreement. Minimum coverage shall be \$1,000,000 per occurrence combined single limit for bodily injury and property damage.

10.A.4) Provide an insurance certificate indicating the above Commercial Liability Insurance and property damage coverage, countersigned by an insurer licensed to do business in Wisconsin, covering and maintained for the period of the Agreement. Upon request by COUNTY, the insurance certificate is to be presented on or before execution of the Agreement.

11. ARTICLE 11: MISCELLANEOUS PROVISIONS

11.A. A/E warrants that it has complied with all necessary requirements to do business in the State of Wisconsin, that the persons executing this Agreement on its behalf are authorized to do so.

11.B. Legal Relations. The A/E shall comply with and observe federal and state laws and regulations and local zoning ordinances applicable to this project and in effect on the date of this Agreement.

11.C. Approvals or Inspections. None of the approvals or inspections performed by COUNTY shall be construed or implied to relieve the A/E from any duty or responsibility it has for its professional performance, unless COUNTY formally assumes such responsibility in writing from COUNTY so stating that the responsibility has been assumed.

11.D. Successors, Subrogees and Assigns. COUNTY and A/E each bind themselves, their partners, successors, subrogees, assigns, and legal representatives to the other party to this Agreement and to the partners, successors, subrogees, assigns and legal representatives of such other party with respect to covenants of this Agreement.

11.E. Claims. The A/E's project manager will meet with COUNTY's Project Manager to attempt to resolve claims, disputes and other matters in question arising out of, or relating to, this Agreement or the breach thereof. Issues not settled are to be presented in writing to the COUNTY Deputy Director of Public Works for review and resolution. The decision of the Deputy Director of Public Works shall be final. Work shall progress during the period of any dispute or claim. Unless specifically agreed between the parties, venue will be in Dane County, Wisconsin.

11.F. Amendment of Agreement. This Agreement may be amended in writing by both COUNTY and A/E.

11.G. It is expressly understood and agreed to by the parties hereto that in the event of any disagreement or controversy between the parties, Wisconsin law shall be controlling. Venue for any legal proceedings shall be in the Dane County Circuit Court.

11.H. This Agreement is intended to be an agreement solely between the parties hereto and for their benefit only. No part of this Agreement shall be construed to add to, supplement, amend, abridge or repeal existing duties, rights, benefits or privileges of any third party or parties, including but not limited to employees of either of the parties.

11.I. The entire agreement of the parties is contained herein and this Agreement supersedes any and all oral agreements and negotiations between the parties relating to the subject matter hereof. The parties expressly agree that this Agreement shall not be amended in any fashion except in writing, executed by both parties.

12. ARTICLE 12: NONDISCRIMINATION IN EMPLOYMENT

12.A. During the term of this Agreement, A/E agrees not to discriminate on the basis of age, race, ethnicity, religion, color, gender, disability, marital status, sexual orientation, national origin, cultural differences, ancestry, physical appearance, arrest record or conviction record, military participation or membership in the national guard, state defense force or any other reserve component of the military forces of the United States, or political beliefs against any person, whether a recipient of services (actual or potential) or an employee or applicant for employment. Such equal opportunity shall include but not be limited to the following: employment, upgrading, demotion, transfer, recruitment, advertising, layoff, termination, training, rates of pay, and any other form of compensation or level of service(s). A/E agrees to post in conspicuous places, available to all employees, service recipients and applicants for employment and services, notices setting forth the provisions of this paragraph. The listing of prohibited bases for discrimination shall not be construed to amend in any fashion state or federal law setting forth additional bases and exceptions shall be permitted only to the extent allowable in state or federal law.

12.B. Civil Rights Compliance:

12.B.1) If A/E has twenty (20) or more employees and receives \$20,000 in annual contracts with COUNTY, the A/E shall submit to COUNTY a current Civil Rights Compliance Plan (CRC) for Meeting Equal Opportunity Requirements under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, Title VI and XVI of the Public Service Health Act, the Age Discrimination Act of 1975, the Omnibus Budget Reconciliation Act of 1981 and Americans with Disabilities Act (ADA) of 1990. A/E shall also file an Affirmative Action (AA) Plan with COUNTY in accordance with the requirements of Chapter 19 of the Dane County Code of Ordinances. A/E shall submit a copy of its discrimination complaint form with its CRC/AA Plan. The CRC/AA Plan must be submitted prior to the effective date of this Agreement and failure to do so by said date shall constitute grounds for immediate termination of this Agreement by COUNTY. If an approved plan has been received during the previous calendar year, a plan update is acceptable. The plan may cover a two-year period. If A/E has less than twenty (20) employees, but receives more than \$20,000 from the COUNTY in annual contracts, it may be required to submit a CRC Action Plan to correct any problems discovered as the result of a complaint investigation or other Civil Rights Compliance monitoring efforts set forth herein below. If A/E submits a CRC/AA Plan to a Department of Workforce Development Division or to a Department of Health and Family Services Division that covers the services purchased by COUNTY, a verification of acceptance by the State of A/E's Plan is sufficient.

12.B.2) A/E agrees to comply with the COUNTY's civil rights compliance policies and procedures. A/E agrees to comply with civil rights monitoring reviews performed by the COUNTY, including the examination of records and relevant files maintained by the A/E. A/E agrees to furnish all information and reports required by the COUNTY as they relate to affirmative action and non-discrimination. A/E further agrees to cooperate with COUNTY in developing, implementing, and monitoring corrective action plans that result from any reviews.

12.B.3) A/E shall post the Equal Opportunity Policy, the name of A/E's designated Equal Opportunity Coordinator and the discrimination complaint process in conspicuous places available to applicants and clients of services, applicants for employment and employees. The complaint process will be according to COUNTY's policies and procedures and made available in languages and formats understandable to applicants, clients and employees. A/E shall supply to COUNTY's Contract Compliance Specialist upon request a summary document of all client complaints related to perceived discrimination in service delivery. These documents shall include names of the involved persons, nature of the complaints, and a description of any attempts made to achieve complaint resolution.

12.B.4) A/E shall provide copies of all announcements of new employment opportunities to COUNTY's Contract Compliance Specialist when such announcements are issued.

SECTION 00 73 11

FAIR LABOR PRACTICES CERTIFICATION

The undersigned, for and on behalf of the BIDDER, APPLICANT or PROPOSER named herein, certifies as follows:

A. That he or she is an officer or duly authorized agent of the above-referenced BIDDER, APPLICANT or PROPOSER, which has a submitted a bid, application or proposal for a contract or agreement with the county of Dane.

B. That BIDDER, APPLICANT or PROPOSER has (check one):

_____ not been found by the National Labor Relations Board (“NLRB”) or the Wisconsin Employment Relations Commission (“WERC”) to have violated any statute or regulation regarding labor standards or relations in the seven years prior to the signature date of this Certification.

_____ been found by the National Labor Relations Board (“NLRB”) or the Wisconsin Employment Relations Commission (“WERC”) to have violated any statute or regulation regarding labor standards or relations in the seven years prior to the signature date of this Certification.

Officer or Authorized Agent Signature

Date

Printed or Typed Name and Title

Printed or Typed Business Name

NOTE: You can find information regarding the violations described above at: www.nlrb.gov and werc.wi.gov.

For reference, Dane County Ordinance 25.09 is as follows:

(1) BIDDER RESPONSIBILITY. (a) Any bid, application or proposal for any contract with the county, including public works contracts regulated under chapter 40, shall include a certification indicating whether the bidder has been found by the National Labor Relations Board (NLRB) or the Wisconsin Employment Relations Committee (WERC) to have violated any statute or regulation regarding labor standards or relations within the last seven years. The Controller shall investigate any such finding and make a recommendation to the committee, which shall determine whether the conduct resulting in the finding affects the bidder’s responsibility to perform the contract.

If you indicated that the NLRB or WERC have found you to have such a violation, you must include copies of any relevant information regarding such violation with your proposal, bid or application.

Include this completed Certification with your bid, application or proposal.

END OF SECTION



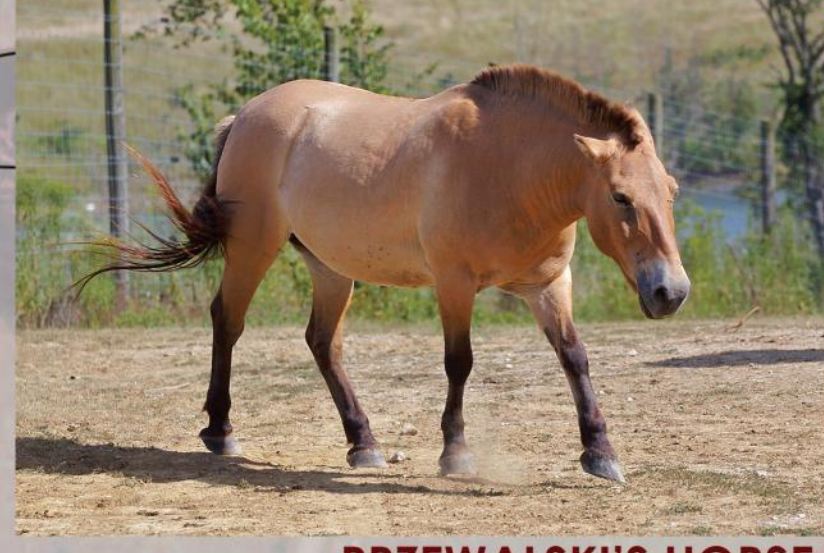
GIRAFFE



WHITE RHINOCEROS



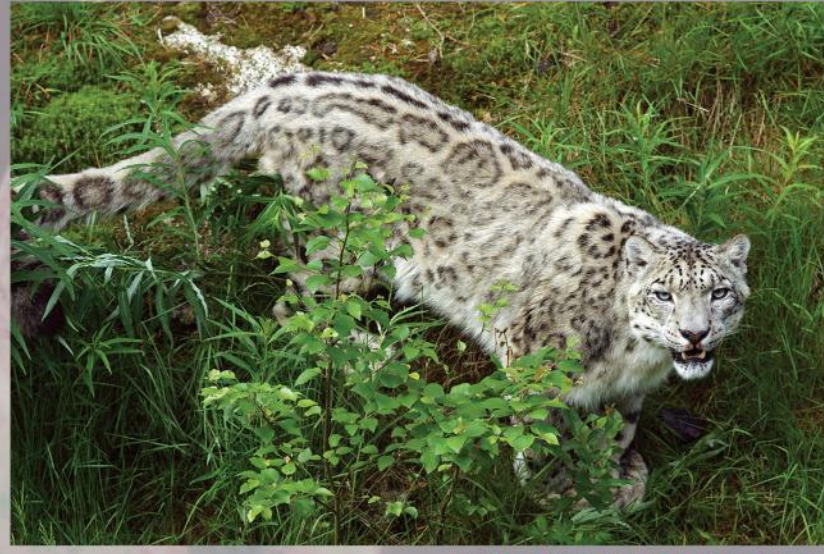
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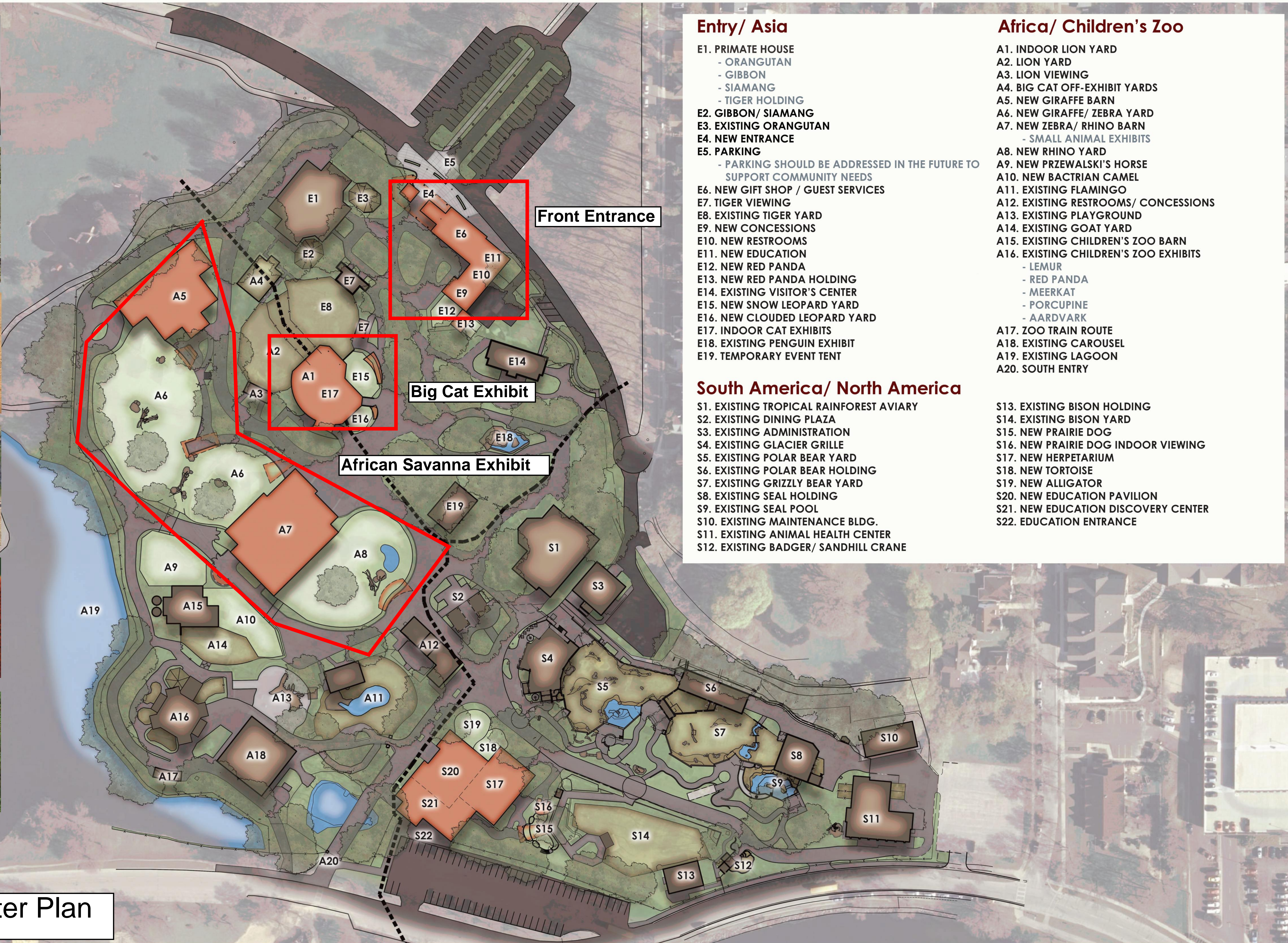
PRZEWALSKI'S HORSE



RED PANDA



SNOW LEOPARD



Entry/ Asia

- E1. PRIMATE HOUSE
 - ORANGUTAN
 - GIBBON
 - SIAMANG
 - TIGER HOLDING
- E2. GIBBON/ SIAMANG
- E3. EXISTING ORANGUTAN
- E4. NEW ENTRANCE
- E5. PARKING
 - PARKING SHOULD BE ADDRESSED IN THE FUTURE TO SUPPORT COMMUNITY NEEDS
- E6. NEW GIFT SHOP / GUEST SERVICES
- E7. TIGER VIEWING
- E8. EXISTING TIGER YARD
- E9. NEW CONCESSIONS
- E10. NEW RESTROOMS
- E11. NEW EDUCATION
- E12. NEW RED PANDA
- E13. NEW RED PANDA HOLDING
- E14. EXISTING VISITOR'S CENTER
- E15. NEW SNOW LEOPARD YARD
- E16. NEW CLOUDED LEOPARD YARD
- E17. INDOOR CAT EXHIBITS
- E18. EXISTING PENGUIN EXHIBIT
- E19. TEMPORARY EVENT TENT

Africa/ Children's Zoo

- A1. INDOOR LION YARD
- A2. LION YARD
- A3. LION VIEWING
- A4. BIG CAT OFF-EXHIBIT YARDS
- A5. NEW GIRAFFE BARN
- A6. NEW GIRAFFE/ ZEBRA YARD
- A7. NEW ZEBRA/ RHINO BARN
 - SMALL ANIMAL EXHIBITS
- A8. NEW RHINO YARD
- A9. NEW PRZEWALSKI'S HORSE
- A10. NEW BACTRIAN CAMEL
- A11. EXISTING FLAMINGO
- A12. EXISTING RESTROOMS/ CONCESSIONS
- A13. EXISTING PLAYGROUND
- A14. EXISTING GOAT YARD
- A15. EXISTING CHILDREN'S ZOO BARN
- A16. EXISTING CHILDREN'S ZOO EXHIBITS
 - LEMUR
 - RED PANDA
 - MEERKAT
 - PORCUPINE
 - AARDVARK
- A17. ZOO TRAIN ROUTE
- A18. EXISTING CAROUSEL
- A19. EXISTING LAGOON
- A20. SOUTH ENTRY

South America/ North America

- S1. EXISTING TROPICAL RAINFOREST AVIARY
- S2. EXISTING DINING PLAZA
- S3. EXISTING ADMINISTRATION
- S4. EXISTING GLACIER GRILLE
- S5. EXISTING POLAR BEAR YARD
- S6. EXISTING POLAR BEAR HOLDING
- S7. EXISTING GRIZZLY BEAR YARD
- S8. EXISTING SEAL HOLDING
- S9. EXISTING SEAL POOL
- S10. EXISTING MAINTENANCE BLDG.
- S11. EXISTING ANIMAL HEALTH CENTER
- S12. EXISTING BADGER/ SANDHILL CRANE
- S13. EXISTING BISON HOLDING
- S14. EXISTING BISON YARD
- S15. NEW PRAIRIE DOG
- S16. NEW PRAIRIE DOG INDOOR VIEWING
- S17. NEW HERPETARIUM
- S18. NEW TORTOISE
- S19. NEW ALLIGATOR
- S20. NEW EDUCATION PAVILION
- S21. NEW EDUCATION DISCOVERY CENTER
- S22. EDUCATION ENTRANCE

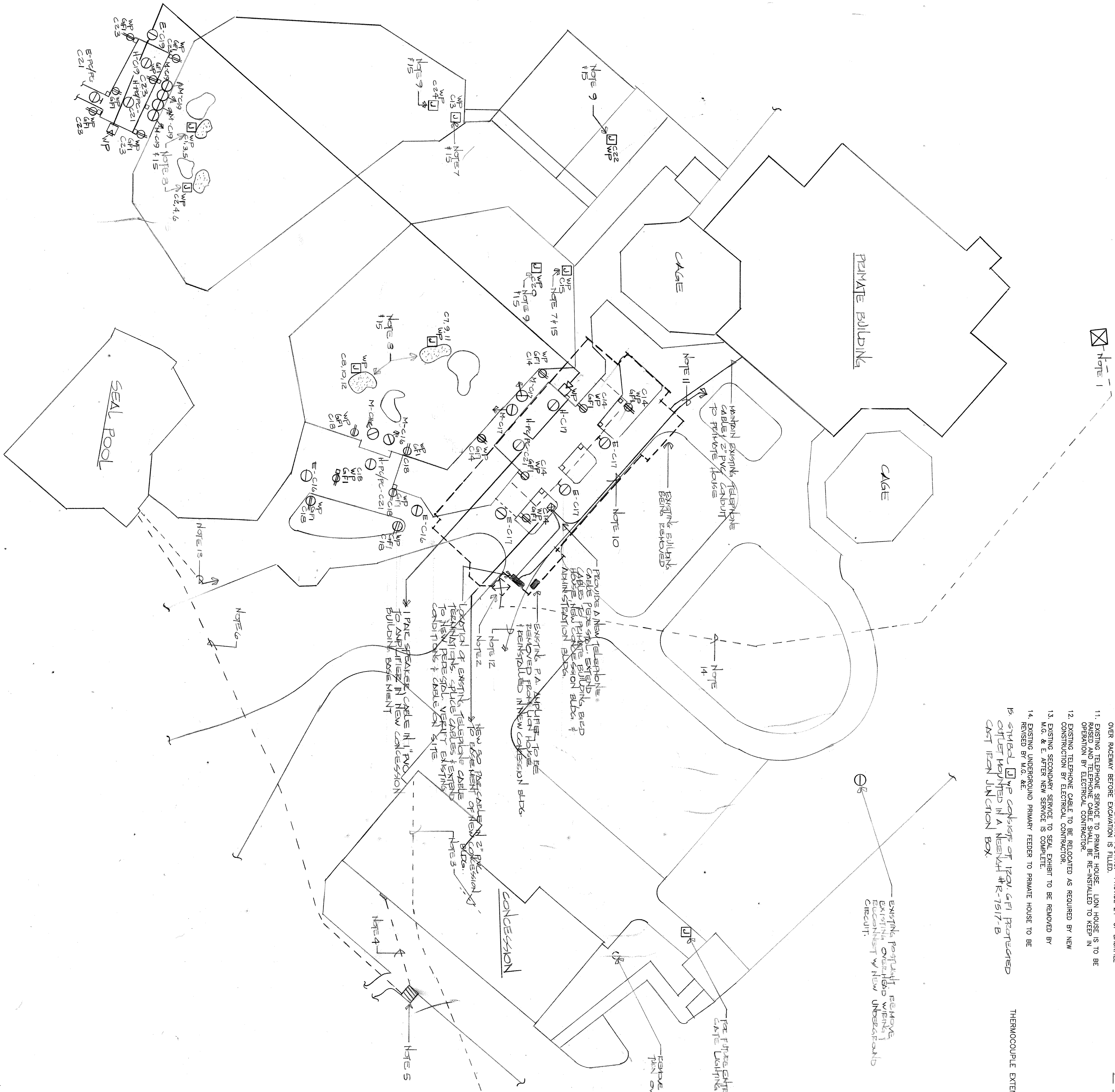
Sheet 1 - Master Plan



Sheet 2 - African Savanna Concept Drawing

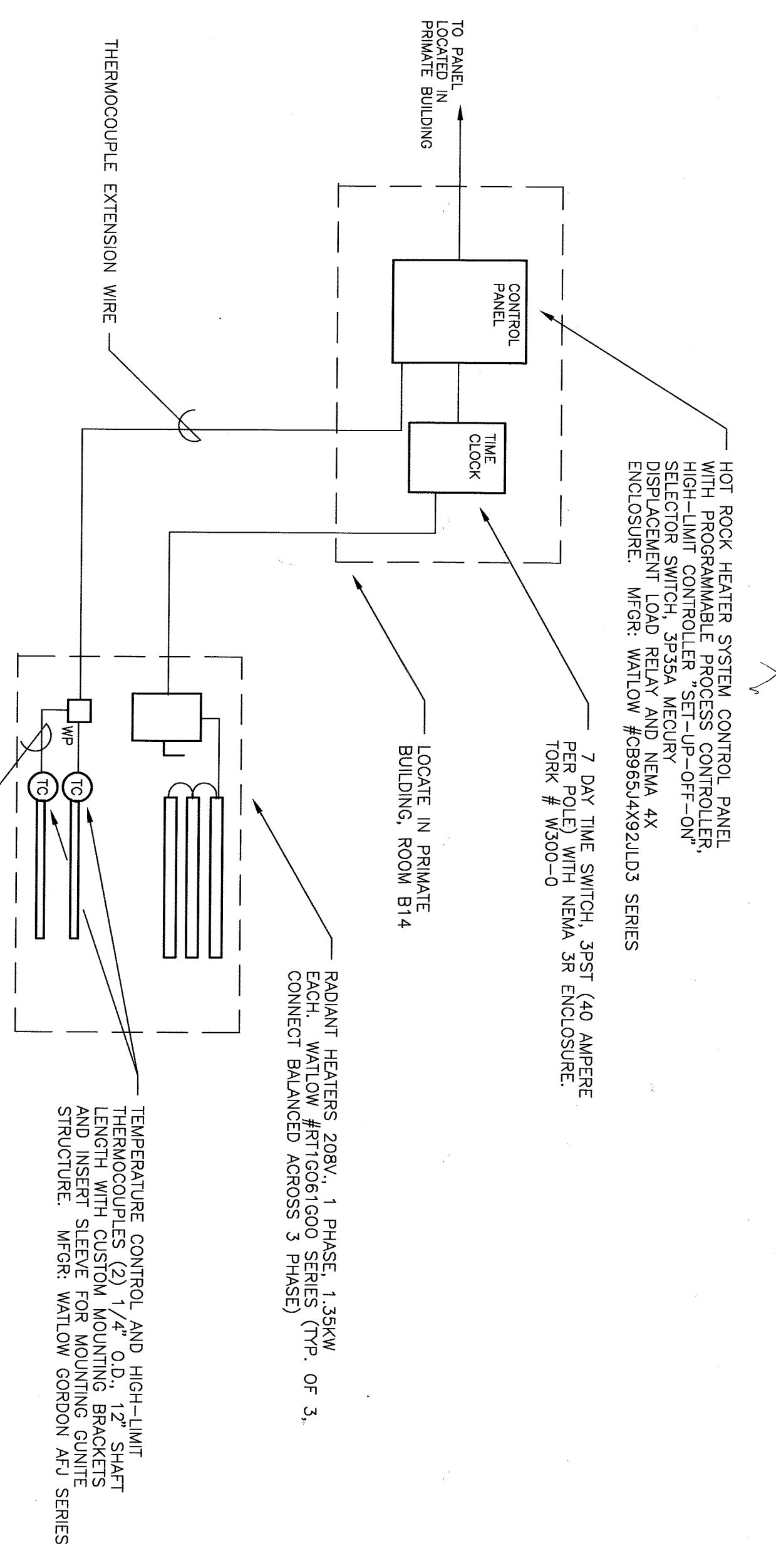


Sheet 3 - Front Entrance Concept Drawing

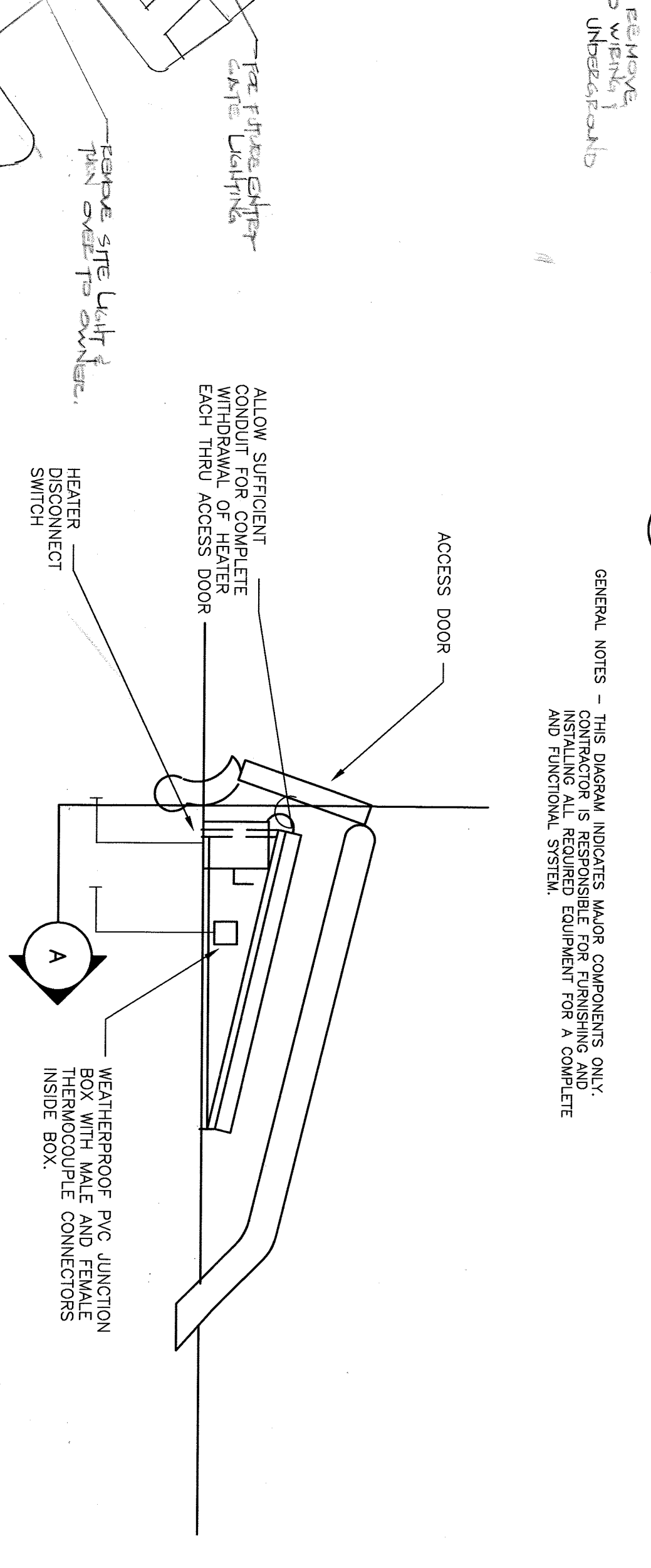


PARTIAL ELECTRICAL SITE PLAN
SCALE: 1"=20'-0"

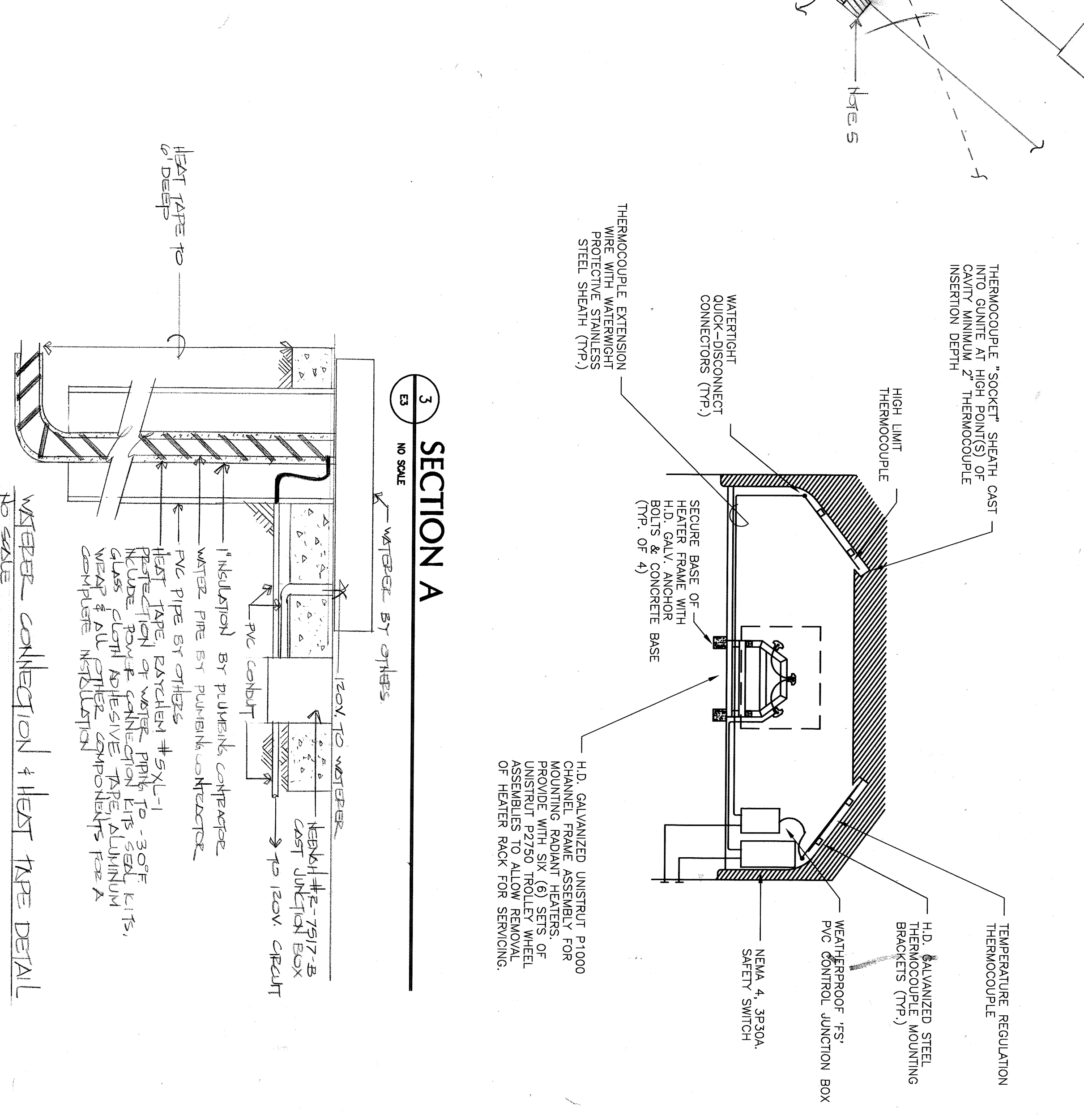
- SITE PLAN NOTES:**
1. ALL WORK TO BE PERFORMED TO REMAIN. COORDINATE PRIMARY FEEDER WITH ELECTRICAL CONTRACTOR.
 2. EXISTING PAD MOUNTED TRANSFORMER TO BE REMOVED. COORDINATE WITH M.C. & E.
 3. RELOCATE EXISTING UNDERGROUND SERVICES.
 4. UNDERGROUND SECONDARY SERVICE TO NEW BUILDING.
 5. NEW PAD MOUNTED TRANSFORMER LOCATION.
 6. NEW UNDERGROUND 200 AMP FEEDER TO SEAL EXHIBIT. VERIFY EXACT ROUTING ON SITE TO AVOID OTHER UNDERGROUND SERVICES, TREES, ETC.
 7. 120 VOLT CONNECTION FOR ELECTRIC FENCE. SEE DETAIL.
 8. HOT ROCK ROAMANT HEATER. SEE DETAILS 1, 2 & 3 THIS SHEET.
 9. CONNECTION FOR WATER HEATER & PIPE TYPE. SEE DETAIL.
 10. INSTALL EXISTING TELEPHONE CABLE IN LION HOUSE IN SCHEDULE 80 OVER RECYCLE BEFORE EXCAVATION IS FILED. PHONE 24 OF BACKLIT OPERATIONS CENTER SHALL BE RE-INSTALLED TO KEEP IN OPERATIONAL CONDITION.
 11. EXISTING TELEPHONE SERVICE TO PRIVATE HOUSE. LION HOUSE IS TO BE DEMOLISHED. TELEPHONE CABLE SHALL BE RE-INSTALLED TO KEEP IN OPERATIONAL CONDITION.
 12. EXISTING TELEPHONE CABLE TO BE RELOCATED AS REQUIRED BY NEW M.C. & E. AFTER NEW SERVICE IS COMPLETE.
 13. EXISTING SECONDARY SERVICE TO SEAL EXHIBIT TO BE REMOVED BY ELECTRICAL CONTRACTOR.
 14. EXISTING UNDERGROUND PRIMARY FEEDER TO PRIVATE HOUSE IS TO BE REMOVED BY ELECTRICAL CONTRACTOR.
 15. EXISTING UNDERGROUND PRIMARY FEEDER TO PRIVATE HOUSE TO BE REMOVED BY ELECTRICAL CONTRACTOR.
 16. EXISTING UNDERGROUND PRIMARY FEEDER TO PRIVATE HOUSE TO BE REMOVED BY ELECTRICAL CONTRACTOR.



1 HOT ROCK HEATER SYSTEM CONTROL PANEL
NO SCALE




2 HOT ROCK HEATER DETAIL
NO SCALE



3 SECTION A
NO SCALE

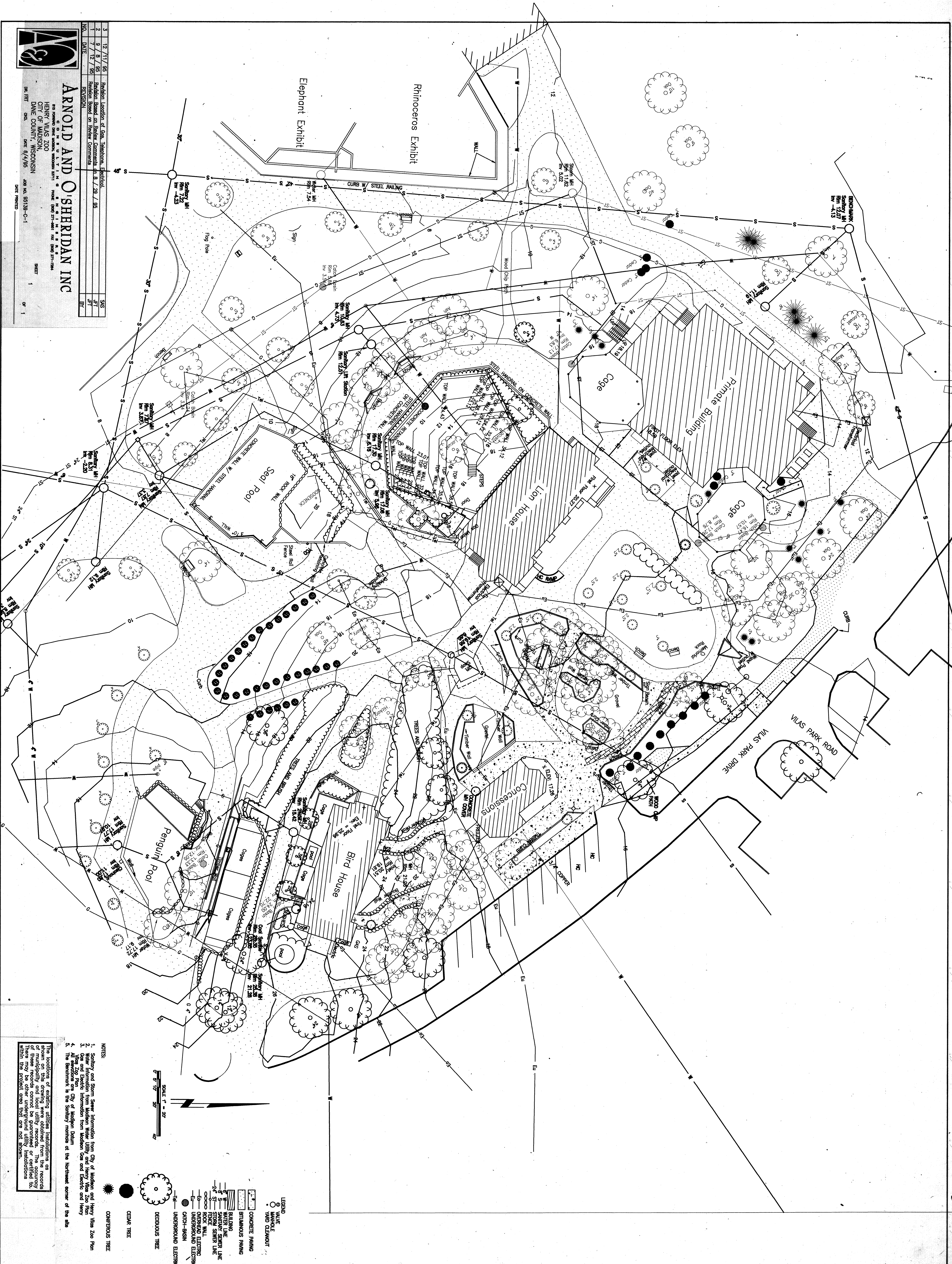
WATERPROOF CONNECTION & HEAT TAPE DETAIL
NO SCALE



ARNOLD AND O'SHERIDAN INC.
 CONSULTING ENGINEERS
 815 FORWARD DRIVE
 MADISON, WISCONSIN 53711
 PHONE: (608) 271-7244
 FAX: (608) 271-7244

NO. 12
 DATE 7/17/85
 REVISION: 1
 DATE 8/7/85
 REVISION: 2
 DATE 7/12/85
 REVISION: 3
 DATE 7/12/85
 REVISION: 4
 DATE 7/12/85
 REVISION: 5

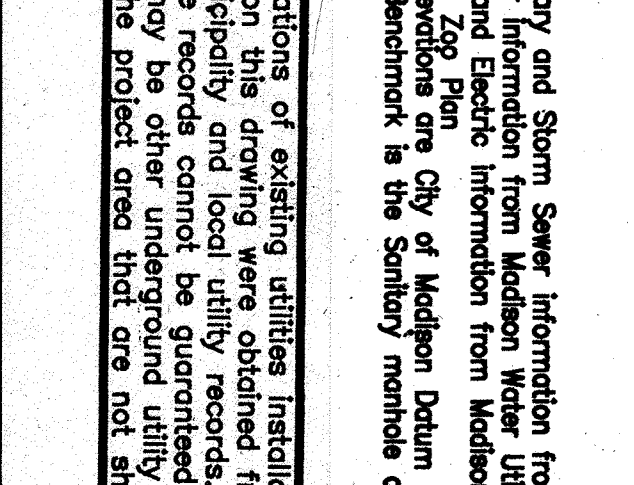
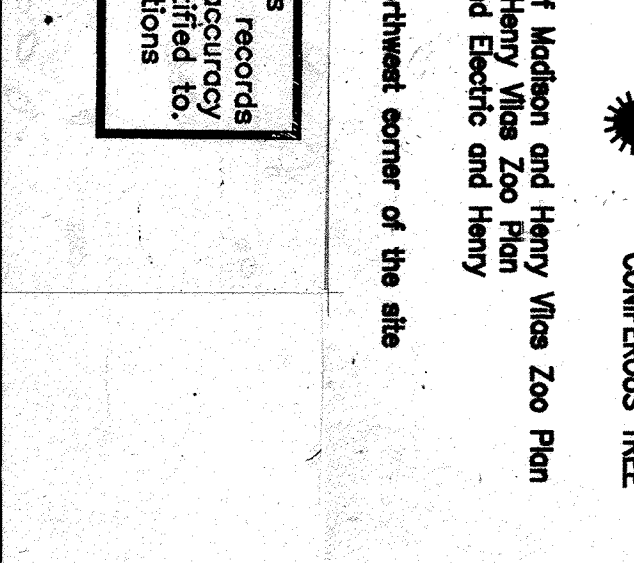
PROJECT: HENRY VILAS ZOO
 CITY OF MADISON
 DANE COUNTY, WISCONSIN
 DATE: 6/4/85
 SHEET: 1 OF 1
 DATE PLOTTED: 6/4/85



NOTES:

- Sanitary and Storm Sewer information from City of Madison and Henry Vilas Zoo Plan.
- Water information from Madison Water Utility and Henry Vilas Zoo Plan.
- Vilas Zoo Plan.
- All structures are City of Madison Datum.
- The benchmark is the Sanitary manhole at the Northwest corner of the site.

The locations of existing utilities installations as shown on this drawing were obtained from the records of these records cannot be guaranteed as to their accuracy. There may be other underground utility installations within the project area that are not shown.



Sheet Title: **EXISTING SITE SURVEY**

Henry Vilas Zoo
 Dane County Department of Public Works

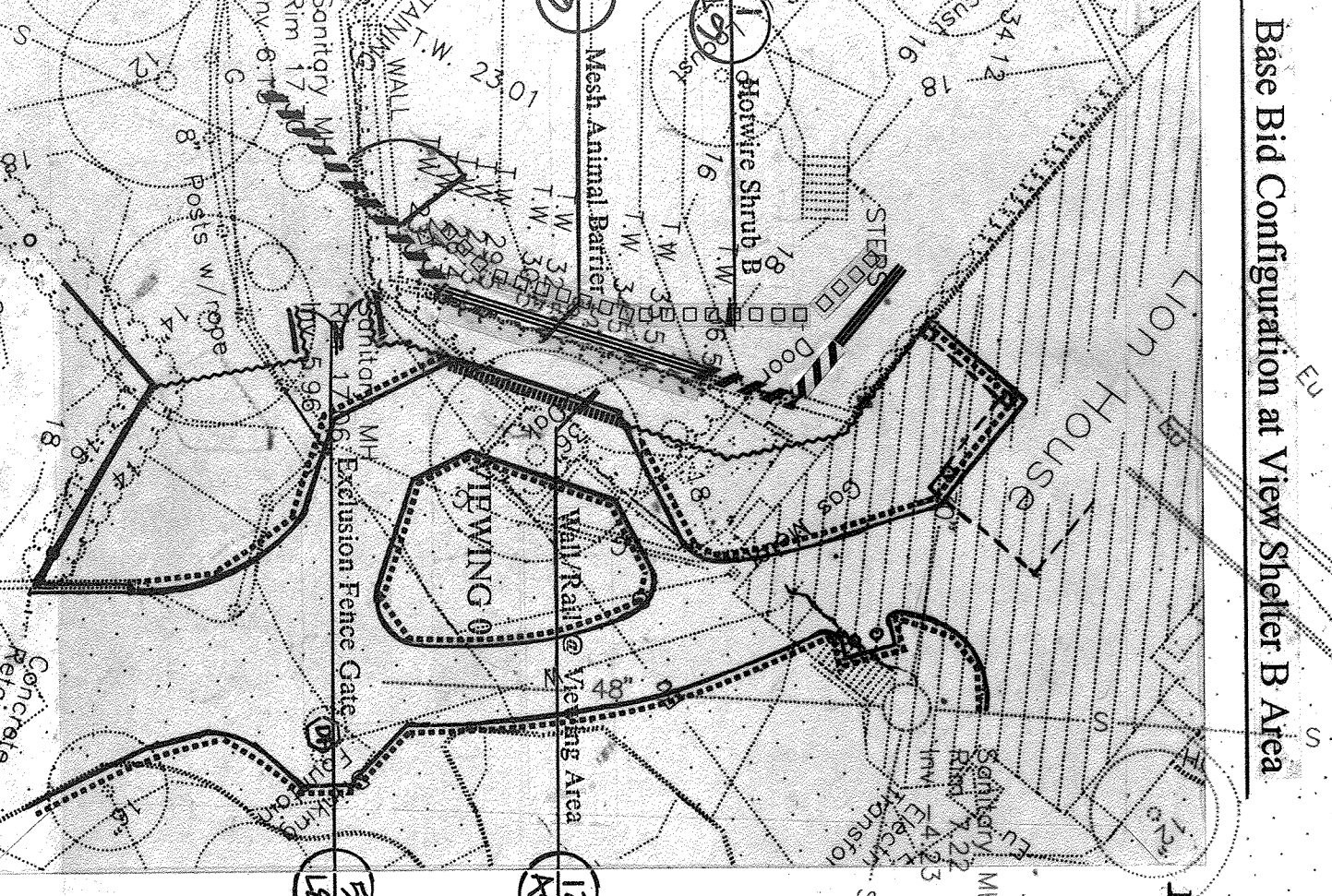
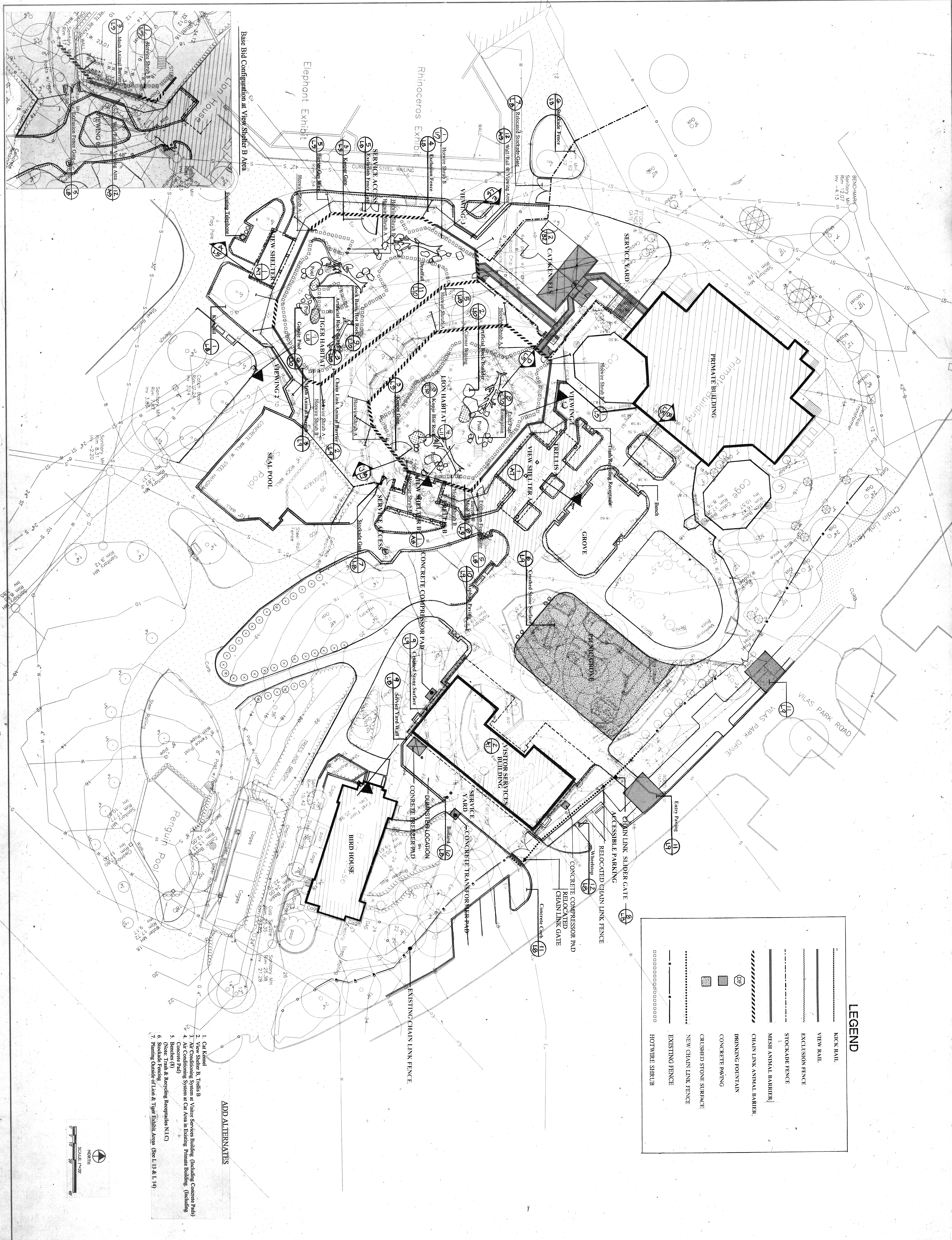
exhibit architects **CLRdesign inc.**
 115 North Third St.
 Philadelphia, PA 19106
 (215) 925-1002

consulting engineers **Arnold and O' Sheridan, inc.**
 815 Forward Drive
 Madison, WI 53711
 (608) 271-9651

2/15/86 RELEASED
 FOR BID

Big Cat Complex
 and
Visitor Services Plaza

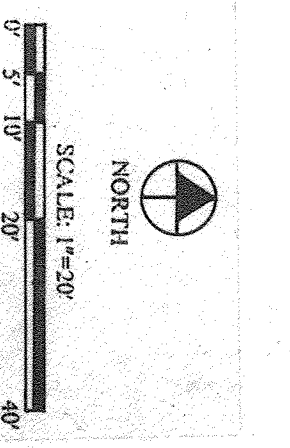
L-1



LEGEND

	KICK RAIL
	VIEW RAIL
	EXCLUSION FENCE
	STOCKADE FENCE
	MESH ANIMAL BARRIER
	CHAIN LINK ANIMAL BARRIER
	DRINKING FOUNTAIN
	CONCRETE PAVING
	CRUSHED STONE SURFACE
	NEW CHAIN LINK FENCE
	EXISTING FENCE
	HOTWIRE SHRUB

- ADD ALTERNATES**
1. Cat Kennel
 2. View Shelter B, Trellis B
 3. Air Conditioning System at Visitor Services Building (Including Concrete Pads)
 4. Air Conditioning System at Car Area in Existing Primate Building (Including Concrete Pads)
 5. Paving (See 11)
 6. Stockade Fencing
 7. Planting Outside of Lion & Tiger Exhibit Area (See L13 & L14)



L-4

Date: 2/16/96
 Drawn By: M.C.
 Checked By: M.B.

Sheet Title:
SITE PLAN
Henry Vilas Zoo
 Dane County Department of Public Works

exhibit architects **CLRdesign inc.**
 115 North Third St.
 Philadelphia, PA 19106
 (215) 925-1002

consulting engineers **Arnold and O' Sheridan, inc.**
 815 Forward Drive
 Madison, WI 53711
 (608) 271-9651

2/15/96 RELEASED
 FOR BID

Big Cat Complex
 and
Visitor Services Plaza

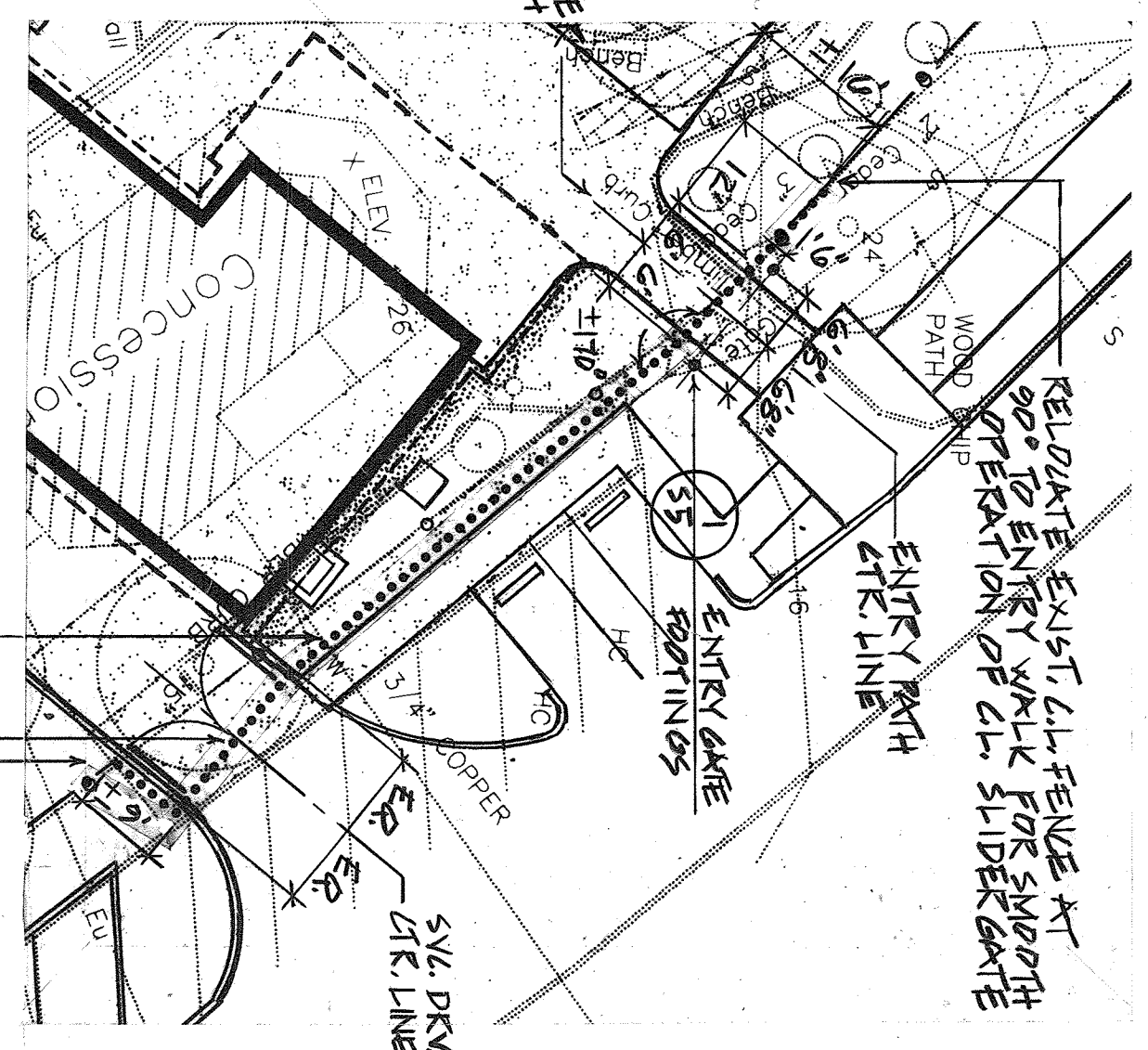
GENERAL NOTES

1. All angles are 90 degrees unless otherwise indicated.
2. The Contractor shall layout all elements of the plan as noted and report any discrepancies to the architect prior to construction.
3. The Contractor shall provide all materials, including buildings and tanks, for approval by the Architect prior to construction.
4. Contractor shall verify location of existing trees to remain in relation to layout of proposed work. Any discrepancies shall be reported to the architect prior to beginning work.
5. The Contractor shall stake the location of Kennels, View Shelters, and Animal Barrier fences for Lion and Tiger Exhibit for approval by Architect PRIOR TO BEGINNING CONSTRUCTION OF ANY OF THESE FEATURES.
6. Indicated Point of Beginning for Animal Barrier Layout. See Detail 2 B2 for associated Kennel Layout.

LEGEND

	KICK RAIL
	VIEW RAIL
	EXCLUSION FENCE
	STOCKADE FENCE
	MESH ANIMAL BARRIER
	CHAIN LINK ANIMAL BARRIER
	DRINKING FOUNTAIN
	NEW CHAIN LINK FENCE
	EXISTING FENCE

Perimeter Gate & Fence Layout



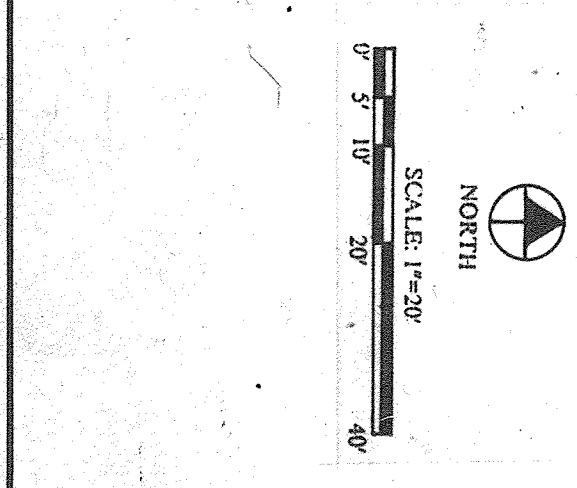
RELOCATE EXIST. CHAIN LINK FENCE TO 800 TO ENTRY WALK FOR SMOOTH OPERATION OF CHAIN LINK SLIDER GATE ENTRY PATH

EXIST. CHAIN LINK FENCE TO 800 TO ENTRY WALK FOR SMOOTH OPERATION OF CHAIN LINK SLIDER GATE ENTRY PATH

REMOVE EXIST. CHAIN LINK FENCE TO 800 TO ENTRY WALK FOR SMOOTH OPERATION OF CHAIN LINK SLIDER GATE ENTRY PATH

REMOVE EXIST. CHAIN LINK FENCE TO 800 TO ENTRY WALK FOR SMOOTH OPERATION OF CHAIN LINK SLIDER GATE ENTRY PATH

NOTE: ENTRY GATE STRUCTURE N.I.L. VERIFY FENCE LAYOUT RE. LOCATION OF EXIST. FENCE TO ENSURE PROPER DISCREPANCY BETWEEN EXIST. FENCE AND NEW FENCE. VERIFY ALL DIMENSIONS FOR ENTRY GATE AND VERIFY SIZE OF QUANTITIES TO PROVIDE NEW FENCE TO REMOVE ANY PHYSICAL DRINKING REMOVAL OF REQUIRED TO COMPLETE WORK AS SHOWN.



L-6

Sheet Title:
LAYOUT PLAN
 Henry Vilas Zoo
 Dane County Department of Public Works

exhibit architects: **CLRdesign inc.**
 115 North Third St.
 Philadelphia, PA 19106
 (215) 925-1002

consulting engineers: **Arnold and O' Sheridan, inc.**
 815 Forward Drive
 Madison, WI 53711
 (608) 271-9651

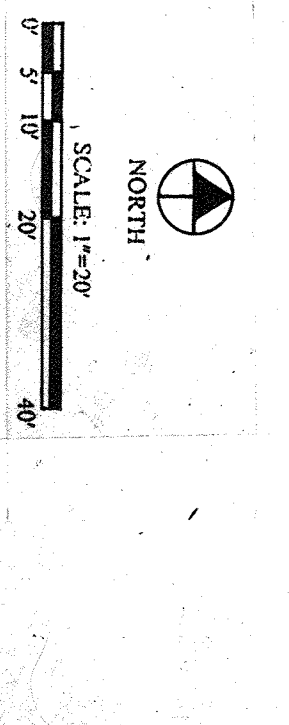
Revisions:
 2/19/96 RELEASED
 FOR BID

Big Cat Complex
 and
Visitor Services Plaza



MECHANICAL REFERENCE NOTES

1. 6" pool drain. Bottom of pool = 13.75'. Outlet I.E. = 6.58'. See Detail 7/93.
2. 6" pool drain. Bottom of pool = 12.50'. Outlet I.E. = 6.50'. See Detail 7/93.
3. Sanitary CB. See Detail 3/93.
Rim = 14.50'
I.E. = 6.55'
4. HB-4 behind access panel in "Hot Rock".
5. Demolish existing sanitary manhole. Cap and abandon in place all associated piping.
6. 8" pool fill. See Detail 7/93.
7. Demolish existing sanitary CB. Remove existing piping completely.
8. AWC-1. See Detail 6/93.
9. Demolish existing sanitary lift station. Cap and abandon in place all associated piping.
10. 6" pool drain. Bottom of pool = 6.50'. Outlet I.E. = 4.69'. See Detail 7/93.
Rim = 6.50'
I.E. = 3.82'
12. Existing storm CB. Remove exist grate and install new solid lid.
Rim = 10.63'
I.E. = 4.73'
13. Existing sanitary manhole.
Rim = 3.67'
I.E. = 4.73'
14. Sanitary CB. See Detail 3/93.
Rim = 6.50'
I.E. = 4.91'
15. Sanitary manhole. See Detail 1/93.
Rim = 13.50'
I.E. = 5.10'
16. Sanitary CB. See Detail 3/93. (Alternate Bid)
Rim = 12.60'
I.E. = 5.35'
17. AWC-2. See Detail 6/93. (Alternate Bid)
18. Water manhole. See Detail 4/93.
Rim = 14.50' ±
Bottom = 7.00' ±
19. Existing sanitary manhole.
Rim = 17.30'
I.E. = 6.15'
20. Yard drilling fountain and manhole. See Detail 5/93.
Manhole Rim = 14.50'
Manhole I.E. = 10.50'
21. Sanitary manhole. See Detail 1/93.
Rim = 7.50'
I.E. = 4.42'
22. Sanitary CB. See Detail 3/93.
Rim = 7.00'
I.E. = 4.51'
23. Yard demount (YCO). See Detail 8/93.
24. Storm CB. See Detail 2/93.
Rim = 17.20'
I.E. = 8.72'
25. Storm CB. See Detail 8/93.
Rim = 15.75'
I.E. = 9.05'
26. HB-5. 1" CW supply.
27. Remove existing gas meter and associated piping.
28. New gas meters by H.C. See Sheet H1.
29. Existing sanitary manhole.
Rim = 9.80'
I.E. = 6.65'
30. Remove completely existing water and sanitary piping associated with existing Concession Stand.
31. Remove completely existing gas, water, sanitary and storm piping associated with existing Lion House.



ARNOLD AND O'SHERIDAN INC.
CONSULTING ENGINEERS
1115 N. MILWAUKEE AVE.
MILWAUKEE, WI 53233
TEL: 414-224-2200
FAX: 414-224-2201
95211

Date: 4/11/76
Scale: 1" = 20'-0"
Drawn By: CC
Checked By: MIB
Drawing No. **M1**

Sheet Title:
MECHANICAL SITE PLAN

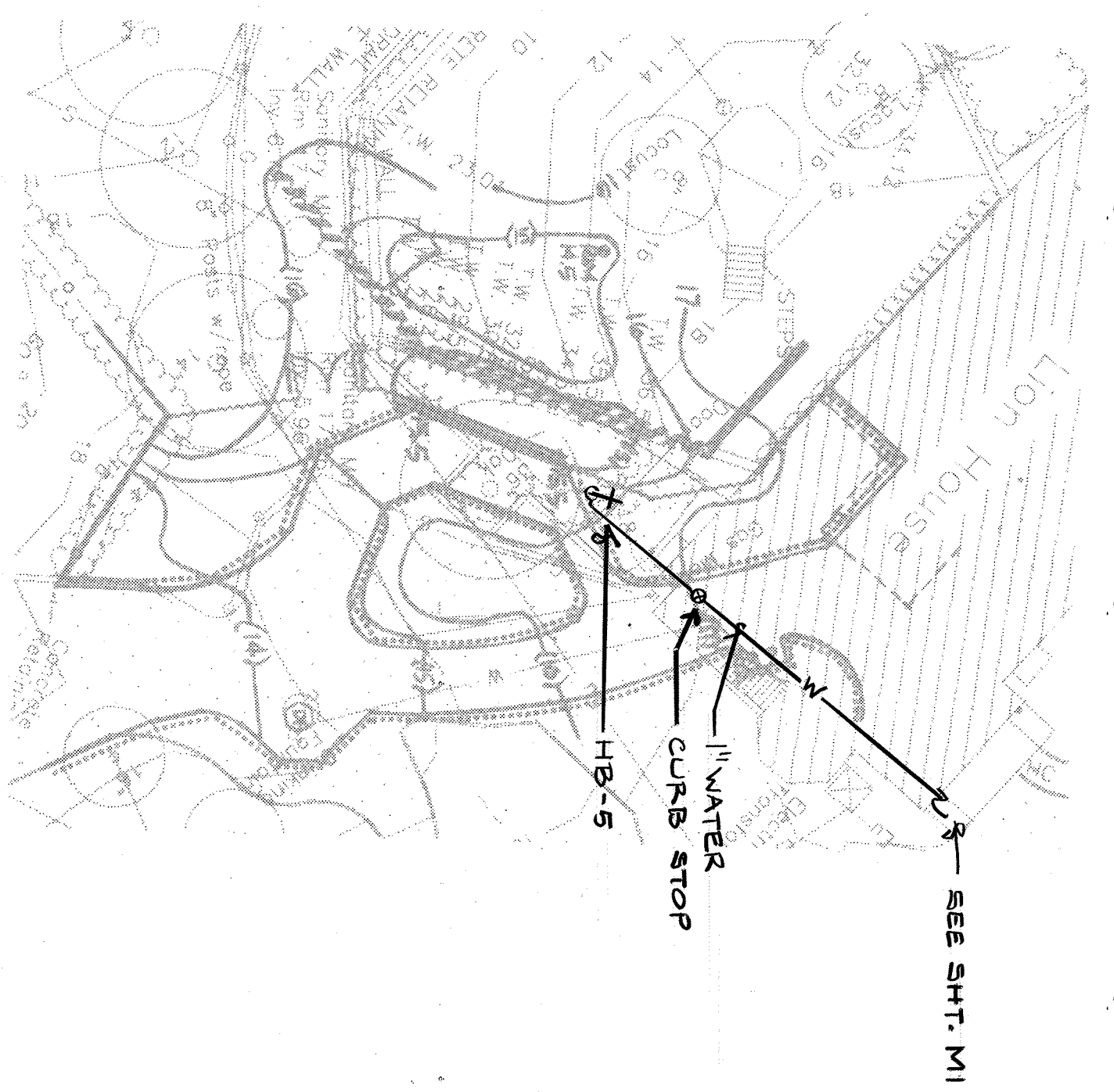
Henry Villas Zoo
Dane County Department of Public Works

exhibit architects: CLRdesign inc.
115 North Third St.
Philadelphia, PA 19106
(215) 925-1002

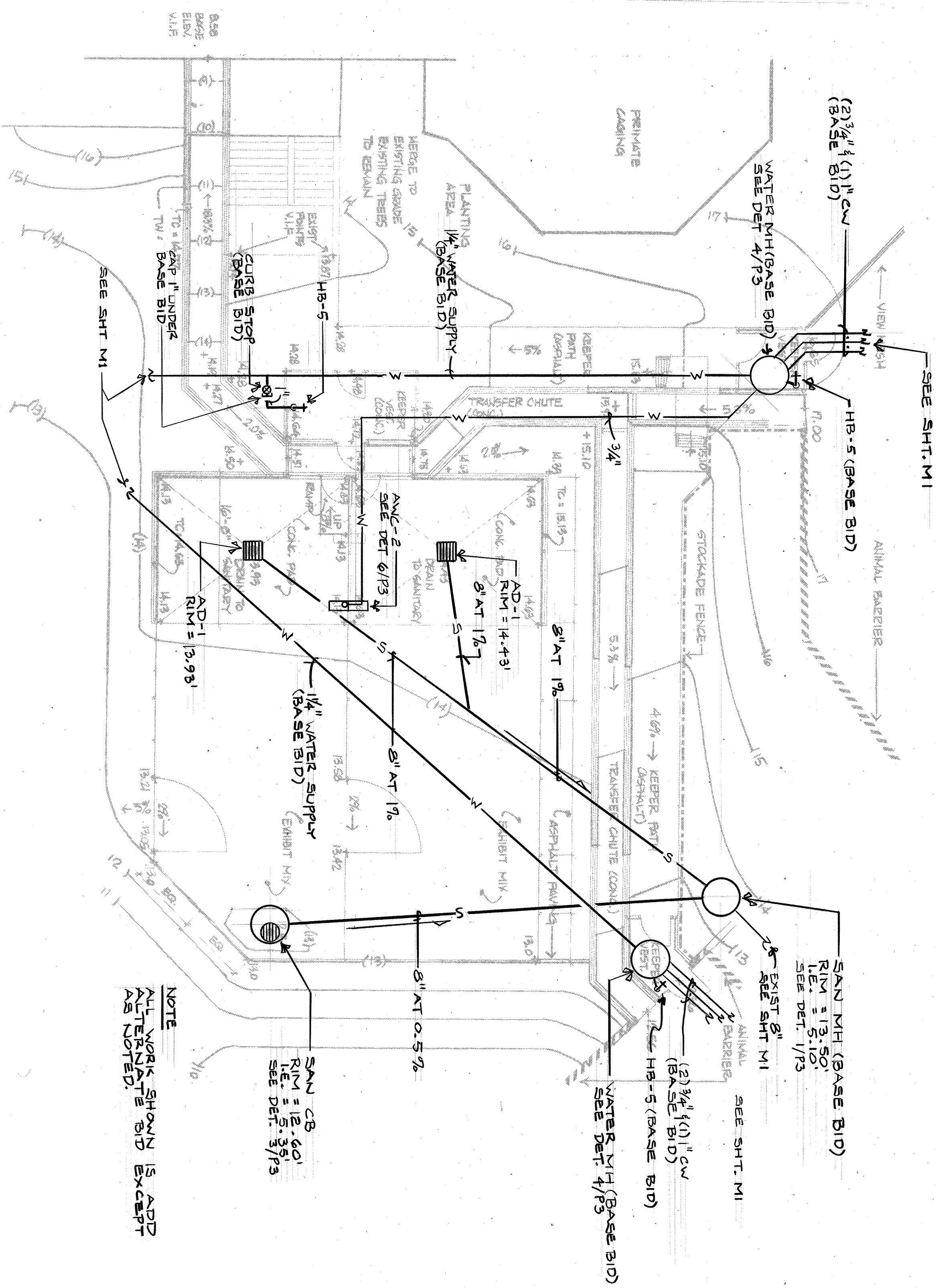
consulting engineers: Arnold and O' Sheridan, inc.
815 Forward Drive
Madison, WI 53711
(608) 271-9651

Revised By: [Signature]
Date: 4/15/76

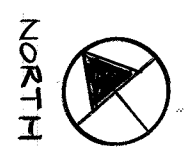
Big Cat Complex
and
Visitor Services Plaza



1 PARTIAL MECH. SITE PLAN - BASE BID
 M2 1/8" = 20'



2 PARTIAL MECH. SITE PLAN - KENNEL ADD ALTERNATE BID
 M2 1/8" = 11'-0"



REVISIONS
 RELEASED FOR
 BIDDING 2/15/96

Big Cat Complex and Visitor Services Plaza

exhibit architects **CLRdesign inc.**
 115 North Third St.
 Philadelphia, PA 19106
 (215) 925-1002

consulting engineers **Arnold and O' Sheridan, inc.**
 815 Forward Drive
 Madison, WI 53711
 (608) 271-9651

Sheet Title:
PARTIAL MECHANICAL SITE PLANS

Henry Vilas Zoo
 Dane County Department of Public Works

Date: 2/15/96
 Drawn By: WVP
 Checked By: WVP
 Drawing No.

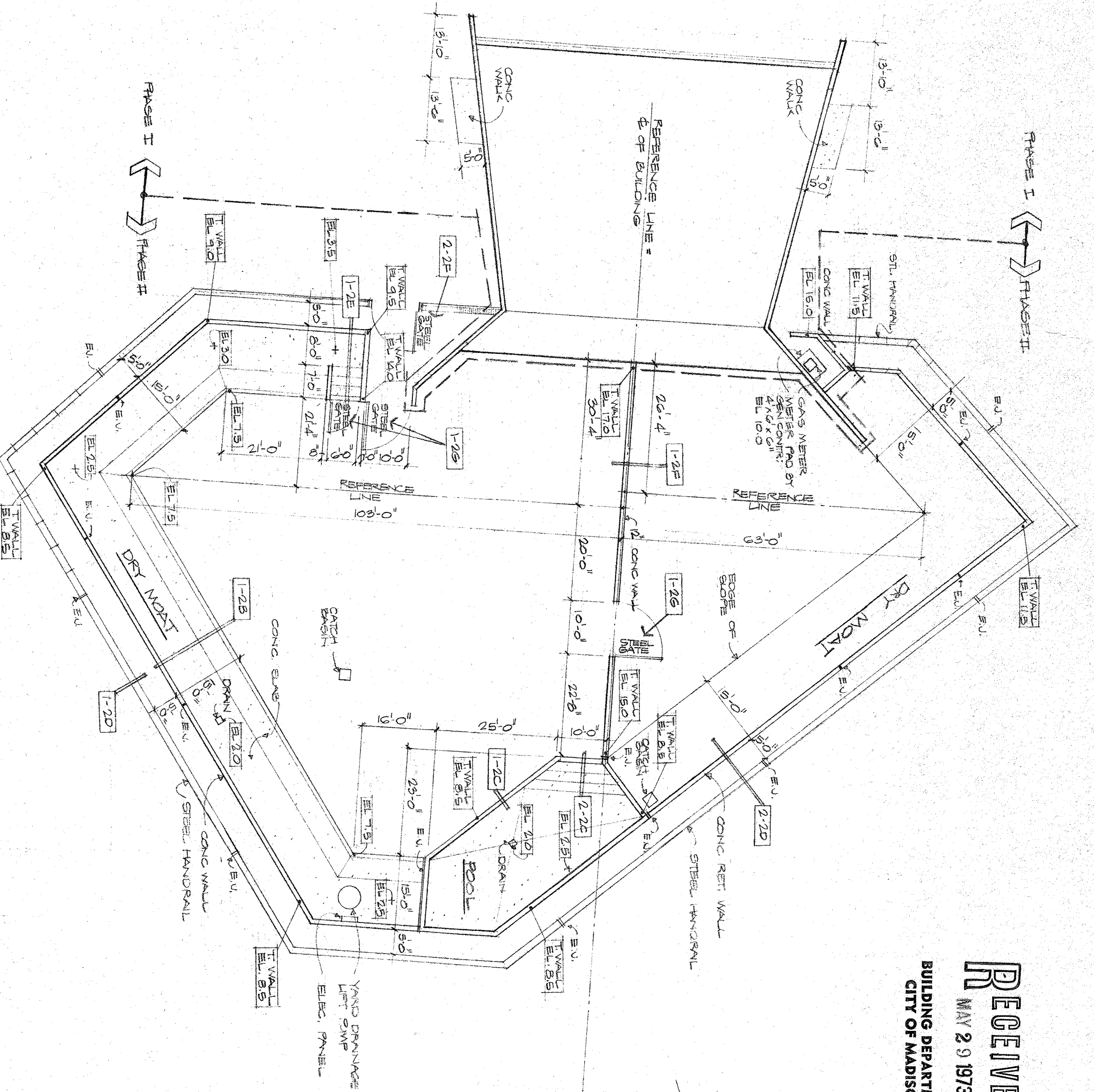
**ARNOLD AND
 O'SHERIDAN INC.**
 CONSULTING ENGINEERS
 815 FORWARD DRIVE
 MADISON, WISCONSIN 53711
 755.1111

M2

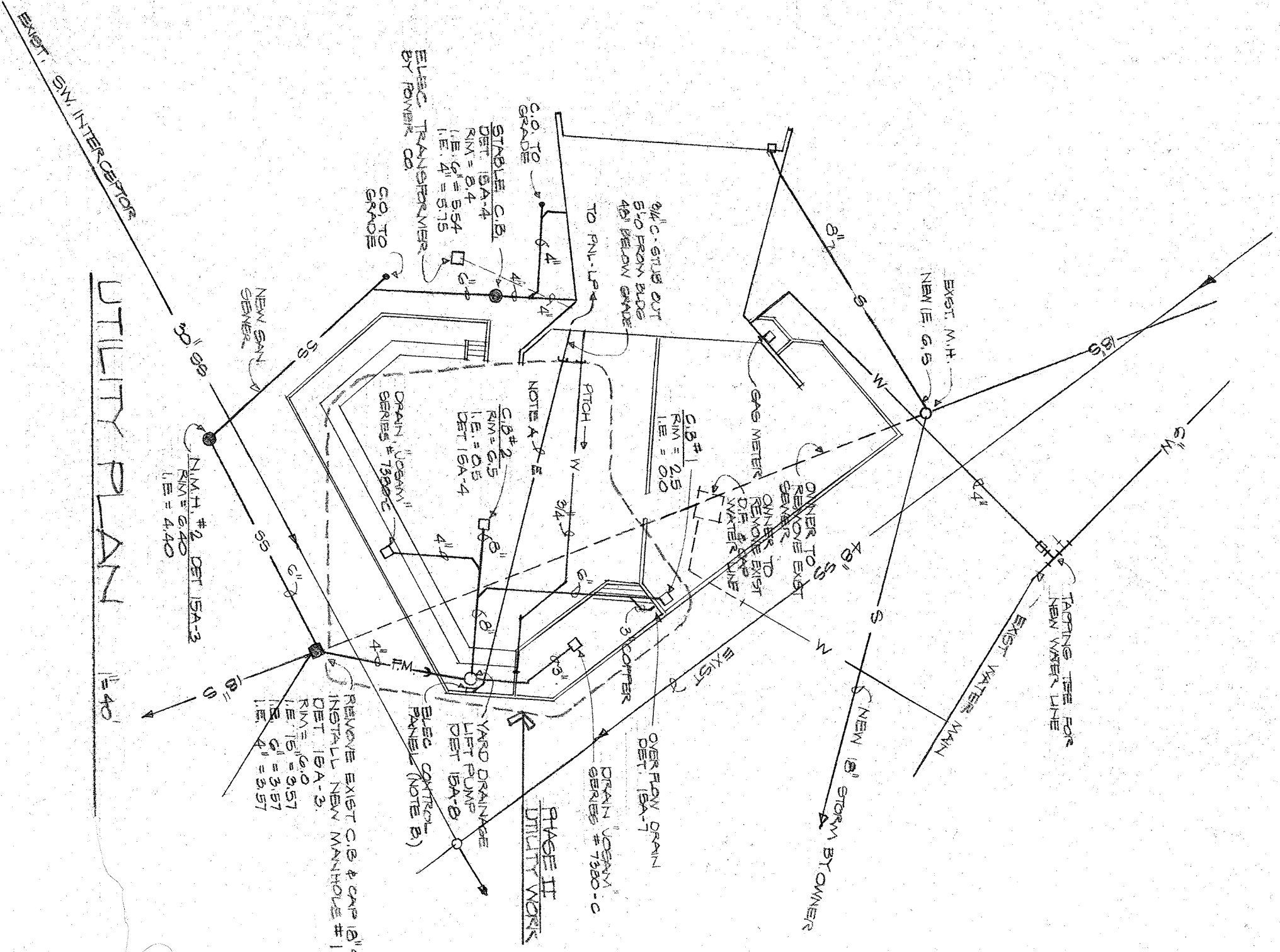
RECEIVED
MAY 29 1978
BUILDING DEPARTMENT
CITY OF MADISON

BUILDING PLANS
Conditionally
APPROVED
CITY OF MADISON BLDG. INSPECTION DIV.
BY: [Signature]
DATE: 5/27/78

ZONING APPROVED
Date: 5/27/78
Zoning Administrator
MADISON - WISCONSIN



ELEPHANT YARD PLAN (PHASE II)
1/20" GRADING PLAN: DET. 2A (GRADING BY OWNER)

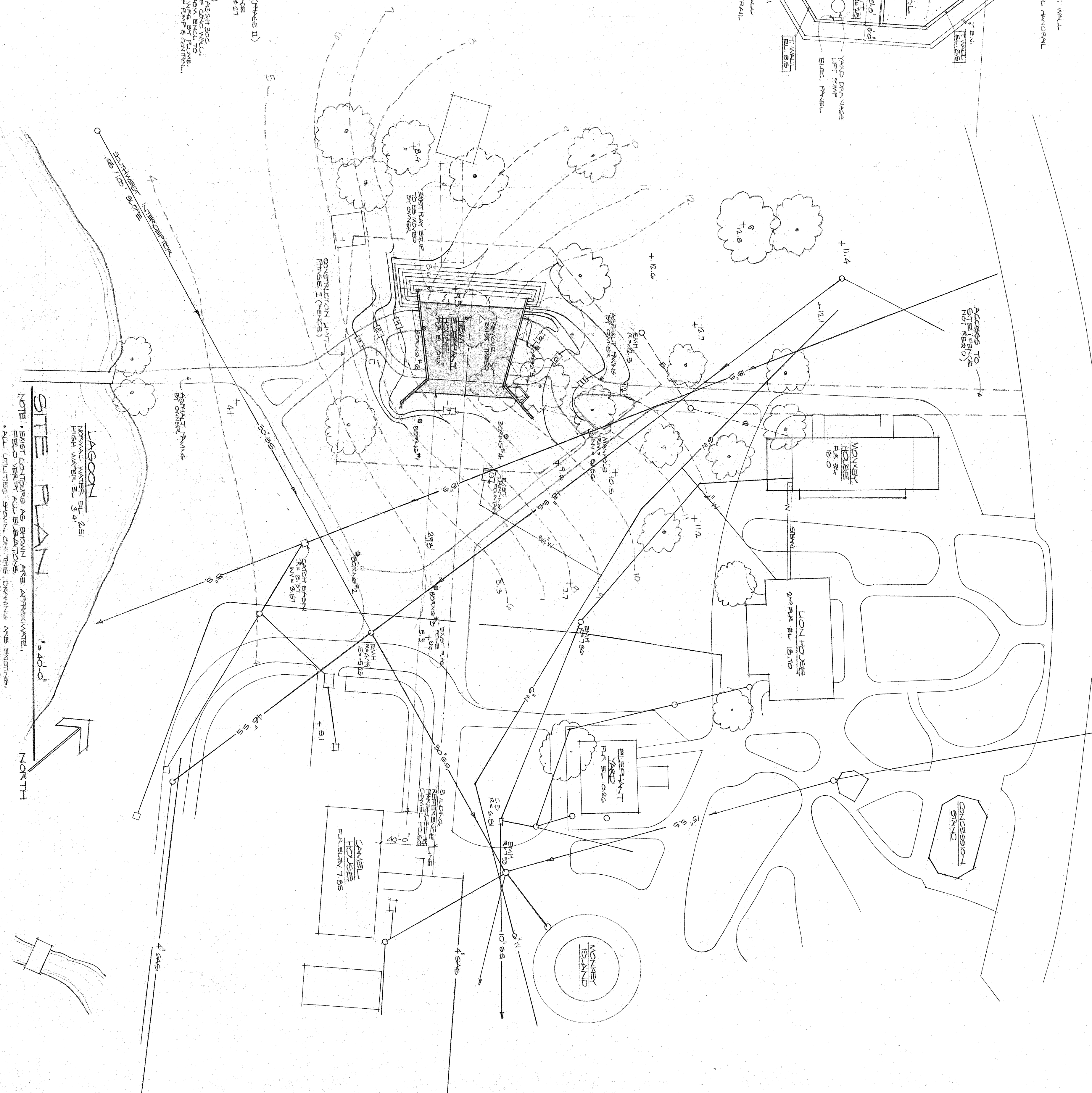


UTILITY PLAN 1/4" = 1'-0"

SHEET INDEX

- 1 SITE PLAN
- 2 FLOOR PLAN
- 3 SECTION
- 3-1 STRUCTURAL PLANS AND DETAILS
- 4-1 HEATING AND VENTILATING PLAN
- 5-1 PLUMBING PLAN
- E-1 ELECTRICAL PLAN

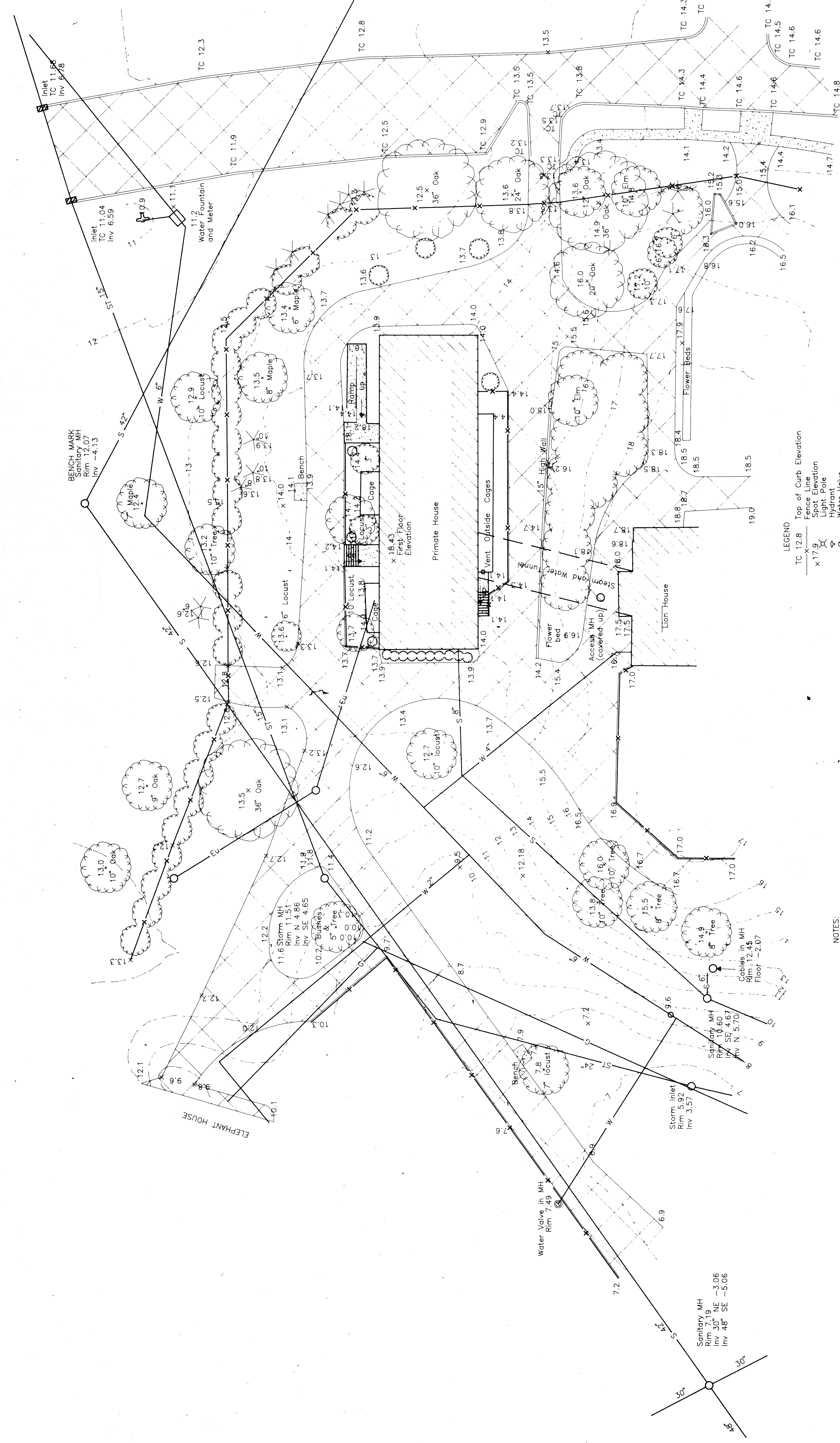
ELECTRICAL NOTES (PHASE II)
A. ALL 120V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.
B. ALL 240V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.
C. ALL 120V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.
D. ALL 240V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.
E. ALL 120V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.
F. ALL 240V AC CIRCUITS SHALL BE GROUNDED TO THE MAIN SERVICE PANEL.



SITE PLAN
NOTE: EXIST. CONTOURS AS SHOWN ARE APPROXIMATE.
FIELD VERIFY AND RECONSTRUCT AS NECESSARY.
PLAN LIMITS SHOWN ON THIS DRAWING ARE RECOMMENDED.

ELEPHANT HOUSE
henry vilas park zoo • madison wisconsin

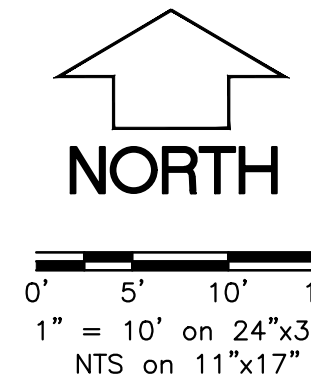
JOSEPH H. MADISON, WISCONSIN
ARCHITECT
JOSEPH H. MADISON, WISCONSIN
ARCHITECT



NO. 1 DATE 7/12/90 REVISION Steam and Water Tunnel
 ARNOLD AND O'SHERIDAN, INC.
 815 FORWARD DRIVE, MADISON, WISCONSIN 53711-9651
 PRIMATE HOUSE VILAS PARK ZOO
 CITY OF MADISON
 DANE COUNTY, WISCONSIN
 JOB NO. 90291-C
 DATE: 6/29/90

The locations of existing utilities installations as shown on this plan are based on the records of municipality and local utility records. The accuracy of these records cannot be guaranteed or certified to. There may be other underground utility installations within the project area that are not shown.

LEGEND
 Top of Curb Elevation
 Fence Line
 Sanitary Main
 Storm Sewer
 Gas Line
 Electric Line
 Existing Building
 Existing Concrete
 Existing Bituminous Pavement
 Existing Tree - Size and Type
 Existing Evergreen Tree
 Existing bushes and small trees



LEGEND (PROPOSED)

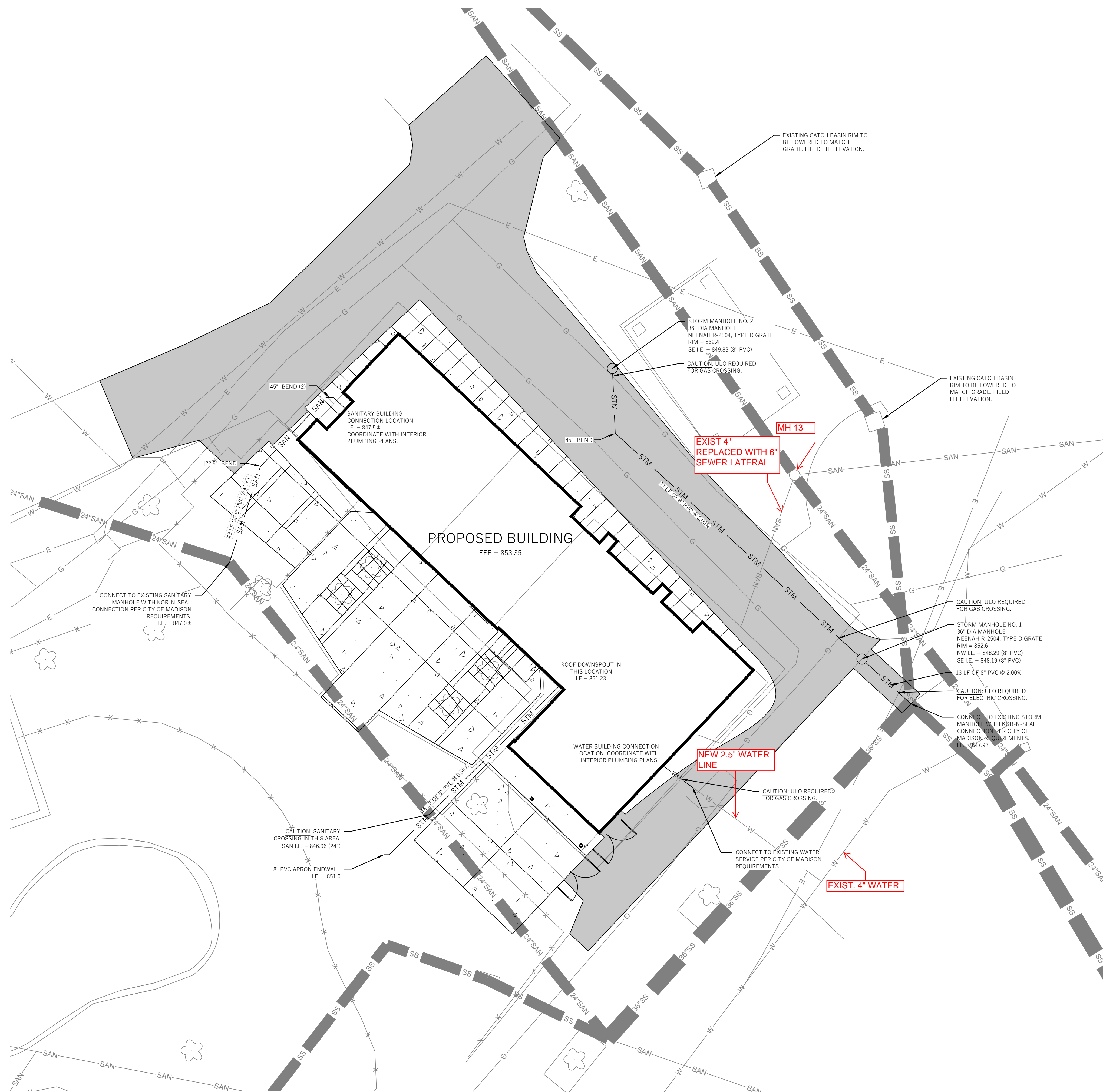
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER

GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO MONTGOMERY ASSOCIATES. MONTGOMERY ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. MONTGOMERY ASSOCIATES SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

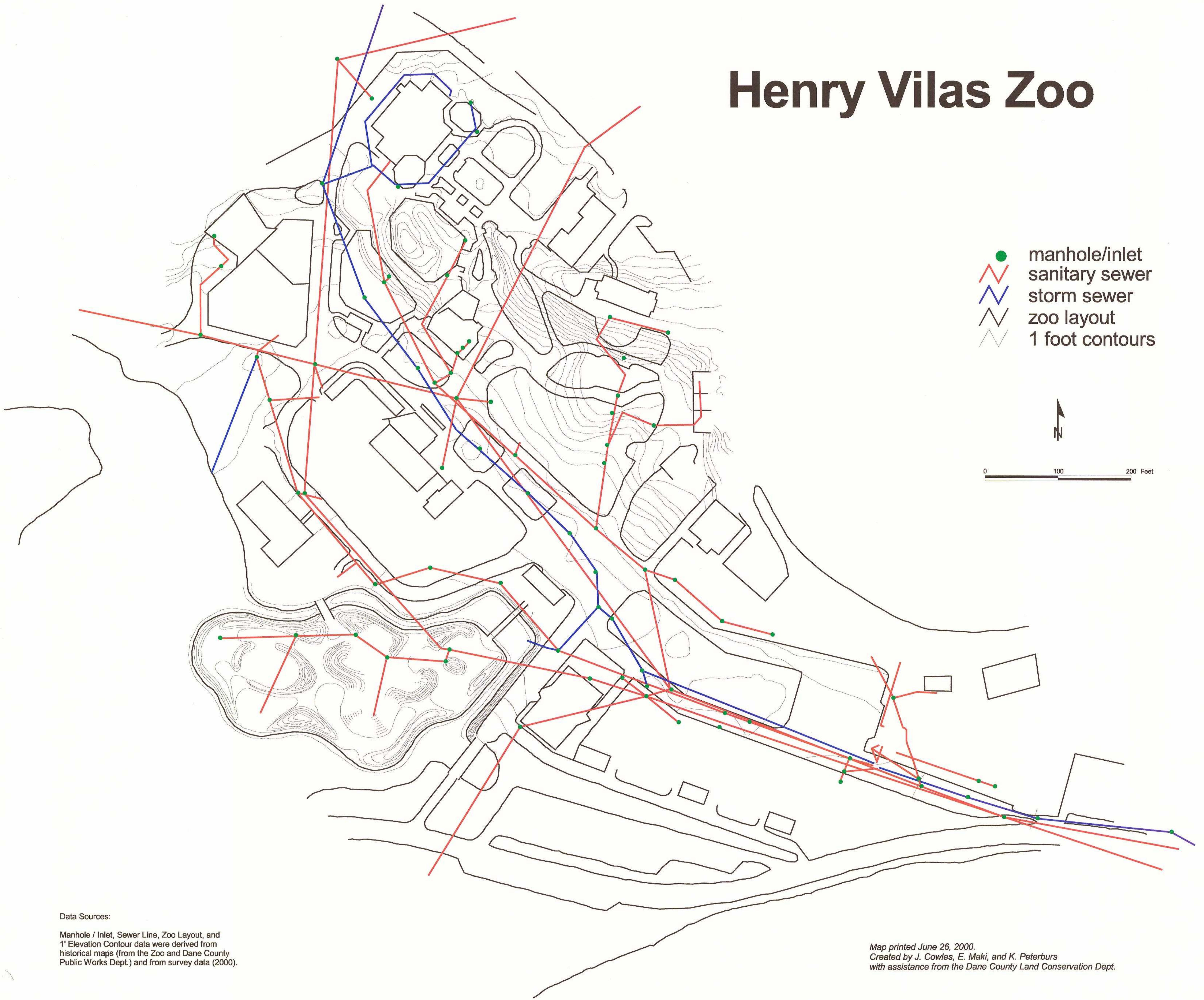
UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDMR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 6' MINIMUM BURY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5' OF GROUND COVER.
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS (UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER). ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST SLEEVE IN ACCORDANCE WITH SPS 382.34(5)(a)(b) AND SPS 384.30(2)(c).
16. ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
17. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
18. ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-7.
19. ALL PRIVATE PIPE SHALL BE INSTALLED PER SPS 384.40-8 INCLUDING AT LEAST 8" OF HORIZONTAL DISTANCE BETWEEN WATER PIPING AND SANITARY SEWER FROM CENTER OF PIPE TO CENTER OF PIPE AND 6" OF SEPARATION BETWEEN STORM SEWER AND WATER PIPING.
20. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WHEN SCHEDULING THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
21. NO BLASTING SHALL OCCUR WITHIN 30 FEET OF ANY EXISTING UTILITIES
22. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
23. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AT ALL TIMES.

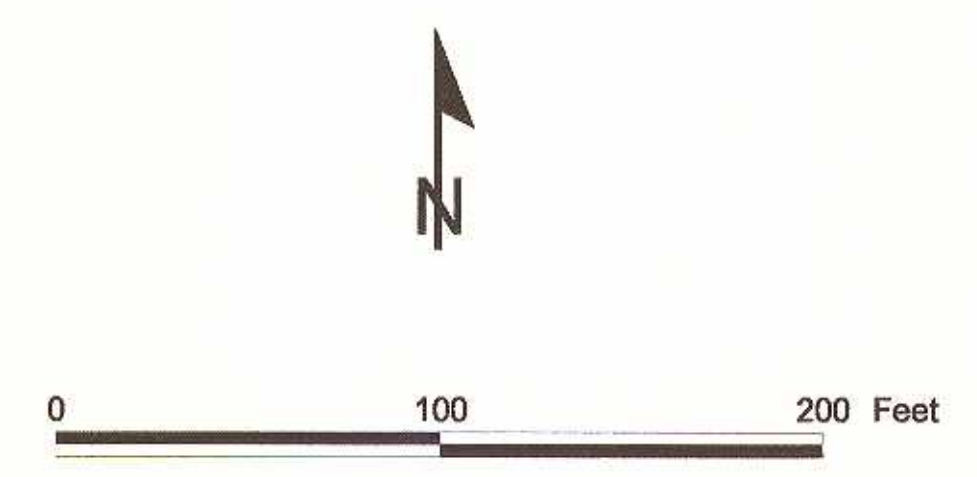


DIGGERS HOTLINE
 Toll Free (800) 242-8511 or 811
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

Henry Vilas Zoo



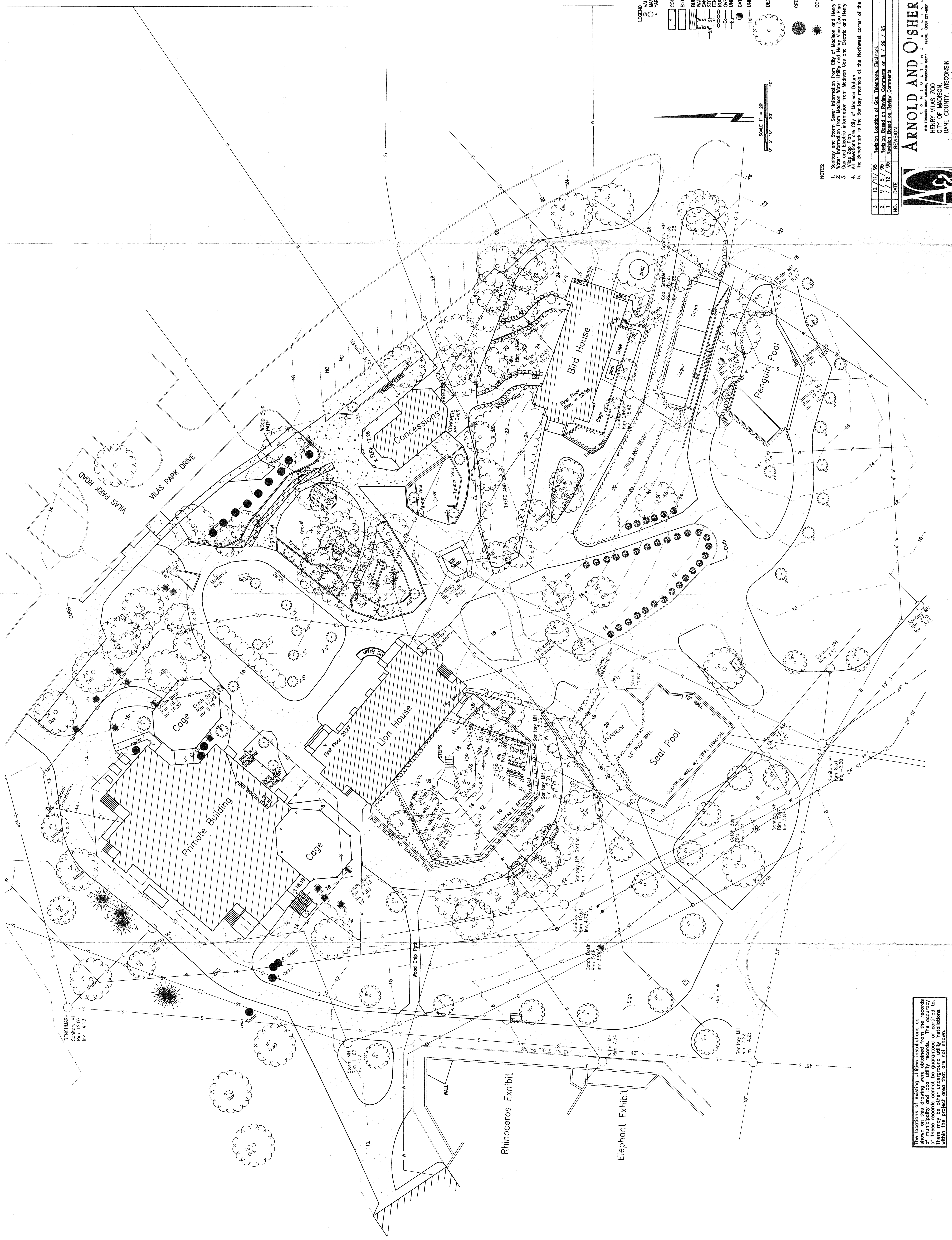
- manhole/inlet
- sanitary sewer
- storm sewer
- zoo layout
- 1 foot contours



Data Sources:

Manhole / Inlet, Sewer Line, Zoo Layout, and 1' Elevation Contour data were derived from historical maps (from the Zoo and Dane County Public Works Dept.) and from survey data (2000).

Map printed June 26, 2000.
Created by J. Cowles, E. Maki, and K. Peterburs
with assistance from the Dane County Land Conservation Dept.

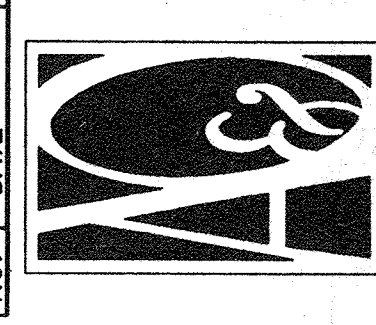


- LEGEND**
- VALVE
 - MANHOLE
 - YARD CLEANOUT
 - CONCRETE PAVING
 - BITUMINOUS PAVING
 - BUILDING
 - WATER LINE
 - SANITARY SEWER LINE
 - FENCE
 - ROCK WALL
 - OVERHEAD ELECTRIC
 - UNDERGROUND ELECTRIC
 - CATCH-BASIN
 - UNDERGROUND ELECTRIC
 - DECIDUOUS TREE
 - CEDAR TREE
 - CONIFEROUS TREE

SCALE 1" = 20'
0' 5' 10' 20' 40'

- NOTES:**
1. Sanitary and Storm Sewer information from City of Madison and Henry Vilas Zoo Plan
 2. Water information from Madison Water Utility and Henry Vilas Zoo Plan
 3. Vilas Zoo Plan information from Madison Gas and Electric and Henry Vilas Zoo Plan
 4. All elevations are City of Madison Datum
 5. The Benchmark is the Sanitary manhole at the Northwest corner of the site

NO.	DATE	REVISION
3	12/17/95	Revision Location of Gas, Telephone, Electrical
2	12/17/95	Revision Based on Review Comments on 8/29/95
1	7/12/95	REVISION



ARNOLD AND O'SHERIDAN INC.
 415 W. MOUNTAIN VIEW AVENUE, SUITE 100
 MADISON, WISCONSIN 53706
 PHONE: (608) 271-2000 FAX: (608) 271-2000
 CITY OF MADISON
 DANE COUNTY, WISCONSIN
 JOB NO. 95139-C-1
 DATE 6/7/95
 DATE PRINTED

The locations of existing utilities installations as shown on this drawing were obtained from the records of the City of Madison. The accuracy of these records cannot be guaranteed or certified. There may be other underground utility installations within the project area that are not shown.